



BUILDING & PEST INSPECTION

104 Captain Cook Crescent, Narrabundah ACT 2604

2nd July, 2026

CBR PROPERTY INSPECTIONS

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INSPECTION DETAILS

Report Identifier 1783161840

Inspection Weather

Clear



Inspection Address

104 Captain Cook Crescent, Narrabundah ACT 2604

Inspection Date

2nd July, 2026

Start Time

3:30 PM

Client Name

Jenelle Frewen

INSPECTOR

Inspector Name

Mitchell Callagher

Inspector Company

CBR Property Inspections

Inspector Email

info@cbrpropertyinspections.com.au

Inspector Company Phone

0433 729 182

BUILDING & STRUCTURES

Building Classification

Type of building inspected Residential

Type Of Building

Type of building inspected House

Storeys

How many storeys is the property Double Storey

Site Orientation

The direction the site falls from North

Building Structure

Materials used for building structure Brick Veneer, Polystyrene

External Finish

External finish of the building Cement Render

Windows

Window frame construction materials Upvc

Door Frames

Door frame construction materials Upvc

Doors

Door construction materials Glass

SITE SERVICES

Water Supply

Property water supply

Town

Hot Water

Type of hot water system

Electric

Hot Water Unit

Location of hot water unit

Wall, External

Heating

Type of heating

Ducted

Air Conditioner

Type of air conditioner

Ducted

Sewerage Connection

Type of sewerage connection

Town

Stormwater

Type of stormwater drainage

Street

Phone Connection

Type of phone line connection

Overhead

Power Connection

Type of power connection

Overhead, Solar

Site Drainage

Quality of site drainage

Excellent

Stormwater Pits

Does the property have stormwater pits

No

Water Tanks

Quantity of tanks at the inspection property

1

Water Tanks - Continued

Water tank materials

Steel

EXTERNAL STRUCTURES

Northern Perimeter Fence

Status at time of inspection

Not Applicable

Southern Perimeter Fence

Southern perimeter fence construction material

Timber

Status at time of inspection

Minor Defect

The southern perimeter fence is in generally good condition, however, the ageing paint may reduce protective coverage and increase susceptibility to weathering and possible timber deterioration if left unaddressed.

Eastern Perimeter Fence

Eastern perimeter fence construction material

Timber

Status at time of inspection

Minor Defect

Timber elements to the Eastern Perimeter Fence display ageing paint, which if left unattended may lead to reduced weather protection and increase the likelihood of moisture ingress, timber decay, and potential pest access over time.

Western Perimeter Fence

Western perimeter fence construction material

Timber

Status at time of inspection

Minor Defect

The western perimeter fence is in generally good condition with some ageing paint observed, which may reduce protective qualities of the timber surface and could allow for gradual weathering or increased susceptibility to timber pest entry if not maintained.

Dividing Fences

Dividing fences construction materials

Timber

Dividing Fences - Continued

Status at time of inspection

Satisfactory

Timber dividing fences are in a serviceable condition with no visible structural defects, providing adequate privacy and security between properties at the time of inspection.

Gates

Gates construction materials

Steel

Status at time of inspection

Satisfactory

Steel gate is securely fixed and operates smoothly, with no visible damage, corrosion, or misalignment that would compromise security or access; no concerns identified for building integrity or pest ingress at the time of inspection.

External Stairs

Status at time of inspection

Not Applicable

Hand Rails

Status at time of inspection

Not Applicable

Balustrades

Status at time of inspection

Not Applicable

Retaining Walls

Retaining walls construction materials

Rock

Status at time of inspection

Satisfactory

Rock retaining walls constructed of natural stone, dry-stacked and properly aligned, observed in satisfactory condition with no visible displacement, cracking, or signs of structural instability, indicating adequate support for adjacent soil and no present concerns for structural integrity or pest ingress as part of the Building & Pest Inspection.

Driveways

Driveways construction materials

Concrete

Status at time of inspection

Satisfactory

Concrete driveway in satisfactory condition with no visible structural defects or trip hazards, presenting no adverse implications for safety, water drainage, or pest ingress at the time of inspection.

Paths

Paths construction materials

Paving

Status at time of inspection

Satisfactory

Concrete pathways are in satisfactory condition with even surfaces and no visible cracking, subsidence, or trip hazards, presenting no immediate structural or safety concerns relevant to the inspection.

EXTERNAL BUILDINGS

Garage

Garage construction materials

Brick

The internal access door to the house is binding, which may indicate minor movement or misalignment in the garage structure and can affect secure closure and ease of use during regular operation.

Deck

Deck construction materials

Composite

Composite decking boards are in good condition, providing a stable and durable walking surface with no visible cupping, warping, or deterioration that could compromise structural integrity or present safety risks typically appraised during a Building & Pest Inspection.

Pergola

Pergola construction materials

Steel

Steel cantilever pergola is constructed with steel posts and beams, presenting no visible deformation, corrosion, or structural distress, and remains in a serviceable condition for its intended weather protection and outdoor amenity function.

S

Satisfactory

NA

Not Applicable

SH

Safety Hazard

MD1

Minor Defect

MD2

Major Defect

DC

Defect Concealment

	Garage	Deck	Pergola
Floor Structure	S	S	S
Floor Movement	S	S	S
Floor Stumps	S	S	S
Floor Moisture	S	S	S
Wall Structure	S	NA	NA
Wall Movement	S	NA	NA
Wall Moisture	S	NA	NA
Wall Linings	S	NA	NA
Wall Damage	S	NA	NA

	Garage	Deck	Pergola
Wall Cracks	S	NA	NA
Wall Paint	S	NA	NA
Ceiling Structure	S	NA	S
Ceiling Movement	S	NA	S
Ceiling Moisture	S	NA	S
Ceiling Linings	S	NA	S
Ceiling Damage	S	NA	S
Ceiling Cracks	S	NA	S
Ceiling Sagging	S	NA	S
Nails Popping	S	NA	S
Cornice Cracking	S	NA	S
Ceiling Paint	S	NA	S
Roof Structure	S	NA	S
Support Beam	S	NA	S
Support Beam Post	S	NA	S
Roof Cladding	S	NA	S
Fascia	S	NA	S
Eaves	S	NA	S
Guttering	S	NA	S
Downpipes	S	NA	S
Windows	S	NA	NA
Doors & Frames	MD1	NA	NA
Internal Painting	S	NA	NA
External Painting	S	NA	S
Roller Door	NA	NA	NA
Tilt/Panel Door	S	NA	NA
Electrical Motors	S	NA	NA

ROOF SPACE

Accessibility	
Was the roof space accessible at time of inspection	No Access
No manholes are present, restricting inspector access to the roof space and preventing assessment of structural components, insulation, and potential pest activity in this area during the Building & Pest Inspection.	

FLOOR SPACE

Note: If applicable, all timber floors have movement which can cause the squeaking of floor boards. This can be addressed by re-screwing to the floor joists at a later stage when the floor coverings have been taken up.

Accessibility	
Floor space accessible at the time of inspection	No Access
Concrete slab on ground; inspection of the floor space was not possible due to a lack of accessible clearance, preventing assessment for potential construction defects or pest activity in subfloor areas as required for Building & Pest Inspection purposes.	

INTERNAL ROOMS

Furnished

Property furnished at time of inspection

No

Occupancy Status

The occupancy status at the time of inspection

Unoccupied

Wall Frames

Wall frames construction materials

Timber

Wall Linings

Wall linings construction materials

Plaster

Ceiling Linings

Ceiling linings construction materials

Plaster

Joinery

Joinery present in building

Built-In Robes, Kitchens, Cupboards, Stairs, Wall Units

Entry

Entry door and surrounding finishes are in acceptable condition, with no visible structural, moisture, or pest-related defects affecting this area at time of inspection.

Hallway

Hallway surfaces, finishes, skirting boards, and cornices are constructed of painted plasterboard and timber, all observed to be in serviceable condition with no evidence of damage, moisture ingress, cracking, or pest activity at the time of inspection; no risks or concerns identified in the context of this Building & Pest Inspection.

Upstairs Hallway

Minor cracking to plasterboard lining above the built-in wardrobe may indicate typical settlement movement; however, this presents a potential pathway for moisture ingress or pest entry if left unattended, which could compromise the integrity of the hallway's internal finishing over time.

Dining Room

Full-height plasterboard walls and painted timber skirtings in the dining room are in serviceable condition with no visible signs of structural movement, water damage, or pest activity, indicating no current issues requiring action at the time of inspection.

Lounge

No visible defects or conditions of concern were observed to the building elements in the Lounge; all surfaces, finishes, and fixtures appear to be in a serviceable state with no evidence of structural damage, moisture ingress, or pest activity.

Rumpus

The Rumpus room walls, ceiling, floor coverings, doors, and window frames are all in serviceable condition with no visible structural defects or signs of pest activity observed at the time of inspection.

Study

The study presents no visible building or pest-related defects, with all fixed elements, surfaces, and finishes observed to be in an acceptable condition for ongoing serviceability and occupancy.

Bedroom 1

Bedroom 1 presents with no visible building or pest-related defects, with structural and surface elements in clean, well-maintained, and serviceable condition, indicating no immediate risks to performance or occupant safety.

Bedroom 2

Bedroom 2 displays minor patched areas that, while adequately repaired, remain slightly visible; this is a cosmetic finish issue and does not present a structural or pest-related concern affecting the condition or integrity of the room.

Bedroom 3

Patch repairs to the wall between Bedroom 3 and Bedroom 4 are evident but appear to have been carried out to an acceptable standard, with only minor surface irregularities visible; there is no indication of underlying structural or pest-related concerns in Bedroom 3 associated with this repair.

Bedroom 4

Patch repairs to the wall between Bedroom 3 and Bedroom 4 are evident but appear to have been carried out to an acceptable standard, with only minor surface irregularities visible; there is no indication of underlying structural or pest-related concerns in Bedroom 4 associated with this repair.

S Satisfactory

NA Not Applicable

SH Safety Hazard

MD1 Minor Defect

MD2 Major Defect

DC Defect Concealment

	Entry	Hallway	Upstairs Hallway	Dining Room	Lounge	Rumpus
Floor Structure	S	S	S	S	S	S
Floor Movement	S	S	S	S	S	S
Floor Moisture	S	S	S	S	S	S

	Entry	Hallway	Upstairs Hallway	Dining Room	Lounge	Rumpus
Floor Tiles	S	S	NA	S	S	NA
Floor Grout	S	S	NA	S	S	NA
Wall Structure	S	S	S	S	S	S
Wall Movement	S	S	S	S	S	S
Wall Moisture	S	S	S	S	S	S
Wall Linings	S	S	S	S	S	S
Wall Damage	S	S	S	S	S	S
Wall Cracks	S	S	MD1	S	S	S
Wall Paint	S	S	S	S	S	S
Wall Tiles	NA	NA	NA	NA	NA	NA
Wall Grout	NA	NA	NA	NA	NA	NA
Wall Ventilation	S	S	S	S	S	S
Ceiling Ventilation	S	S	S	S	S	S
Ceiling Structure	S	S	S	S	S	S
Ceiling Movement	S	S	S	S	S	S
Ceiling Moisture	S	S	S	S	S	S
Ceiling Linings	S	S	S	S	S	S
Ceiling Damage	S	S	S	S	S	S
Ceiling Cracks	S	S	S	S	S	S
Ceiling Sagging	S	S	S	S	S	S
Nails Popping	S	S	S	S	S	S
Cornice Cracking	S	S	S	S	S	S
Ceiling Paint	S	S	S	S	S	S
Door Frames	S	S	NA	S	S	S
Doors	S	S	NA	NA	S	S
Door Latches	S	S	NA	NA	S	S
Windows/Frames	S	S	S	S	S	S
Built In Robes	NA	NA	S	S	NA	NA

S Satisfactory	NA Not Applicable	SH Safety Hazard
MD1 Minor Defect	MD2 Major Defect	DC Defect Concealment

	Study	Bedroom 1	Bedroom 2	Bedroom 3	Bedroom 4
Floor Structure	S	S	S	S	S
Floor Movement	S	S	S	S	S
Floor Moisture	S	S	S	S	S
Floor Tiles	S	NA	NA	NA	NA
Floor Grout	S	NA	NA	NA	NA
Wall Structure	S	S	S	S	S
Wall Movement	S	S	S	S	S
Wall Moisture	S	S	S	S	S
Wall Linings	S	MD1	MD1	MD1	MD1
Wall Damage	S	S	S	S	S
Wall Cracks	S	S	S	S	S
Wall Paint	S	S	S	S	S
Wall Tiles	NA	NA	NA	NA	NA
Wall Grout	NA	NA	NA	NA	NA
Wall Ventilation	S	S	S	S	S
Ceiling Ventilation	S	S	S	S	S
Ceiling Structure	S	S	S	S	S
Ceiling Movement	S	S	S	S	S
Ceiling Moisture	S	S	S	S	S
Ceiling Linings	S	S	S	S	S
Ceiling Damage	S	S	S	S	S
Ceiling Cracks	S	S	S	S	S
Ceiling Sagging	S	S	S	S	S
Nails Popping	S	S	S	S	S
Cornice Cracking	S	S	S	S	S
Ceiling Paint	S	S	S	S	S
Door Frames	S	S	S	S	S

	Study	Bedroom 1	Bedroom 2	Bedroom 3	Bedroom 4
Doors	S	S	S	S	S
Door Latches	S	S	S	S	S
Windows/Frames	S	S	S	S	S
Built In Robes	S	S	S	S	S

Building & Pest Inspection

KITCHEN/DINING

Kitchen

Minor damage to three cupboard doors is present, which may compromise ease of use and could permit ingress of moisture or pests into cabinetry, potentially affecting hygiene and long-term durability of kitchen joinery.

S Satisfactory

NA Not Applicable

SH Safety Hazard

MD1 Minor Defect

MD2 Major Defect

DC Defect Concealment

	Kitchen
Floor Structure	S
Floor Movement	S
Floor Moisture	S
Floor Tiles	S
Floor Grout	S
Wall Structure	S
Wall Movement	S
Wall Moisture	S
Wall Linings	S
Wall Damage	S
Wall Cracks	S
Wall Paint	S
Wall Tiles	NA
Wall Grout	NA
Wall Ventilation	S
Ceiling Ventilation	S
Ceiling Structure	S
Ceiling Movement	S
Ceiling Moisture	S
Ceiling Linings	S
Ceiling Damage	S

	Kitchen
Ceiling Cracks	S
Ceiling Sagging	S
Nails Popping	S
Cornice Cracking	S
Ceiling Paint	S
Door Frames	S
Door	S
Door Latches	S
Windows/Frames	S
Cupboards	S
Benchtop	S
Benchtop/Splashback Seal	S
Splashbacks	S
Doors	MD1
Overheads	S
Pantry	S
Drainage	S
Taps/Spouts	S
Sinks	S

WET AREAS

Ensuite

Minor grout cracking to the external tile mitre in the ensuite presents a potential entry point for moisture, which can affect the water tightness of the wet area and may result in localised deterioration of substrate materials if not addressed.

Bathroom

Bathroom wall and floor tiling is in serviceable condition with grout intact and no visible cracking or displacement, providing an adequate moisture barrier and reducing the risk of water ingress, structural deterioration, and potential concealed pest activity in wet area substrates.

Powder Room

Ceramic toilet suite installed, observed to be in serviceable condition with no visible leaks, cracks, or indications of water ingress, providing appropriate sanitary facilities without evidence of building or pest-related concerns.

Laundry

Laundry walls and tiled surfaces present in a serviceable condition with no visible signs of moisture ingress, deterioration, or structural movement, supporting a reduced risk of water damage, pest entry, or adverse impact on the function of wet area elements in the context of a Building & Pest Inspection.

S

Satisfactory

NA

Not Applicable

SH

Safety Hazard

MD1

Minor Defect

MD2

Major Defect

DC

Defect Concealment

	Ensuite	Bathroom	Powder Room	Laundry
Floor Structure	S	S	S	S
Floor Movement	S	S	S	S
Floor Moisture	S	S	S	S
Floor Tiles	S	S	S	S
Floor Grout	S	S	S	S
Wall Structure	S	S	S	S
Wall Movement	S	S	S	S
Wall Moisture	S	S	S	S
Wall Linings	S	S	S	S
Wall Damage	S	S	S	S
Wall Cracks	S	S	S	S
Wall Paint	S	S	S	S

	Ensuite	Bathroom	Powder Room	Laundry
Wall Tiles	S	S	S	S
Wall Grout	MD1	S	S	S
Wall Ventilation	S	S	S	S
Ceiling Ventilation	S	S	S	S
Ceiling Structure	S	S	S	S
Ceiling Movement	S	S	S	S
Ceiling Moisture	S	S	S	S
Ceiling Linings	S	S	S	S
Ceiling Damage	S	S	S	S
Ceiling Cracks	S	S	S	S
Ceiling Sagging	S	S	S	S
Nails Popping	S	S	S	S
Cornice Cracking	S	S	S	S
Ceiling Paint	S	S	S	S
Door Frames	S	S	S	S
Doors	S	S	S	S
Door Latches	S	S	S	S
Windows/Frames	S	S	NA	NA
Shower Base	S	S	NA	NA
Shower Moisture	S	S	NA	NA
Shower Screen	S	S	NA	NA
Bath/Spa	NA	S	NA	NA
Vanity Unit	S	S	S	NA
Laundry Trough	NA	NA	NA	S

STRUCTURAL DEFECTS

Movement Cracks – External Brickwork, External Wall Linings, Internal Walls and Ceiling Linings, including Cornices

- Movement cracks come with the age of the building and it's structural integrity that can cause major, minor or hair line cracks throughout the building.
- Major cracks will be identified under this report and will need further investigation into the structural integrity of the building.
- Minor and hair line cracks come with the age of the building, they are of no real concern but can be repaired at some stage.

Timber Floors

All timber floors will have movement, it comes with the age of the building and can cause squeaking and movement in the timber floor and the frame work. This can be addressed at some stage by screwing the existing timber flooring down to the timber floor joists.

Windows

- All timber and aluminum windows will need ongoing maintenance.

Doors and Latches

- All doors will need ongoing maintenance due to the building moving over the years.

Note: A visual makeover can consist of repairs that have been carried out on the property to cover up defects.

Visible Evidence Of Makeover	
Is there evidence of a makeover	No
Visible evidence of recent makeover is present, which may obscure underlying structural elements and impede identification of potential building or pest-related issues during the inspection.	
Cracks In Brickwork	
Cracks in brickwork identified at time of inspection	No
Status of cracks in brickwork	Satisfactory
No cracks are present in the brickwork, indicating the structural integrity of this element is acceptable and there are no visible concerns regarding movement or distress at the time of inspection.	

Gaps Around Windows

Gaps around windows identified at time of inspection

No

Status of gaps around windows

Satisfactory

No gaps are present around the window frames, minimising the risk of water ingress, air leakage, and pest entry at these locations.

Internal Wall Linings

Status of internal wall linings

Satisfactory

The internal wall linings are in satisfactory condition, with no visible signs of structural movement, moisture ingress, or other defects that may compromise their performance or indicate pest activity.

External Wall Linings

Status of external wall linings

Minor Defect

Minor cracking is present throughout the external wall linings, which may allow for localised moisture ingress or provide entry points for timber pests if not properly sealed.

Internal Wall Structure

Status of internal wall structure

Satisfactory

The internal wall structure is free from visible structural defects, with no evidence of cracking, deformation, or moisture ingress, indicating the element remains sound and does not currently present risks to the building's structural integrity or provide conducive conditions for timber pest activity.

External Wall Structure

Status of external wall structure

Satisfactory

Masonry external wall structure presents in satisfactory condition, with no visible cracks, distortion, or evidence of structural movement at the time of inspection, indicating no current risks to the building's stability or protection against pest ingress.

Dampness In Internal Walls

Status of dampness in internal walls

Satisfactory

No evidence of dampness was identified in the internal walls at the time of inspection, indicating no immediate moisture-related risks to structural integrity or conditions conducive to timber pest activity.

Dampness In External Walls

Status of dampness in external walls

Satisfactory

No evidence of dampness was observed in the external walls, indicating that moisture ingress is not currently impacting the structural integrity, durability, or pest resistance of these elements.

Dampness In Floor

Status of dampness in roof

Satisfactory

No evidence of dampness was observed in the flooring structure, indicating that there are no current elevated moisture conditions which could contribute to structural degradation, fungal decay, or attract timber pests.

Dampness In Ceiling

Status of dampness in ceiling

Satisfactory

No evidence of dampness is present in the ceiling; the area is free from visible water staining or moisture damage, indicating no current risk to the ceiling structure or potential for concealed timber pest activity associated with excessive moisture.

Dampness In Roof

Status of dampness in roof

Satisfactory

No evidence of dampness was identified within the roof space or structural components, indicating the roof structure remains free of excess moisture risks that could contribute to timber decay or conditions conducive to timber pests.

Internal Wall Movement

Status of internal wall movement

Satisfactory

Internal Wall Movement - Continued

No evidence of internal wall movement was identified, indicating current structural stability of internal wall elements with no apparent risk to building integrity or signs of movement-related defects at the time of inspection.

External Wall Movement

Status of external wall movement

Satisfactory

External masonry and cladding show no visible movement, distortion or cracking, indicating stable wall alignment and no immediate evidence of structural distress or active settlement affecting the building's integrity at the time of inspection.

Floor Structure

Status of floor structure

Satisfactory

The floor structure is in acceptable condition with no visible evidence of structural movement, deterioration, or pest activity that would compromise its structural adequacy or pose a risk to safety or long-term performance.

Floor Movement

Status of floor movement

Satisfactory

No evidence of abnormal floor movement was observed at the time of inspection, indicating that the structural floor framing remains stable and does not present risks related to settlement, unevenness, or potential safety hazards in the context of a Building & Pest Inspection.

Roof Structure

Status of roof structure

Satisfactory

Roof structure is constructed from timber framing and is in satisfactory condition, with no visible evidence of structural defects such as sagging, deformation, or timber deterioration, indicating the roof currently performs its load-bearing and weather protection functions as intended.

Internal Roof Movement

Status of internal roof movement

Satisfactory

No evidence of internal roof movement was observed, indicating that the roof framing remains stable with no visible structural distortion or displacement that would present a risk to the building's structural performance.

External Roof Movement

Status of external roof structure

Satisfactory

No evidence of external roof movement was observed, indicating that the roof structure is currently stable with no visible signs of distortion or misalignment that could affect structural integrity or weatherproofing.

Ceiling Structure

Status of ceiling structure

Satisfactory

The ceiling structure is of timber construction and is in satisfactory condition, with no visible signs of structural damage, excessive deflection, rot, termite activity, or water ingress noted at the time of inspection.

Ceiling Linings

Status ceiling linings

Satisfactory

Ceiling linings are intact and well-secured, with no visible cracking, sagging, moisture staining or indications of structural movement, providing an acceptable barrier to concealed framing and limiting pest ingress in accordance with standard building practices.

Ceiling Movement

Status of ceiling movement

Satisfactory

No movement or visible defects present in the ceiling; structural ceiling components are in a stable and serviceable condition, with no signs of cracking, deflection, or issues that would suggest structural distress or pest-related damage.

Support Beams

Status of support beams

Satisfactory

Timber support beams were observed to be in satisfactory condition with no visible structural defects, deterioration, or evidence of pest activity that could compromise the load-bearing capacity or overall performance of the structure at the time of inspection.

Posts

Status of posts

Satisfactory

Posts - Continued

Steel post observed in satisfactory condition with no visible signs of corrosion, deformation, or instability, providing adequate structural support without immediate risk of compromise to the building's integrity or pest ingress at time of inspection.

Internal Painting

Status of internal painting

Satisfactory

Internal painting is in satisfactory condition, with no visible signs of delamination, moisture staining, or cracking that would indicate an underlying structural or moisture issue affecting the building fabric.

External Painting

Status of external painting

Satisfactory

External painted surfaces are in satisfactory condition, presenting no evidence of deterioration or failure that would compromise the intended protection of underlying structural elements against moisture ingress or timber pest activity.

Internal Glass Replacement

Status of internal glass replacement

Not Applicable

External Glass Replacement

Status of external glass replacement

Satisfactory

External glazing is free of cracks, chips, or other defects, presenting no risk to safety, building security, or weatherproofing, and no immediate action is required.

Internal Stairs & Handrails

Status of internal stairs & handrails

Satisfactory

Internal stairs and handrails are structurally stable and securely fixed, with no evidence of damage, instability, or safety hazards that would impact safe use or compliance with building requirements at the time of inspection.

External Stairs & Handrails

Status of external stairs & handrails

Not Applicable

PEST – INTERNAL INSPECTION

Visual timber pest inspection in accordance with: AS4349.3-2010

Note: All timbers laying on the ground should be removed from site to prevent termite attack.

If **furnished**, the inspection was limited due to personal items placed throughout the property at the time and date of the inspection.

As of the date of this pest report, there was no evidence of live termite activity in or around this property, unless termite activity has been documented within this report.

Accessibility

Accessibility of the area

Accessible

Probing

Was probing conducted?

Yes

Non-invasive probing was undertaken internally, with no evidence of timber degradation or pest activity detected at the time of inspection, indicating that concealed timber elements within accessible areas are currently in a serviceable condition and do not present risk of concealed pest damage necessitating invasive investigation.

Wall Moisture

Was wall moisture detected?

No

No moisture detected in internal wall surfaces; the absence of elevated moisture readings reduces the risk of concealed water ingress or conducive conditions for timber pest activity in this area.

Ceiling Moisture

Was ceiling moisture detected?

No

No moisture detected to ceiling areas at the time of inspection, indicating no observable elevated risk of water ingress, conducive conditions for timber decay, or increased likelihood of pest activity related to dampness within ceiling spaces.

Floor Moisture

Was floor moisture detected?

No

No elevated moisture readings were detected in internal floor areas, indicating an absence of moisture ingress or evidence of conditions conducive to timber pest activity at the time of inspection.

Termites

No evidence of active or past termite activity was observed to accessible internal building elements at the time of inspection, indicating no immediate termite-related risk to the structural integrity of the property.

Borers

No visible evidence of timber borer activity or damage was observed to accessible structural and decorative timbers, indicating that the inspected areas are currently free from active or inactive borer infestation.

Fungi

No evidence of fungal growth was observed within the internal areas inspected, indicating that conditions conducive to timber decay or potential structural compromise by fungi are not currently present.

S Satisfactory

NA Not Applicable

SH Safety Hazard

MD1 Minor Defect

MD2 Major Defect

DC Defect Concealment

	Termites	Borers	Fungi
Window Frames	S	S	S
Door Frames	S	S	S
Walls & Linings	S	S	S
Skirtings	S	S	S
Architraves	S	S	S
Built-In Joinery	S	S	S
Kitchen	S	S	S
Built-In Robes	S	S	S
Shower Recesses	S	S	S
Vanities	S	S	S
Bath	S	S	S
Laundry Trough	S	S	S
Flues And Chimneys	S	S	S

PEST – EXTERNAL INSPECTION

Note: All timber should be removed from the ground to prevent termite attack.

Accessibility

Accessibility of the area

Accessible

Ground Moisture

State of ground moisture at time of inspection

Low

Ground moisture levels around the exterior areas are low, reducing the likelihood of conducive conditions for timber pest activity or moisture-related building deterioration.

Water Taps Leaking

Were water taps leaking?

No

External water taps were tested and found to be free of active leaks, which reduces the risk of excess moisture that can contribute to timber decay, subfloor dampness, or increased conducive conditions for termites.

Hot Water Overflow

Status of hot water overflow at time of inspection

Satisfactory

Hot water system overflow pipe constructed from copper, discharging externally with no evidence of excessive or continuous discharge, presenting no moisture-related risk or elevated potential for conducive pest conditions at time of inspection.

Air Conditioner Overflow

Status of air conditioner overflow at time of inspection

Satisfactory

Air conditioner overflow piping is discharging appropriately without signs of pooling or excessive moisture, indicating no current risk of water ingress or conducive conditions for pest activity at the time of inspection.

Termites

No visible evidence of termite activity or damage was observed to external building elements at the time of inspection, indicating no immediate pest-related structural risks detected within the inspected areas.

Borers

No evidence of borer activity was observed in accessible external timber elements, indicating no current risk of timber structural compromise from borer infestation.

Fungi

No visible fungal growth was observed to external building elements at the time of inspection, indicating there is currently no increased risk of deterioration or decay associated with fungal activity in these areas.

S Satisfactory

NA Not Applicable

SH Safety Hazard

MD1 Minor Defect

MD2 Major Defect

DC Defect Concealment

	Termites	Borers	Fungi
Garage	S	S	S
Sheds	NA	NA	NA
Carports	NA	NA	NA
Verandas	NA	NA	NA
Timber Decks	S	S	S
Pergolas	S	S	S
Posts	S	S	S
Wall Linings	S	S	S
Concrete Slabs & Paths	S	S	S
Wood Storage	NA	NA	NA
Trees	S	S	S
Tree Stumps	NA	NA	NA
Fences	S	S	S
Gardens	S	S	S
Landscaping	S	S	S
Retaining Walls	S	S	S

PEST – ROOF CAVITY INSPECTION

Accessibility	
Accessibility of the area	No Access
No manholes are present, preventing access to the roof cavity for a thorough inspection and limiting the ability to assess structural elements and potential pest activity within this area.	

PEST – SUB FLOOR INSPECTION

Accessibility	
Accessibility of the area	No Access
No access to the sub floor is possible due to the presence of a concrete slab on ground, which restricts the ability to inspect concealed structural timbers and potential pest activity beneath the building.	

PEST – INSPECTION SUMMARY

*All properties are considered to be at high risk of termite attack.

Visual Evidence

Visual evidence of termites at time of inspection	No
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No visual evidence of timber pest activity, structural damage, or conditions conducive to infestation was observed in accessible areas during the inspection, indicating no immediate pest-related concerns for the Building & Pest Inspection at this time.

Active Termites

Evidence of active termites in area	No
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No evidence of active termites was identified at the time of inspection, indicating no immediate risk of termite-related structural damage or ongoing timber pest activity within inspected areas.

Termite Damage

Termite damage at time of inspection	No
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No termite damage is evident in the inspected building elements, with all visible structural timbers and accessible areas presenting in sound condition and free of indications of pest activity or deterioration, thus posing no immediate pest-related risk to the property.

Termite Nest Found

Termite nest located at time of inspection	No
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No evidence of termite nesting observed at the time of inspection, minimising the immediate risk of concealed termite activity and structural timber compromise.

Previous Termite Activity

Evidence of previous termite activity	No
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No evidence of previous termite activity was observed, indicating there is no current visible risk to timber building elements from termite-related damage at the time of inspection.

Previous Termites Treatment

Evidence of previous termite treatment

No

No evidence of previous termite treatment was observed, which means there is no clear indication that termite management measures have been implemented or maintained at the property.

Is There Termites In The Area

Are there termites in the surrounding area

No

No visible evidence of termite activity or damage was detected in the inspected areas at the time of the assessment, which reduces the immediate risk of timber pest-related structural compromise for this property.

Evidence Of Borers Found

Evidence of borers at time of inspection

No

No evidence of active or previous borer infestation was identified in inspected timbers, indicating no current risk to structural timber integrity from wood-boring insects.

Evidence Of Fungal Decay Found

Evidence of fungal decay at time of inspection

No

No evidence of fungal decay was observed in the inspected building elements, indicating there are no current risks of timber deterioration associated with fungal activity at the time of inspection.

RECOMMENDED INSPECTIONS

The below inspections are recommended, they are to be conducted by licensed and insured professionals.

Asbestos Inspection (Buildings Built Prior To 1990)	
Asbestos Inspection Recommended	No
Asbestos Insulation Inspection (Buildings Built Prior To 1980)	
Asbestos Insulation Inspection Recommended	No
Building Compliance	
Building Compliance Recommended	No
Electrical Fuse Inspection	
Electrical Inspection Recommended	Yes
Electrical Appliances Inspection	
Electrical Appliances Inspection Recommended	Yes
Air Conditioning Inspection	
Air Conditioning Inspection Recommended	Yes
Plumbing Inspection	
Plumbing Inspection Recommended	Yes
Drainage/Sewerage/Septic Inspection	
Drainage/Sewerage/Septic Inspection Recommended	Yes
Gas Appliances Inspection	
Gas Appliances Inspection Recommended	No
Hot Water Unit Inspection	
Hot Water Unit Inspection Recommended	Yes
Solar Panel Inspection	
Solar Panel Inspection Recommended	Yes

Fire & Smoke Detector Alarm Inspection

Fire & Smoke Detector Alarm Inspection Recommended

Yes

Timber Pest Inspection

Timber Pest Inspection Recommended

No

After Purchase Termite Management Plan

After Purchase Termite Management Plan Recommended

Yes

Pool Safety Barrier Inspection

Pool Safety Barrier Inspection Recommended

No

Telephone & Line Inspection

Telephone & Line Inspection Recommended

Yes

REPORT SUMMARY

The property is in good condition with very few minor defects present and presents in good structural condition.

DEFECT SUMMARY

External Structures		
Southern Perimeter Fence	p. 8	Minor Defect
Eastern Perimeter Fence	p. 8	Minor Defect
Western Perimeter Fence	p. 8	Minor Defect
External Buildings		
Garage		
Doors & Frames	p. 12	Minor Defect
Internal Rooms		
Upstairs Hallway		
Wall Cracks	p. 17	Minor Defect
Bedroom 1		
Wall Linings	p. 17	Minor Defect
Bedroom 2		
Wall Linings	p. 17	Minor Defect
Bedroom 3		
Wall Linings	p. 17	Minor Defect
Bedroom 4		
Wall Linings	p. 17	Minor Defect
Kitchen/Dining		
Kitchen		
Doors	p. 21	Minor Defect
Wet Areas		
Ensuite		
Wall Grout	p. 23	Minor Defect

THANK YOU

Thank you for choosing us for your inspection needs. We appreciate your trust in our services.

Should you have any questions or require clarification regarding this report, please don't hesitate to reach out to your inspector.



Mitchell Callagher

CBR Property Inspections

0433 729 182

mitchell@cbrpropertyinspections.com.au

INSPECTION TERMS & CONDITIONS

THIS IS A VISUAL INSPECTION ONLY in accordance with **Australian Standards Requirements**.

Inspector/Our/Us/We, means the company, partnership or individual named in the inspector details section of this report that you have requested to carry out the property inspection and report.

Client/You/Your, means the party identified on the client details section of this agreement as the Client, and where more than one party all such parties jointly and severally, together with any agent of that party.

Visual inspection was limited to those areas and sections of the property to which reasonable access was both available and permitted on the date of inspection.

The inspection **DOES NOT** include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions.

The inspector **CANNOT** see inside walls, between floors, inside skillion roofing, inside the eaves, behind stored goods in cupboards, in other areas that are concealed or obstructed.

The inspector **DOES NOT** dig, gouge, force or perform any other invasive procedures. An invasive inspection will not be performed unless a separate contract is entered into. In an occupied property it must be understood that furnishings or household items may be concealing evidence of Timber Pests which may only be revealed when the items are moved or removed. In the case of Strata type properties only the interior of the unit is inspected.

Ability to carry out a full inspection was limited by variable access depending on the amount of furniture and personal items positioned throughout the house and other structures at the time of inspection.

SCOPE OF REPORT

The scope of this inspection complies with the requirements of the Australian Standards (AS 4349.0-2007 & AS 4349.3-2010). To provide advice to you regarding the condition of the property and to report on the discovery, or non discovery, of infestation and/or damage caused by subterranean and dampwood termites (white ants), borers of seasoned timber and wood decay fungi (rot), present on the date and time of the Inspection.

The inspection shall comprise a visual assessment of the property to identify major defects, safety hazards and significant maintenance issues present and to form an opinion regarding the general condition of the property at the time of inspection.

An estimate of the cost of rectification of defects is not required in an inspection report in accordance with this Standard. If an estimate is provided it is merely an opinion of possible costs that may be encountered and is not a guarantee or quotation for rectification work. The inspector accepts no liability for any estimates provided.

GENERAL SUMMARY

Any person who relies upon the contents of this report does so acknowledging the scope and limitations of the inspection which forms an integral part of the report. Before you decide to act upon this report you should read and understand all of the information contained herein.

It will help to explain what is involved in a standard property inspection, the difficulties faced by an inspector and why it is not possible to guarantee that a property is free of defects. If there is anything contained within this report that is not clear or you have difficulty understanding, please contact the inspector prior to acting on this report.

The report is not intended as a certificate of compliance of the property within the requirements of any Act, regulation, ordinance, or by-law, or, as a warranty or an insurance policy against problems developing with the building in the future, nor does it include inspections of the building plans and specifications at your local council or shire.

A Standard Property Inspection Report only deals with the detection or non detection of Structural Damage, Conditions Conducive to Structural Damage and any Significant Defect in the general condition of Secondary Elements and Finishing Elements of construction discernible at the time of inspection, with or without ancillary testing. All other reports are special-purpose inspection reports.

In the case of Strata and Company Title properties, the inspection is limited to the interior and immediate exterior of the particular unit/s being inspected. The complete inspection of other common property areas would be the subject of a special-purpose inspection report which is adequately specified.

DEFINITIONS

- **Access hole (cover)** - Hole cut in flooring or other part of a structure to allow for entry to carry out an inspection.
- **Accessible area** - Area of the site where sufficient safe and reasonable access is available to allow inspection within the scope of the inspection.
- **Client** - Person or other entity for whom the inspection is being carried out.
- **Fungal decay** - Loss of strength due to destruction of cellulose and or lignin by wood decay fungi. NOTE: Fungal decay is commonly but incorrectly called 'wet rot' and 'dry rot'.
- **Inspection** - Close and careful scrutiny of an item carried out in order to arrive at a reliable conclusion as to the condition of an item.
- **Limitation** - Factor that prevents full achievement of the purpose of the inspection.
- **Major safety hazard** - An object or physical situation with a potential for causing harm to life or health of persons.
- **Mould** - A type of fungus that does not structurally damage wood.
- **Non-invasive inspection** - Visual inspection supplemented by sounding that does not mark the surface and may include limited use of equipment as described in this Standard.
- **Property** - Allotment, including improvements and all timber structures such as buildings, patios, decking, landscaping, retaining walls, fences and bridges.
- **Site** - Area within the property boundaries and within 30 meters of the nominated building.
- **Subfloor space** - That part of a building between the soil and the ground floor level.
- **Inspector** - Person or organization responsible for carrying out the inspection
- **Structural Cracking/Movement** - Major (full depth) cracking forming in primary elements resulting from differential movement between or within the elements of construction, such as foundations, footing, floors, walls and rooves.
- **Deformation** - An abnormal change of shape of primary elements resulting from the application of load(s)
- **Dampness** - The presence of moisture within the building which is causing consequential damage to primary elements.
- **Damage** - The building material or item has deteriorated or is not fit for its designed purpose
- **Distortion, Warping, Twisting** - The item has moved out of shape or moved from its position.
- **Water Penetration, Dampness** - Moisture has gained access to unplanned and/or unacceptable areas.
- **Material Deterioration** - The item is subject to one or more of the following defects; rusting, rotting, corrosion, decay.
- **Major Defect** - Is a defect requiring building works to avoid unsafe conditions, loss of function or further worsening of the defective item.
- **Minor Defect** - Any defect other than what is described as a major defect.
- **Structural Timber Pest Damage** - Structural failure, i.e. an obvious weak spot, deformation or even collapse of timber primary elements resulting from attack by one or more of the following wood destroying agents; chemical delignification, fungal decay (rot) wood borers (borers) and termites (white ants).

- **Conditions Conducive to Structural Damage** - Noticeable building deficiencies or environmental factors that may contribute to the occurrence of Structural Damage.
- **Structure** - The load bearing part of the building, comprising the Primary Elements.
- **Significant Defect** - A matter, in view of the age and type of the building being inspected, requires substantial repairs or urgent attention and rectification.
- **Primary Elements** - Parts of the building providing the basic load bearing capacity to the Structure, such as foundations, footings, floor framing, and load bearing walls, beams or columns. The term 'Primary Elements' also includes other structural building elements including those that provide a level of personal protection such as handrails, floor-to-floor access such as stairways, and the structural flooring of the building such as floorboards.
- **Secondary Elements** - Parts of the building not providing load bearing capacity to the Structure, or those nonessential elements which, in the main, perform a completion role around openings in Primary Elements and the building in general such as non-load bearing walls, partitions, wall linings, ceilings, chimneys, flashings, windows, glazing or doors.
- **Finishing Elements** - Fixtures, fittings and finishes applied or affixed to Primary Elements and Secondary Elements such as baths, water closets, vanity basins, kitchen cupboards, door furniture, window hardware, render, floor and wall tiles, trim or paint. The term 'Finishing Elements' does not include furniture or soft floor coverings such as carpet and lino.
- **Readily Accessible Areas** - Areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels, in roof spaces where the minimum area of accessibility is not less than 600mm high by 600mm wide and subfloor spaces where the minimum area of accessibility is not less than 400mm high by 600mm wide, providing the spaces or areas permit entry OR, where these clearances are not available, areas within the inspector's unobstructed line of sight and within arm's length.
- **Dampness Tests** - Instrument testing using an electronic Moisture detecting meter of those areas and other visible accessible elements of construction showing evidence of dampness was performed.
- **Physical Tests** - The following physical actions undertaken by the inspector; opening and shutting of doors, windows and draws; operation of taps; water testing of shower recesses and the tapping of tiles and wall plaster.
- **Breach (termite)** - Hole or gap in a termite barrier that provides termites with passage through that barrier. Breaches include removal of a section of treated soil from a chemical soil barrier or a perforation or a disjunction in a physical barrier.
- **Bridging** - Spanning of a termite barrier or inspection zone, to provide subterranean termites with passage over or around that barrier or inspection zone. The bridge can be part of the building structure, foreign objects (including soil, tree roots and debris) or a structure built by the termites themselves.
- **Drywood termites** - Termites that do not require a water source other than the atmosphere and the moisture content of the timber in which they occur.
- **Excessive moisture conditions** - Presence of moisture that is conducive to timber pest activity.
- **Frass** - Dust and droppings produced by borer activity.
- **Timber pests** - Subterranean and dampwood termites, borers of seasoned timber and wood decay fungi, but not including drywood termites.

LIMITATIONS

1. The Inspector shall not be liable for failure to perform any duty or obligation that the inspector may have under this agreement, where such failure has been caused by inclement weather, industrial disturbance, accident, or any cause outside the reasonable control of the inspector.
2. This Inspection Report does **NOT** include the inspection and assessment of items or matters outside the scope of the requested inspection and report. Other items or matters may be the subject of a Special-Purpose Inspection Report which is adequately specified.

1. This Inspection Report does **NOT** include the inspection and assessment of items or matters that do not fall within the inspector's direct expertise.
2. The inspection only covers the Readily Accessible Areas of the property. The inspection did not include areas which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include, but are not limited to fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builders' debris, vegetation, pavements or earth.
3. Australian Standard Inspection of Buildings AS 4349.0-2007 recognises that a standard property report is not a warranty or an insurance policy against problems developing with the building in the future.
4. This is not a structural damage report. Neither is this a warranty as to the absence of Timber Pest Attack.
5. Inspection for mould was **NOT** carried out at the property and no report is provided on this subject.
6. Inspection for Magnesite flooring was **NOT** carried out at the property. We advise the client to follow up any questions of concern to ascertain the presence of Magnesite flooring.
7. Inspection for asbestos was **NOT** carried out at the property, the report will **NOT** outline the absence or presence of asbestos.
8. The pest report is confined to reporting on the discovery, or non-discovery, of infestation and/or damage caused by subterranean termites (white ants), borers of dry seasoned timber and wood decay present on the date of the inspection. It is based solely upon either moisture meter reading, hand probing or visual inspection of those areas of the property readily visible and fully accessible to the inspector on the date of the inspection.
9. The inspection does not cover any other pests and this report does not comment on them. Dry wood termites were excluded from this inspection.
10. This report is confined to reporting on the discovery, or non discovery, of infestation and/or damage caused by subterranean and damp wood termites (white ants), borers of seasoned timber and wood decay fungi (hereinafter referred to as "Timber Pests"), present on the date of the Inspection. The inspection did not cover any other pests and this report does not comment on them.
11. Dry wood termites (Family: KALOTERMITIDAE) and European House Borer (*Heliotropes bujulus* Linnaeus) were excluded from the Inspection, but have been reported on if, in the course of the Inspection, any visual evidence of infestation happened to be found. If *Cryptotermes brevis* (West Indian Dry Wood Termite) or *Hyloterpes bujulus* Linnaeus are discovered we are required by law to notify Government Authorities. If reported a special purpose report may be necessary.
12. The report is **NOT** a structural damage report. We claim no expertise in building and any observations or recommendations about timber damage should not be taken as expert opinion and **CANNOT** be relied upon. The report will not state the full extent of any timber pest damage.
13. This information is not the opinion of an expert. If any evidence of Timber Pest activity and/or damage resulting from Timber Pest activity is reported either in the structure(s) or the grounds of the property, then you must assume that there may be concealed structural damage within the building(s). This concealed damage may only be found when wall linings, cladding or insulation is removed to reveal previously concealed timbers.
14. An invasive Timber pest Inspection (for which a separate contract is required) is strongly recommended and you should arrange for a qualified person such as a Builder, Engineer or Architect to carry out a structural inspection and to determine the full extent of the damage and the extent of repairs that may be required.
15. You agree that neither we nor the individual conducting the Inspection is responsible or liable for the repair of any damage whether disclosed by the report or not.
16. No inspection for Mould was carried out at the property and no report on the presence or absence of Mould is provided. Should any evidence of Mould happen to be noticed during the inspection, it will be noted in the Report Summary section of this report.
17. The pest inspection is limited to the site boundaries and fence lines of the property. Where there is no boundary line, it is limited to 30 meter radius from the perimeter of the buildings (eg. house & sheds).

1. No liability shall be accepted on account of failure of the Report to notify any Termite activity and/or damage present at or prior to the date of the report in any area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for inspection is denied by or to the licensed inspector (including but not limited to any area(s) or section(s) so specified by the report).

EXPECTED PERFORMANCE

It is not possible to test the expected performance of the storm water drains or roof drainage, guttering systems, capping or roof leaks during normal, dry conditions.

The inspector cannot assess or examine the condition of storm water drainage, gutters, joins or sewer pipes for blockages or obstructions or breaks including rising damp and leaks which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects (e.g. In the case of shower enclosures the absence of any dampness at the time of the inspection does not necessarily mean that the enclosure will not leak).

As such, the inspector cannot comment on their condition or performance and therefore can take no responsibility or liability in this regard. Flashings, especially in older homes, should be carefully monitored for performance and replaced rather than repaired.

EXCLUSIONS

In accordance with Australian Standard AS 4349.1-2007 (Appendix D) a Standard Property Inspection Report does not cover or deal with:

- Any 'minor fault or defect', i.e. a matter, in view of the age, type and condition of the building being inspected, does not require substantial repairs or urgent attention and rectification.
- Solving or providing costs for any rectification or repair work.
- The structural design or adequacy of any element of construction.
- Footings; concealed damp-proof course; electrical installations; smoke detectors and residual current devices plumbing; drainage; gas-fittings; air-conditioning; garage door opening mechanisms; alarm systems; intercom systems; soft floor coverings including carpet and lino; paint coatings (interior) and hazards
- Areas concealed by wall linings or cladding, landscaping, rubbish, floor coverings, furniture, pictures, appliances and stored items, insulation, masonry or any other obstructions to visual inspection.
- The operation of fireplaces and chimneys
- Any services including building, engineering (electronic), fire and smoke detection or mechanical
- Any swimming pools and associated pool equipment or spa baths and spa equipment or the like
- Any appliances such as dishwashers, insinkerator, ovens, stoves and ducted vacuum systems
- A review of Occupational Health & Safety issues such as asbestos content, or the provision of safety glass or swimming pool fencing.
- Whether the building complies with the provisions of any Building Act, Code, Regulation or By-laws; and
- Whether the ground on which the building rests has been filled, is liable to subside, is subject to landslip, earthquakes or tidal inundation, or is flood prone.
- Any other items listed in AS 4349.1-2007 Appendix D that have not been explicitly listed above.

Any of the above matters may be the subject of a Special-Purpose Inspection Report which is adequately specified and undertaken by an appropriately qualified inspector.

ACCESSIBILITY

Unless specified in writing, the inspection only covered the Readily Accessible Areas of the Building and Site. The inspection did not include areas which were inaccessible, not readily accessible or obstructed at the time of inspection. Reasonable access shall be determined in accordance with the provisions of Australian Standards AS4349.1-2007 3.2.2 Safe and Reasonable Access.

The inspector did not move or remove any ceilings, wall coverings, floor coverings (including carpet and wooden floorboards), furnishings, equipment, appliances, pictures or other household goods. In an occupied property, furnishings or household items may be concealing defects which may only be revealed when the items are moved or removed.

In the case of Strata and Company Title properties or other Class 2 buildings or equivalent, if the inspection was limited to assessing the interior of a particular unit or lot, the client may have additional liability for defects or faults in the common property. This additional liability can only be addressed through the undertaking of a Special-Purpose Inspection Report which is adequately specified.

The inspector did not move or remove any obstructions such as wall cladding, awnings, trellis, earth, plants, bushes, foliage, stored materials, debris or rubbish. Such items may be concealing defects that may only be revealed when the items are moved or removed.

In inspecting the roof space of any pitched roof there was no inspection of areas where accessibility was less than 600mm high by 600mm wide, but includes areas at the eaves of accessible roof spaces that are within the inspector's unobstructed line of sight and within arm's length from a point with conforming clearance, i.e. 600mm high by 600mm wide.

Bodily access should be provided to the interior of all accessible roof spaces. In accordance with Australian Standard AS 4349 the minimum requirement is a 400mm by 500mm sized access manhole.

Obstructions such as roofing, stored articles, thermal insulation, sarking and pipe/duct work may be concealing evidence of defects which may only be revealed when the obstructions are moved or removed.

Storage of materials in subfloor areas is not recommended as it reduces ventilation and makes inspection difficult. Obstruction may be concealing evidence of damage or faults which may only be revealed when the obstructions are moved or removed.

Bodily access should be provided to all accessible subfloor areas. In accordance with Australian Standard AS 4349 the minimum requirement is a 600 mm x 500 mm access manhole. In the case of suspended floors, if the clearance between the ground and structural components is less than 500 mm, Australian Standard 3660 recommends that the ground should be excavated to provide the required clearance, subject to maintaining adequate drainage and support to footings.

DISCLAIMER

This report is provided for the sole use of you, the Client named on the report, and for the purpose of a pre-purchase inspection report. No liability or responsibility whatsoever is accepted to any third party who may rely on the report wholly or in part. Any third party acting or relying on this report whether in whole or in part does so at their own risk which releases CBR Property Inspections of any counter issues or recourse made by third parties.

Where verbal advice is given CBR Property Inspections shall not be held responsible for any matters whatsoever should the Applicant/s misconstrue and/or fail to understand such advice given at any time during the client/business dealings.

Please note that all responsibility and liability rests with you (the client), to satisfy yourself of the structural soundness and value of the dwelling you are considering for purchase. No liability will be accepted by CBR Property Inspections for any error, negligence, omission or defect contained in this report whether such claim is for breach of contract or for negligence or a claim based on any other liability.

Insofar as permitted by law and without limiting the foregoing, any liability for compensation shall be limited to a full or partial refund of the fee paid for this pre-purchase inspection report and no claim shall be accepted for any loss or damage whatsoever including (without limitation) any claim for the cost of repair or rectification, loss of value, or any consequential loss of any nature whatsoever.

COMPLAINTS PROCESS

1. If you are dissatisfied with this Report, you must give CBR Property Inspections written notice specifying the matters about which you are dissatisfied before taking any remedial action
2. within 28 days of giving the notice, you and CBR Property Inspections shall meet to attempt to resolve the matters;
3. if, at the expiration of 28 days from the giving of the notice, any dispute, controversy or claim arising out of the matters shall remain unresolved, the matters shall be the subject of a mediation to be conducted by a mediator appointed by agreement between you and CBR Property Inspections or appointed by the Department of Fair Trading, with the cost of such mediation shared equally by both parties;
4. The decision by the Department of Fair Trading shall be binding and neither further claims nor disputes shall be entered into.

CBR PROPERTY INSPECTIONS

Inspection Overview

Client Name	Jenelle Frewen
Property Address	104 Captain Cook Crescent, Narrabundah ACT
Accredited Inspector	Mitchell Callagher
Date of Inspection	02/07/2026
Time of Inspection	3:30 PM
Block Size (approximately)	654 Sqm
House Size (approximately)	316 Sqm; 203 Sqm Ground; 113 First
Compliance Report	For information regarding structures on this block and section, refer to the compliance report
Energy Efficiency Rating	EER 6.0
Wall Construction	Brick Veneer; Polystyrene
Internal Wall Construction	Timber Frame, Plasterboard
Floor Construction	Concrete Slab On Ground
Roof Cladding	Colorbond Roof
Roof Construction	Treated Timber Trusses
Glazing	Double Glazing
Heating & Cooling	Ducted
Ceiling Insulation	R 6.0
Wall Insulation	R 2.5
Year of Construction	2017
Weather Conditions	Dry
Building Tenancy	Unoccupied
Inspection Scope	The building and property within 30 metres of the building subject to inspection.
Areas Inspected	The Building Interior The Building Exterior The Roof Void Space The Roof Exterior The Subfloor The Block Site
Non-Accessible areas	See Terms and Limitations
Furnished	Yes
No of Bedrooms	4
Bathrooms	2.5
Building Report	Good: The overall condition of the majority of the property. Original and external features of the property are in Fair condition given the age of the property, these areas may require repairs and maintenance
Pest Inspection	See Pest Report for Further information and details

CBR PROPERTY INSPECTIONS

Plan No. (if applicable)	Description	Date of COU Approvals (certificate of Occupancy)	Comments
B20152734/A	Demolition of Existing Structure	31/08/2017 Certificate of Completion of Demolition	Permitted and approved, completed works
B20153838/B	New Residence	04/05/2018	Completed approved Structure
	Boundary Fence		Boundary fence to property is in correct position and approved structure.

Survey Reports	Date	Comments
M&M Surveys	11/01/2016	The residence is contained wholly within the boundaries of the land, with no apparent encroachments upon this land, property, adjoining lands or streets.

For any incomplete approvals please email acbuildingconveyance@act.gov.au for further information on how to complete.

Drainage Plan No: 2195

CBR PROPERTY INSPECTIONS

Compliance Report Information

IMPORTANT NOTE - We obtained a Building File from Access Canberra to complete this Compliance Report. This report relates to Building and Development approvals only. The building file may contain floor plans, elevations, Certificates of Occupancy & Use, index, survey reports, and drainage plans. Our report is based on examining these documents and conducting a visual inspection, focusing on compliance matters from the provided file. Please be aware that if plan details are unclear or compromised, we are not liable for any omissions or errors.

Refer to more details about Compliance in our Scope & Limitations. For information regarding current dimensions and approvals you can visit: planning.act.gov.au/topics/design_build/da_assessment/exempt_work

EASEMENTS - An easement is a section of land registered on your property which gives another party the right to access it for a specific purpose. An example is a section of the property that contains municipal services such as electricity, or drainage infrastructure. If a structure requires approval and is located on an easement the appropriate utility provider is consulted during the certification process and it is they who determine if an application for approval will be supported.

TCCS, PLUMBING & ELECTRICAL APPROVAL - If this report notes structures or alterations that require Transport Canberra & City Services (TCCS), Plumbing or Electrical Approval or cites plumbing and electrical additions and or alterations, please note that approval may have been granted, however, documentation is not provided in the building file. The Environment & Planning Directorate or the owner may have further information.

DEVELOPMENT APPROVAL - If this report identifies structures that require Development Approval, information relating to the status of Development Approvals will be shown on the Lease Conveyancing Enquiry provided by the solicitor. This will be included in the Conveyancing Contract for Sale. The status of a pending Development Approval is not contained within the building file we receive.

SWIMMING POOLS & SPAS - The ACT Government introduced reforms to home swimming pool safety, with a focus on swimming pool safety barriers. The reforms commenced May 1st 2024, including a four-year transition period. The scheme imposes requirements for information about the safety standard of a regulated swimming pool to be disclosed on the sale of a property. Owners must provide prescribed information including: exemption certificate, compliance certificate, swimming pool disclosure statement, certificate of occupancy for the pool and safety barriers that is not older than 5 years and 'Pool Owners Guidance Material' which outlines the obligations on owners of premises on which a regulated swimming pool is located. If this information is not provided in this report, you must request a copy. For more information on the reforms visit the ACT Government's Planning website.

EXTENSIONS - Where an extension or addition has been made to a property, it can create a potential gap or discontinuity in the termite barrier system. This gap occurs between the original structure and the new addition. Termite barriers are critical in aiding the prevention of undetected subterranean termites from entering the dwelling, and any interruption in the barrier can compromise its effectiveness. We are unable to report on the existence, condition or continuity of the termite barrier system between the existing dwelling and additions or alterations.



Building Conveyancing Enquiries and Energy Rating Package Application - Tax Invoice

This transaction will appear on your credit card statement as ACCESS CBR INTERNET PHILLIP

Date and time	Reference code	Payment receipt number
02 Jul 2026 9:30:12 PM	Y7XKGKB4	4436394597

Quantity	Description of service	Unit value	GST	Total
1	Residential conveyancing enquiry	\$ 119.87	\$ 0.00	\$ 119.87
1	Sanitary drainage plan fees	\$ 26.93	\$ 2.69	\$ 29.62
Total amount includes GST of				\$ 2.69
Total amount paid				\$ 149.49

Access Canberra
ABN:68 367 113 536

GPO Box 1908
Canberra ACT 2601

Phone: (02) 6207 1923

Request type

Select a request type*

Residential conveyancing enquiry

Our aim is to provide a 24 hour turnaround, However please allow up to 4 full working days for request.

What is the priority of this request?*

- ☒ Standard
- ☐ High

Contact details

Applicant details

Title	Given name*	Family name*
Mr	Mitchell	Callagher

Email*

admin@cbrpropertyinspections.com.au

Phone

0433729182

Property information

Address line 1*

104 CAPTAIN COOK CR

Address line 2

Suburb*	State*	Postcode*
NARRABUNDAH	ACT	2604

Suburb*

NARRABUNDAH

Unit

Block*

4

Section*

72

If you require help with suburb/district, section or block details, visit [ACTMAPI](#).

Lessee*

Jenelle Frewen

Applicant's reference

Additional information

Is the property an ex Government residence?*

- ☐ Yes
- ☒ No
- ☐ Unknown

Do you want to include a Sanitary Drainage Plan? (Additional fees apply)*

- ☒ Yes
- ☐ No

Applicant declaration

As the applicant lodging this request, you are declaring:*

- ☐ I am the lessee/owner.
- ☐ I am the solicitor acting on behalf of the lessee/owner.
- ☒ I have authorisation from the lessee/owner.
- ☐ I am/act for a mortgagee in possession.
- ☐ I have authorisation from the solicitor representing the lessee/owner.
- ☐ I have authorisation from the Trustee of the deceased estate.
- ☐ I have authorisation for power of attorney from the lessee/owner.

Please Note:

- 1. Documentation confirming that you have the lessee/owner's permission is required in all instances.
- 2. The applicant must comply with one of the above declarations to protect any personal information relating to the lessee/owner of this lease under the provisions of the *Privacy Act 1988*.
- 3. It is an offence to make a false or misleading statement, give false or misleading information or produce a false or misleading document (see Criminal Code, pt 3.4).

Letter of authority*

104 Captian Cook Crescent Signed.pdf

Residential conveyancing enquiry fee

\$	119.87
----	--------

Sanitary drainage plan fees

\$	29.62
----	-------

Payment amount

\$	149.49
----	--------

CONVEYANCING BUILDING FILE INDEX

SUBURB: **NARRABUNDAH** SECTION: **72** BLOCK: **4** UNIT: **N/A** EX GOV: **NO**

COU ISSUED Y/N	PLAN NUMBER	FOLIO NO.	DESCRIPTION OF WORK	AMEND	DETAILS	PERMIT NUMBER	COU PLAN NO. & DATE
Y	B20152734/A	-	DEMOLITION OF RESIDENCE			B20152734/A	
		-					B20152734/A 31/08/2017
Y	B20153838/A	-	NEW RESIDENCE, GARAGE & WALL			B20153838/A	
Y	B20153838/B	-		Y			
Y	B20153838/C	-		Y			
		-					B20153838/A+/B/C 04/05/2018

For any incomplete approvals please email acbuildingconveyance@act.gov.au for further information on how to complete.

Drainage Plan Number: 2195

Survey: (01)

Comments:

CONVEYANCING PART 2

No information is provided in respect of electrical, drainage or sewer matters and or to the location of overhead power lines or underground cables in relation to the building.

	<u>Yes</u>	<u>No</u>
1. (a) Is this a government or ex government house?	☐	☒
(b) If yes, is there a building file with approvals on it?	☐	☐
2. Is there any record of incomplete building work on the building file?	☐	☒
If yes - file copies attached		
3. Are there any records on the building file of current (within 5 years) housing Indemnity insurance policies for building work? If yes - file copies attached	☐	☒
4. Are there any records on the building file showing building applications still being processed? (Current within 3 years) If yes - file copies attached	☐	☒
5. Are there any records on the building file in relation to loose-fill asbestos insulation?	☐	☒
If available, copies of the following documents are provided:		
• Certificate/s of Occupancy and Use	☒	☐
• Survey Certificates	☒	☐
• Unit Plan/Unit Entitlements (if property is unit titled)	☐	☒
• Approved Building Plans	☒	☐
• Ex- government Building Plans*	☐	☒
If requested:		
• Drainage Plan(s)	☒	☐

ASBESTOS

The ACT Government is not able to guarantee the accuracy of the information in this report.

You should make your own enquiries and obtain reports (from a licensed Asbestos Assessor) in relation to the presence of loose fill asbestos insulation (and other forms of asbestos) on the premises. For more information go to the Asbestos Awareness Website –

www.asbestos.act.gov.au

Please note: Development Approval plans will not be included in this report (We do not receive Development Approval Plans unless they are part of a Building Approval in which case they become Building Approval Plans), if development approval was granted you can request copies of the Development Approval plans from ACEPDcustomerservices@act.gov.au.

Please Note: Building approvals that have been generated via eDevelopment will be issued with a project number prefixed by the letter B. Initial building approval documentation will be identified with project number B20XXXX only but will be referenced as B20XXXX/A on the Certificate of Occupancy and Use. Any amendments to the original approval will be issued with the project number and an alphanumeric digit. The first amendment will be identified as B20XXXX/B, the second amendment B20XXXX/C etc. Not all eDevelopment plans will be stamped with the plan number.

***Ex Government plans:** Plans are typical and not specific to each residence. There may be slight changes to the layout or window locations that were not required to be approved.

Search officer comments (if any?)

Search officer initials: Tony

Cost of application: \$ 149.49

Date completed:

07/07/2026

Job# 41915
11 January 2016

Classic Constructions
1/66 Dacre Street
Mitchell ACT 2911

Re: 104 Captain Cook Crescent, Narrabundah

Dear Sir

As instructed, we have surveyed the land at Narrabundah, in the Division of Narrabundah, District of Canberra Central, having a curved frontage of 17.76 metres arc to Captain Cook Crescent, being **Block 4 Section 72 Deposited Plan No. 956** as shown in the sketch plan below.

Upon this land stands the concrete foundation of a building in the course of erection to be on completion a cottage residence.

The sketch shows the position of the concrete foundation relative to the boundaries and the levels of the concrete slab on Australian Height Datum (A.H.D). The land is subject to a Drainage Service Easement 2.44 wide.

Other than as stated above, there are no apparent encroachments upon this land or by this property on adjoining lands or street.

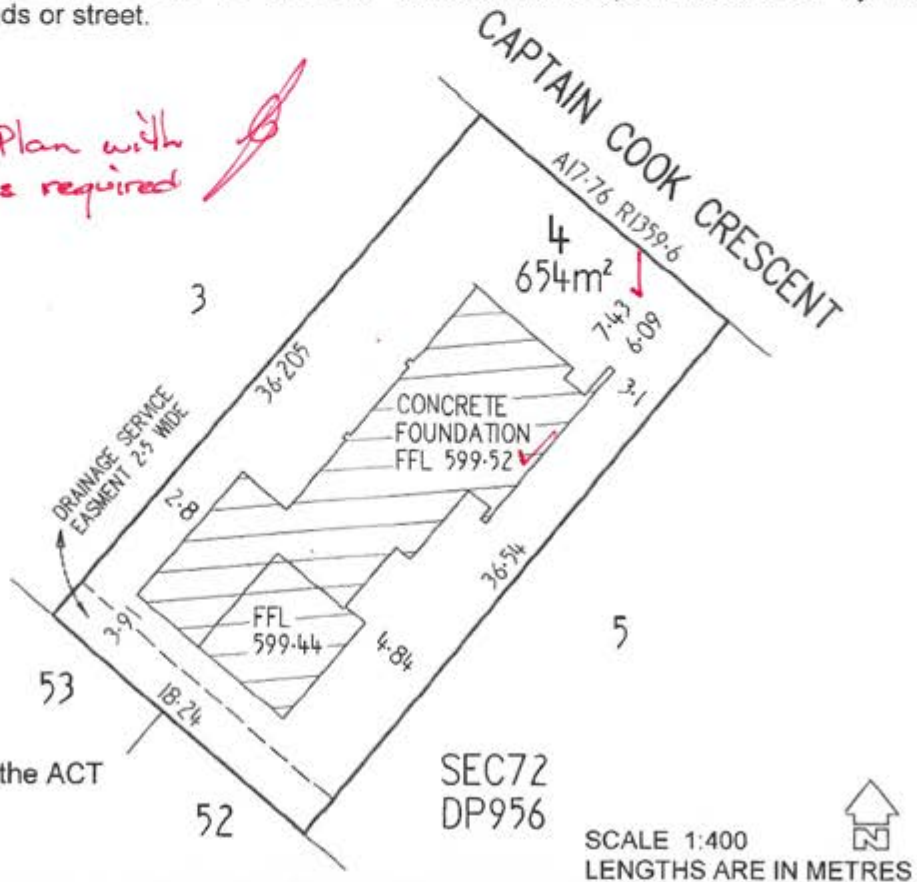
Amended Site Plan with revised setbacks required

Yours faithfully



Robert Richards
Registered Surveyor

c.c. Surveyor General of the ACT





Certificate of Completion of Demolition

Certificate No.: **B20152734C1**

Access Canberra Building Services

ABN 16 479 763 216
8 Darling Street Mitchell
GPO Box 158 ACT 2601
www.act.gov.au/accesscbr

This Certificate is issued in accordance with Section 71 (2) of the Building Act 2004.

The demolition of the building works listed on this certificate has been completed in accordance with the prescribed requirements.

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	4	72	NARRABUNDAH	CANBERRA CENTRAL	Australian Capital Territory

Plans

B20152734/A

Building Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Const.	Unit	BCN ID	Builder
1a(l)	Demolition	DA EXEMPT-RESIDENCE	DEMOLITION OF EXISTING RESIDENCE, GARAGE & OUTBUILDINGS – Includes BCA Occupancy Class 10a.	NA		B20152734N1	IRWIN & HARTSHORN PTY LTD
1a(l)	Other	DA EXEMPT-SEE DESCRIPTION	BONDED ASBESTOS REMOVAL FROM FRONT, SIDE & REAR EAVES OF RESIDENCE. - Wade Rogers	NA		B20152734N2	ASBESTOS REMOVALIST

Comments

Important Note:

The issue, under this Part, of a certificate in respect of a building or portion of a building does not affect the liability of a person to comply with the provisions of a law of the territory (including this Act) relating to the building or portion of the building.

Issued by: Keryn Borrett

Issued on: 31/08/2017

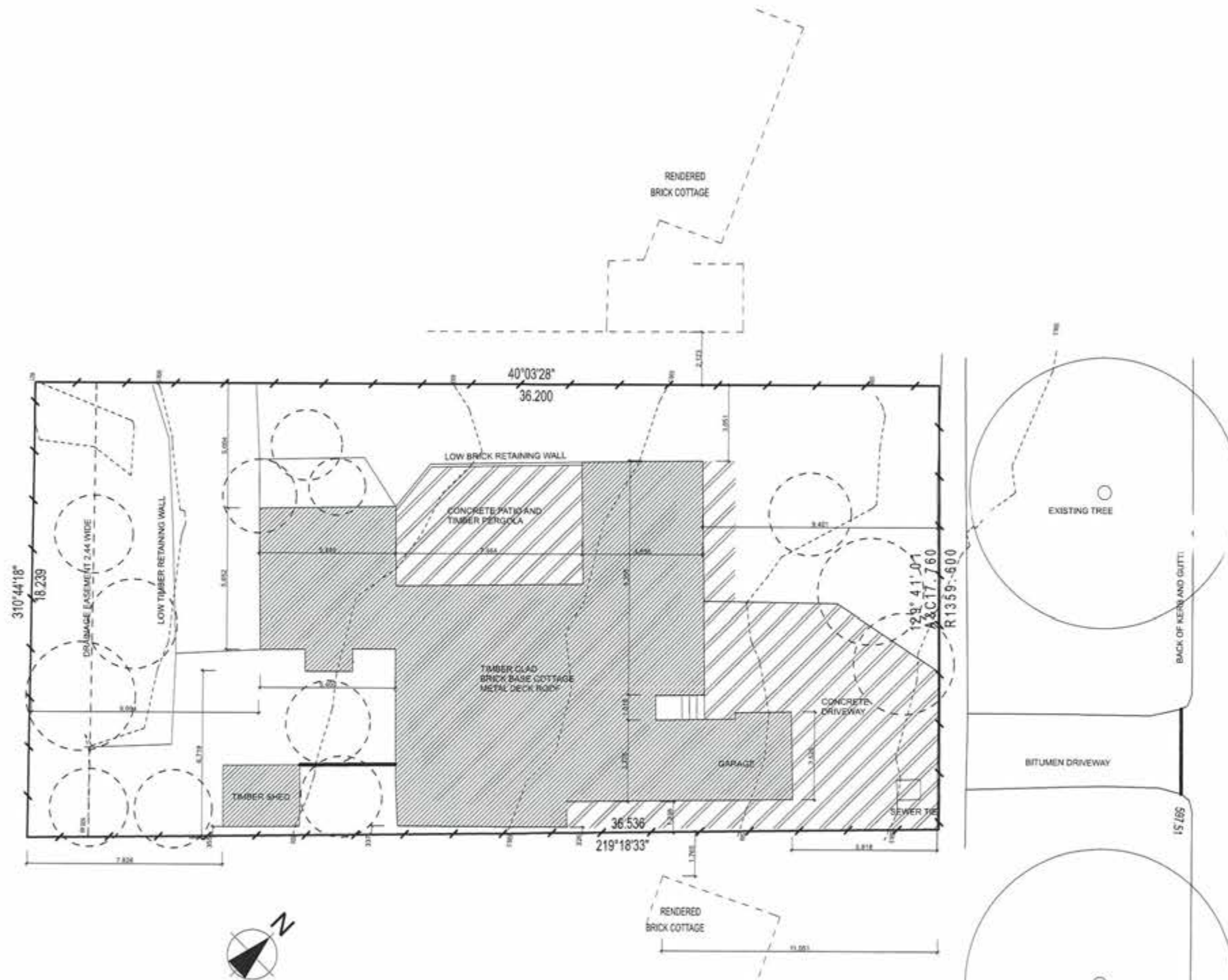
Delegate of the ACT Construction
Occupations Registrar.

DEMOLITION NOTES

1. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ALL NECESSARY FEES AND OBTAINING ALL NECESSARY PERMITS FOR CLEARING, SOIL EROSION PROTECTION AND DISPOSING OF ALL DEBRIS FROM SITE.
2. THE CONTRACTOR SHALL COORDINATE THE REMOVAL, RELOCATION, OR RE-ROUTING OF ANY UTILITIES WITH EACH RESPECTIVE UTILITY COMPANY, NOTIFY UTILITY COMPANIES OR AGENCIES AT LEAST 72 HOURS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL MAINTAIN ACCESSIBLE PASSAGEWAYS FOR TRAFFIC AND PEDESTRIANS ON EXISTING THOROUGHFARES THROUGHOUT THE DURATION OF THE CONSTRUCTION.
4. THE CONTRACTOR SHALL FOLLOW ALL SOIL PREPARATION AND FOUNDATION CONSTRUCTION RECOMMENDATIONS AS STATED IN THE GEOTECHNICAL ENGINEERING REPORT.
5. THE DESIGNER IS NOT RESPONSIBLE FOR ANY UTILITIES NOT SHOWN ON THIS PLAN OR ANY ACCIDENTAL RUPTURES DURING EXCAVATION OR CONSTRUCTION.
6. THE CONTRACTOR SHALL REMOVE ALL VISIBLE AND PARTIALLY BURIED DEBRIS FROM AREAS TO BE DEVELOPED OR GRADED AND DISPOSE OF AT AN APPROPRIATE OFF SITE LOCATION IN COMPLIANCE WITH THE RESPONSIBLE AUTHORITIES.
7. THE CONTRACTOR SHALL COMPLETELY REMOVE EXISTING BUILDINGS, INCLUDING CANOPIES, RAMPS, STAIRS, METERS, PORCHES, FOUNDATION WALLS, CONCRETE SLABS AND ANY OTHER ATTACHMENTS (ABOVE OR BELOW GRADE) WHERE SHOWN ON THIS SHEET OR APPARENT ON SITE.
8. ALL ABANDONED UTILITIES SHALL BE CAPPED, SHUT OFF AT MAIN AND FILLED.
9. ANY UTILITY LINES NO LONGER IN USE (EITHER SHOWN ON THIS SHEET OR DISCOVERED ON SITE) SHALL BE COMPLETELY REMOVED IF THEY CONFLICT WITH ANY NEW UTILITY OR STRUCTURE.
10. ANY CAVITIES OR TRENCHES REMAINING FROM EXCAVATED FOOTINGS, FOUNDATION WALLS, PIPELINES, BASEMENTS AND UNDERGROUND TANKS SHALL BE BACKFILLED.
11. PROVIDE TEMPORARY FENCING TO SECURE SITE.
12. PROVIDE TEMPORARY DAMAGE PROTECTION TO EXISTING TREES, SHRUBS OR LANDSCAPING SCHEDULED TO REMAIN.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROCURING THE REQUIRED APPROVALS FOR LEAD, ASBESTOS, MERCURY AND ANY OTHER SENSITIVE MATERIALS IDENTIFIED IN THE AREA PRIOR TO DEMOLITION AS REQUIRED BY THE LOCAL, STATE AND TERRITORY AND FEDERAL JURISDICTIONS.

LEGEND

- EXISTING TREES AND SHRUBS TO BE REMOVED
- EXISTING TREES AND SHRUBS TO BE RETAINED
- EXISTING PAVEMENT AREAS TO BE REMOVED
- EXISTING BUILDINGS TO BE REMOVED
- SITE BOUNDARY
- NEIGHBOURING PROPERTIES
- KERB AND CROSSOVER



NOTES:

All existing levels given are assumed. Builder shall confirm all levels with the surveying department prior to commencing work.

Clearing: Do not start off the drawings, use given dimensions only. Clearing dimensions are structural dimensions and include frames, heavy dimensions include roofs, prior to construction. Figure dimensions include walls.

Step Drawings: All step drawings shall be submitted to the surveying department for approval. The surveying department shall not be responsible for the accuracy of the step drawings.

Structural: Refer to Structural Engineers Drawings for details on all buildings. Your drawing members and framing members. Members shall be shown with size, and quantity shall be shown in the drawing.

DRAWING LEGEND

REVISIONS

Revision	Description	Date

ACT Metropolitan Building Certifiers P/L
Building Approval: Building Approval, or part thereof, issued under Section 28 of the Building Act 2004.
 Class of Occupancy: 1a(1) 1a(2) 1a(3) Type of Construction:
 Project No: 15/0214 Licence No: 200428123
 Signature: [Signature] 19.6.15
 This Set of Plans Contains 3 Sheets. No 1 to 3
☐ This approval expires on OR ☒ 3 years from the above date provided work is commenced within 2 years of the date of the DA approval

SITE WORK NOTICE

The work shown on these plans is "exempt development" complying with:
 (a) Schedule 1, s1.100B & s1.101 of the Planning and Development Regulation 2008.
 (b) Single Dwelling Housing Development Code

Signature: [Signature]
 For
 ACT Metropolitan Building Certifiers Pty Ltd
 Licence No: 200428123

The following inspections are required on this project:

Footings: ☐ Slab/s: ☐ Floor frame: ☐
 Wall frame: ☐ Roof frame: ☐ S/W: ☐
 Pre-sheet: ☐ Final: ☒ Other: ☐

Please provide adequate notice when booking inspections

EXISTING BRICK DWELLING, GARAGE AND ASSOCIATED WORKS TO BE DEMOLISHED.

ACTEW to be notified prior demolition work commencing. Electrical, water, sewer and gas services to be disconnected and sealed off by relevant utility.

A Clearance Certificate from a suitably qualified person will be required for each of the following components prior to the issue of Certificate of Occupancy and Use:

Structural ☐ Survey ☐ Roof Trusses ☐
 Wet Area Flashing ☐ Termite Protection ☐
 Glazing ☐ Other ☒ ASBESTOS

*** ASBESTOS CLEARANCE CERTIFICATE ISSUED IN ACCORDANCE WITH s474 OF THE WORK HEALTH & SAFETY REGULATION 2011.**

WORKROOM DESIGN PTY LTD
 1A YORK STREET
 RICHMOND 3121 AUSTRALIA
 TELEPHONE 913 0417 0044
 FACSIMILE 913 9029 6630

WORKROOM

Project Name:
 NARRABUNDAH RESIDENCE
 Address:
 BLOCK 4, SECTION 72, NARRABUNDAH
 Client:
 CLASSIC CONSTRUCTION
 Drawing Title:
 DEMOLITION PLAN
 Drawn By: DL Scale: 1:200
 Project No: 1407 Drawing No.: WDD1



abn 69 074 330 082

12 alderson place
hume act 2620

phone 02 6260 1588
fax 02 6260 1236

DEMOLITION WORK PLAN FOR

BLOCK: 4 SECTION: 72 SUBURB: NARRABUNDAH

STREET ADDRESS: 104 CAPTAIN COOK CRES

BUILDER: CLASSIC CONSTRUCTIONS

Number of buildings to be demolished: ONE + GARAGE

Height: Approx: 4m

Distance from closest boundary: Approx. .2 metres

Main materials of construction: Brick, concrete & timber

PROCEDURES

- Power supply to the site will be disconnected at the main by ACTEW/AGL
- Gas supply will be terminated outside the boundary by ACTEW/AGL
- A licenced remover will remove and dispose of all asbestos sheeting in accordance with NOHSC 2002:2005 second edition
- All insulation will be removed and disposed of in accordance with the code of practice
- A licenced drainer will plug the sewer before being inspected by ACTEW/AGL
- Water will be used for dust suppression before being disconnected at meter
- All new workers to Irwin & Hartshorn will be inducted on site
- All demolition work will be in accordance with the AS 2601 code
- One day is allowed for each major activity, 7 days for completion of the demolition

METHOD

- Strip by hand all material to be salvaged
- Using a hydraulic excavator fold building to middle and load all rubble onto tipping trucks to be recycled where possible or tipped at an approved site
- Exhume all concrete footings with hydraulic excavator then transport to Canberra Concrete Recyclers for processing
- Clean and level site on completion

SAFETY PROCEEDURES

- Any work above 1.8m will be done in accordance with appropriate code
- A mobile telephone will be available on site at all times
- Appropriate safety equipment will be worn at all times
- A 1.8m high chain wire fence will be erected around the site to prevent any unauthorised entry

Andrew Irwin
Licence No. 200012208



DEMOLITION NOTES

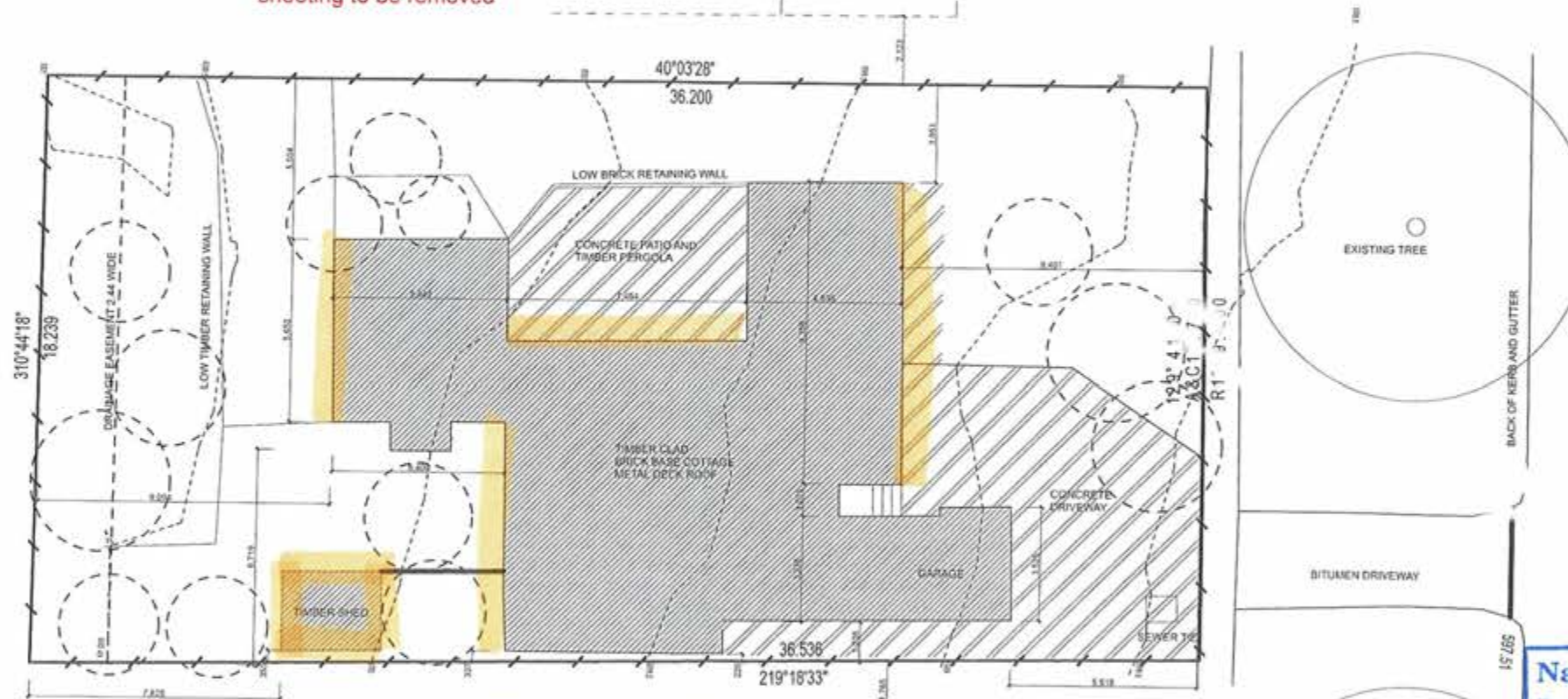
1. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ALL NECESSARY FEES AND OBTAINING ALL NECESSARY PERMITS FOR CLEARING, SOIL EROSION PROTECTION AND DISPOSING OF ALL DEBRIS FROM SITE.
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12. PROVIDE TEMPORARY DAMAGE PROTECTION TO EXISTING TREES, SHRUBS OR LANDSCAPING SCHEDULED TO REMAIN.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROCURING THE REQUIRED APPROVALS FOR LEAD, ASBESTOS, MERCURY AND ANY OTHER SENSITIVE MATERIALS IDENTIFIED IN THE AREA PRIOR TO DEMOLITION AS REQUIRED BY THE LOCAL, STATE AND/OR TERRITORY AND FEDERAL JURISDICTIONS.

LEGEND

- EXISTING TREES AND SHRUBS TO BE REMOVED
- EXISTING TREES AND SHRUBS TO BE RETAINED
- EXISTING PAVEMENT AREAS TO BE REMOVED
- EXISTING BUILDINGS TO BE REMOVED
- SITE BOUNDARY
- NEIGHBOURING PROPERTIES
- KERB AND CROSSOVER

Building Approval pertains to bonded asbestos eave sheet removal from front, rear, and side of residence.

- Denotes location of asbestos eave sheeting to be removed



ASBESTOS REMOVAL LOCATION PLAN



Bonded Sheets

Front & Rear Eaves
Sides of shed at rear
Some sheets on side
of house under
pergola

NOTES:
Asbestos has been identified in the residence and shed. The asbestos is bonded to the eave sheeting and is not friable. The asbestos is not to be removed from the site. The asbestos is to be removed from the site. The asbestos is to be removed from the site.

DRAWING LEGEND

REVISIONS

Rev	Description	Date
1	Issue for approval	
2	Issue for approval	
3	Issue for approval	

Natalie Watson Lic. No: 200428123
Building Approval issued under section 28 of the Building Act 2004
This sheet 3 of 3
19 JUN 2015
Natalie Watson

WORKROOM DESIGN PTY LTD
14 YORK STREET
MORRISTOWN 2161 AUSTRALIA
TELEPHONE 033 9417 0049
FACSIMILE 033 9029 6690

WORKROOM

Project Name:	NARRABUNDAH RESIDENCE
Address:	BLOCK 4, SECTION 72, NARRABUNDAH
Client:	CLASSIC CONSTRUCTION
Drawing Title:	
Drawn By: DL	Scale: 1:200
Project No: 1407	Drawing No.: WD01



Certificate of Occupancy and Use

Certificate No.: **B20153838C1**

Access Canberra Building Services

ABN 16 479 763 216
8 Darling Street Mitchell
GPO Box 158 ACT 2601
www.act.gov.au/accesscbr

This Certificate is issued in accordance with Section 69 (2) of the Building Act 2004.

The building work listed on this certificate has been completed substantially in accordance with the prescribed requirements and is considered fit for occupation and use.

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	4	72	NARRABUNDAH	CANBERRA CENTRAL	Australian Capital Territory

Plans

B20153838/A

B20153838/B

B20153838/C

Building Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Const.	Unit	BCN ID	Builder
1a(l)	New Standard	DA EXEMPT- RESIDENCE		NA		B20153838N1	CLASSIC CONSTRUCTIONS (AUST) PTY LTD
10a	New	DA EXEMPT- GARAGE		NA		B20153838N1	CLASSIC CONSTRUCTIONS (AUST) PTY LTD
10b	New	DA EXEMPT- WALL		NA		B20153838N1	CLASSIC CONSTRUCTIONS (AUST) PTY LTD

Comments

Important Note:

--

1. Statutory warranties and statutory warranty insurance or a statutory warranty fidelity certificate apply in relation to some or all of the building work.

2. The issue of this certificate in respect of a building or a portion of a building does not affect the liability of a person or other entity to comply with the provisions of an ACT law, including the Building Act 2004, relating to the building or portion of the building.

Issued by: Bojan Sekara

Issued on: 04/05/2018

Delegate of the ACT Construction
Occupations Registrar.

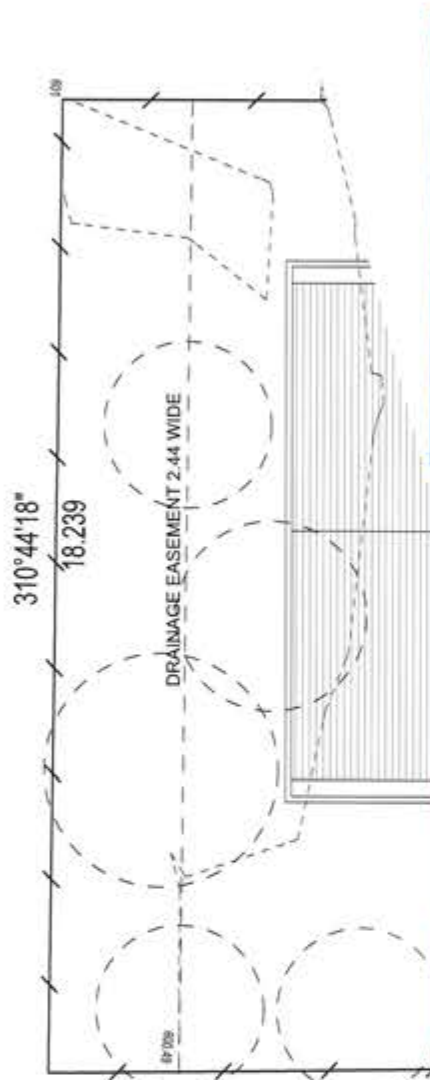
NOTES:
 All notes must be given in metric. Notes shall conform with AS 1100.1 and the corresponding standard prior to commencing work.
 Dimensions: Do not scale off the drawings, use given dimensions only. Give dimensions and include dimensions and include heights, vary dimensions marked with, and to construction. Figure dimensions provide scale.
 Slope: Slopes shall be indicated by a number, numerator and denominator, prior to the number of horizontal and vertical dimensions.
 Refer to Structural Engineers Drawings for details of all loadings, floor framing members, roof framing members, concrete slabs, retaining walls, etc.
 Workroom Design Pty Ltd is the author of this drawing.

DRAWING LEGEND

Revision	Description	Date
A	ISSUED FOR REVIEW	18/08/15
B	ISSUED FOR REVIEW	11/01/16
C	FOR CONSTRUCTION	18/08/15
D	MINOR AMENDMENTS	11/08/15

AREA SCHEDULE

SITE:	654.52m ²
GROUND:	203.00m ²
FIRST:	113.50m ²
TOTAL AREA:	316.50m²
PLOT RATIO:	48.36%



ACT Metropolitan Building Certifiers P/L
Building Approval: Building Approval, or part thereof, issued under Section 28 of the Building Act 2004.
 Class of Occupancy: 100, 100, 100 Type of Construction: 1
 Project No: 15/0214 Licence No: 200428123
 Signature: [Signature] 27/8/15
 This Set of Plans Contains 15 Sheets, No 1 to 15
☐ This approval expires on OR ☒ 3 years from the above date provided work is commenced within 2 years of the date of the DA approval

SITE WORK NOTICE
 The work shown on these plans is "exempt development" complying with:
 (a) Schedule 1, s1.100 & s1.51 of the Planning and Development Regulation 2008.
 (b) Single Dwelling Housing Development Code
 Signature: [Signature]
 For
 ACT Metropolitan Building Certifiers Pty Ltd
 Licence No: 200428123

IMPORTANT - The 2014 edition of NCC Vol. 2 (released 1st May 2014) requires interconnection of smoke alarms where more than one alarm is installed.

The following inspections are required on this project:

Footings: ☒ Slab/s: ☒ Floor frame: ☒
 Wall frame: ☐ Roof frame: ☐ S/W: ☒
 Pre-sheet: ☒ Final: ☒ Other: ☒ PIERS
 Please provide adequate notice when booking inspections

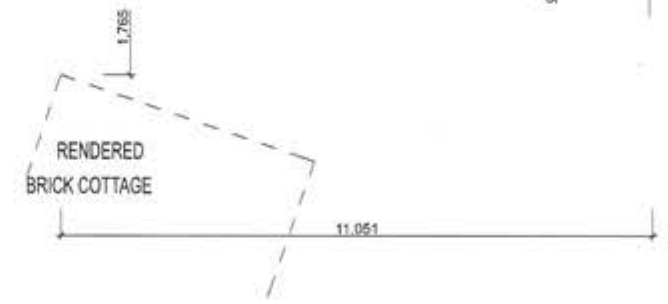
A Clearance Certificate from a suitably qualified person will be required for each of the following components prior to the issue of Certificate of Occupancy and Use:

Structural ☐ Survey ☒ Roof Trusses ☒
 Wet Area Flashing ☒ Termite Protection ☒
 Glazing ☒ Other ☒ INSULATION

Survey Certificate Required

Provide house siting and survey to Certifier at bearer and joist or slab level **before** proceeding to presheet.

NOTE -
 Provide truss and wall frame manufacturers installation details to the Certifier prior the pre-sheet inspection.



BCA Part 3.1.2.3 - Surface water drainage

The slab height of the residence must finish not less than 50mm above the external concreted/paved areas; 150mm in any other case.

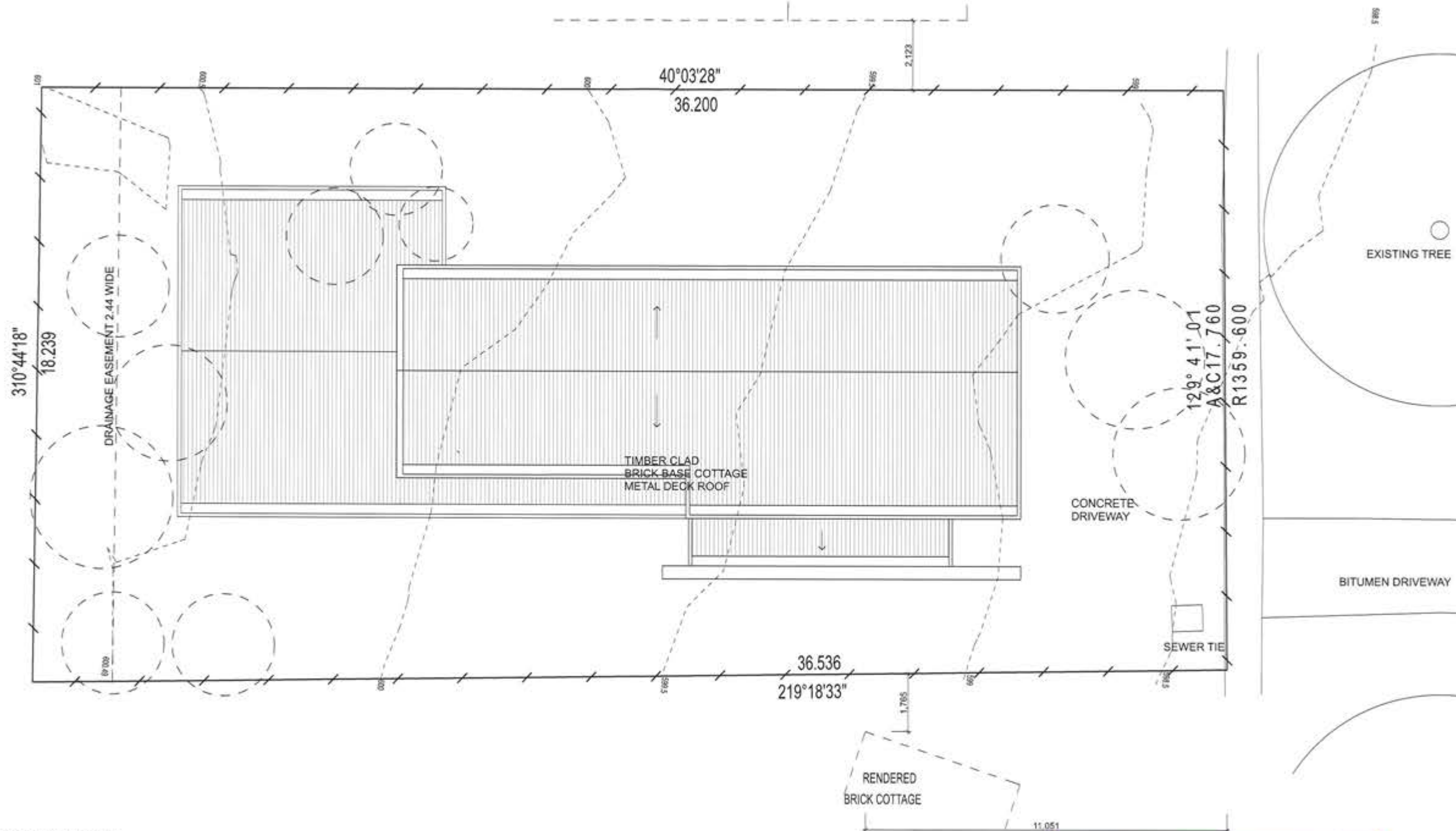
The external finished surface surrounding the slab must be drained to move surface water away from the residence and graded to give a slope of not less than 50 mm over the first 1 m from the building.

- LEGEND**
- EXISTING TREES AND SHRUBS TO BE REMOVED
 - EXISTING TREES AND SHRUBS TO BE RETAINED
 - EXISTING PAVEMENT AREAS TO BE REMOVED
 - EXISTING BUILDINGS TO BE REMOVED
 - SITE BOUNDARY
 - NEIGHBOURING PROPERTIES
 - KERB AND CROSSOVER

ACT Construction Occupation Licence
 Building Assessor (Class B)
 Assn # 2011220
 Sign [Signature]
 Date Refer Certificate

FOR CONSTRUCTION

WORKROOM DESIGN PTY LTD
 1A YORK STREET
 RICHMOND 3121 AUSTRALIA
 TELEPHONE 013 9417 0944
 FACSIMILE 013 9029 6690
WORKROOM
 Project Name:
 NARRABUNDAH RESIDENCE
 Address:
 104 CAPTAIN COOK CRESCENT
 NARRABUNDAH ACT
 BLOCK 4 SECTION 72 NARRABUNDAH
 Client:
 CLASSIC CONSTRUCTION
 Drawing Title:
 SITE PLAN
 Drawn By: DL Scale: 1:100 @ A2
 Project No: 1407 Drawing No.: WD02 /D



NOTES:

At least two (2) copies of drawings shall be submitted to the undersigned architect prior to construction.

Dimensions:
On all scale drawings, use given dimensions and do not dimension in between dimensions and exclude fractions. Verify dimensions manually and prior to construction. Figure dimensions precede scale.

Shop Drawings:
All shop drawings shall be submitted to the undersigned architect prior to construction.

DRAWING LEGEND

REVISIONS	
Revision	Description
A	ISSUED FOR REVIEW
B	ISSUED FOR REVIEW
C	FOR CONSTRUCTION
D	MINOR AMENDMENTS

AREA SCHEDULE

SITE:	654.52m ²
GROUND:	203.00m ²
FIRST:	113.50m ²

TOTAL AREA: 316.50m²

PLOT RATIO: 48.36%

100

LEGEND



EXISTING TREES AND SHRUBS TO
BE REMOVED



EXISTING TREES AND SHRUBS TO
BE RETAINED



EXISTING PAVEMENT AREAS TO
BE REMOVED



EXISTING BUILDINGS TO BE REMOVED

SITE BOUNDARY

NEIGHBOURING PROPERTIES

KERB AND CROSSOVER

**ACT Construction Occupation Licence
Building Assessor (Class B)**

2011220

Sign

John Gladwell

Refer Certificate

Glenn Chambers Lic. No: 200428123

Building Approval issued under section 28 of
the Building Act 2004

This sheet **277 AUG 2015** numbered
2 of 15

FOR CONSTRUCTION

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1A YORK STREET
RICHMOND 3121 AUSTRALIA
TELEPHONE 613 9417 0044
FACSIMILE 613 9025 6890

WORKROOM

Project Name:
NARRABUNDAH RESIDENCE

Address:
104 CAPTAIN COOK CRESCENT
NARRABUNDAH, ACT
BLOCK 4 SECTION 72 NARRABUNDAH

Client:
CLASSIC CONSTRUCTION

Drawing Title:
SITE PLAN

Drawn By: DL	Scale: 1:100 @ A2
--------------	-------------------

Project No: 1407	Drawing No.: WD02 /D
------------------	----------------------

★ Provide upper floor window protection
In accordance with Part 3.9.2.5 of BCA Vol 2.
(Refer to attached extract).

NOTES:
All relative levels given are nominal. Builder and contractor to verify all levels with the surrounding surface prior to commencing work.
Dimensions:
On the basis of the drawings, the floor dimensions are given. All dimensions are to be verified by the contractor. Verify dimensions against the drawings prior to construction. Figure dimensions provide a guide.
Shop Drawings:
All shop drawings shall be submitted to the architect, manufacturer and not commence prior to the receipt of the shop drawings.
Refer to Structural Engineers Drawings for details on all loadings, floor finish, structural steel framing, materials, concrete slabs, cladding walls, etc.
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DRAWING LEGEND

REVISIONS

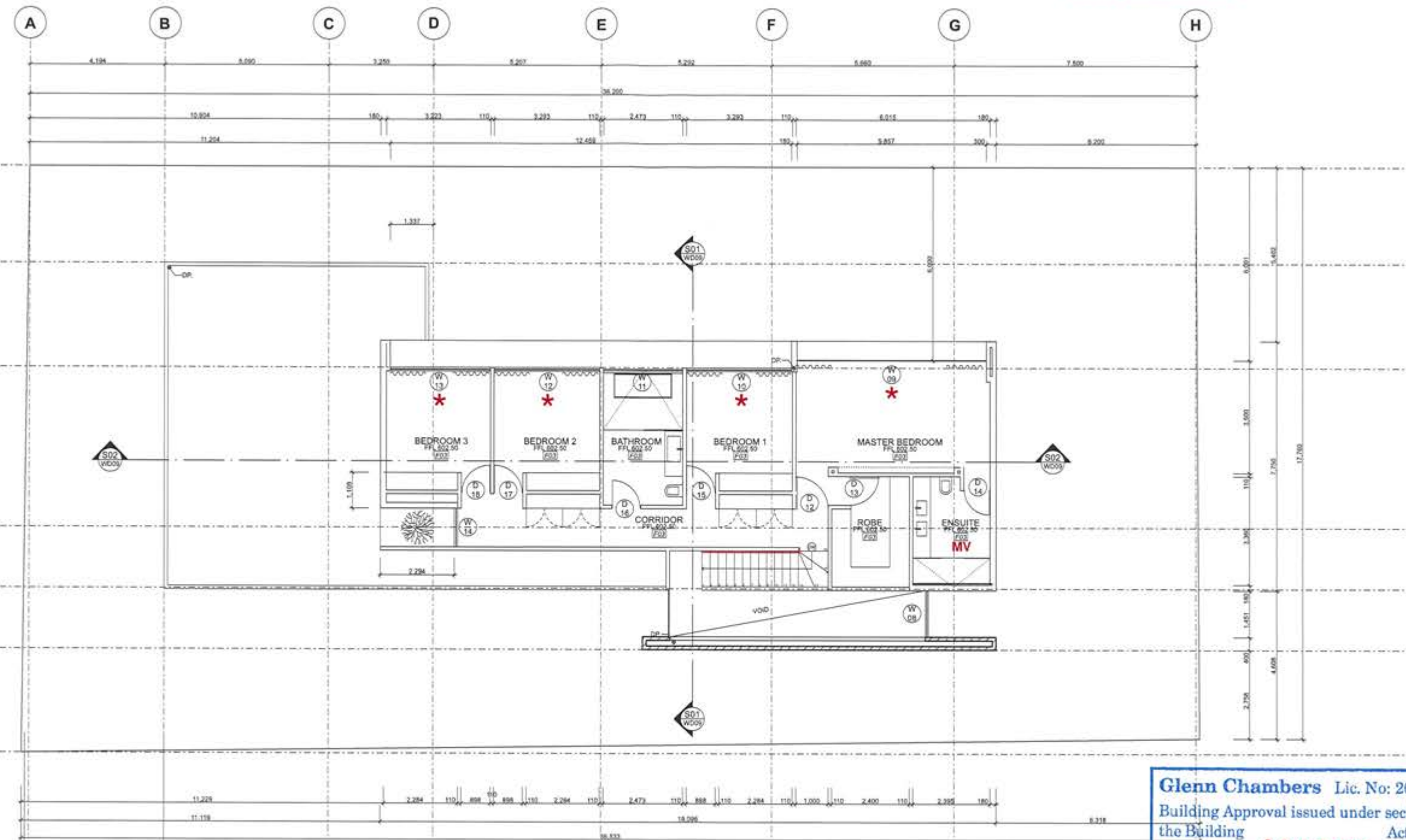
Revision	Description	Date
A	ISSUED FOR REVIEW	18-08-15
B	ISSUED FOR REVIEW	19-08-15
C	FOR CONSTRUCTION	14-09-15
D	MINOR AMENDMENTS	17-09-15

AREA SCHEDULE

SITE: 654.52m²
GROUND: 203.00m²
FIRST: 113.50m²

TOTAL AREA: 316.50m²

PLOT RATIO: 48.36%



FIRST FLOOR PLAN
SCALE 1:100

Stair construction to BCA 3.9.1 -

- Ceiling height in stairway min. 2m measured vertically above nosing line *BCA 3.8.2.2*
- Openings between treads/balustrades not to permit 125mm sphere to pass through
- Tread surface or nosing strip to have a slip resistance classification per *table 3.9.1.1*
- Riser and goings to be in accordance with *BCA fig. 3.9.1.2*
- Provide handrail along full length of the flight. Top surface of handrail to be no less than 865mm vertically above the stair tread nosing - *BCA 3.9.2.4*

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the Building Act 2004

This sheet 27 AUG 2015 numbered
4 of 15
f. chambers

EER Specification

Roof	Metal Deck (medium)	75mm Anticon R1.5
Ceilings	Plasterboard	R5.0 bulk
Floors	Concrete	Wafflepod 330mm
Floors	Timber	R4.0 bulk where external
Internal Walls	Plasterboard	R2.5 bulk
External Walls	Cavity Brick	R2.5 bulk
External Walls	Lightweight	R2.5 bulk
Windows - uPVC	Double Clear	Uw=2.2, SHGCw=0.53

FOR CONSTRUCTION

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1A YORK STREET
RICHMOND 3121 AUSTRALIA
TELEPHONE 613 9417 0044
FACSIMILE 613 9029 8890

WORKROOM

Project Name:
NARRABUNDAH RESIDENCE

Address:
104 CAPTAIN COOK CRESCENT
NARRABUNDAH ACT
BLOCK 4 SECTION 72 NARRABUNDAH

Client:
CLASSIC CONSTRUCTION

Drawing Title:
FIRST FLOOR PLAN

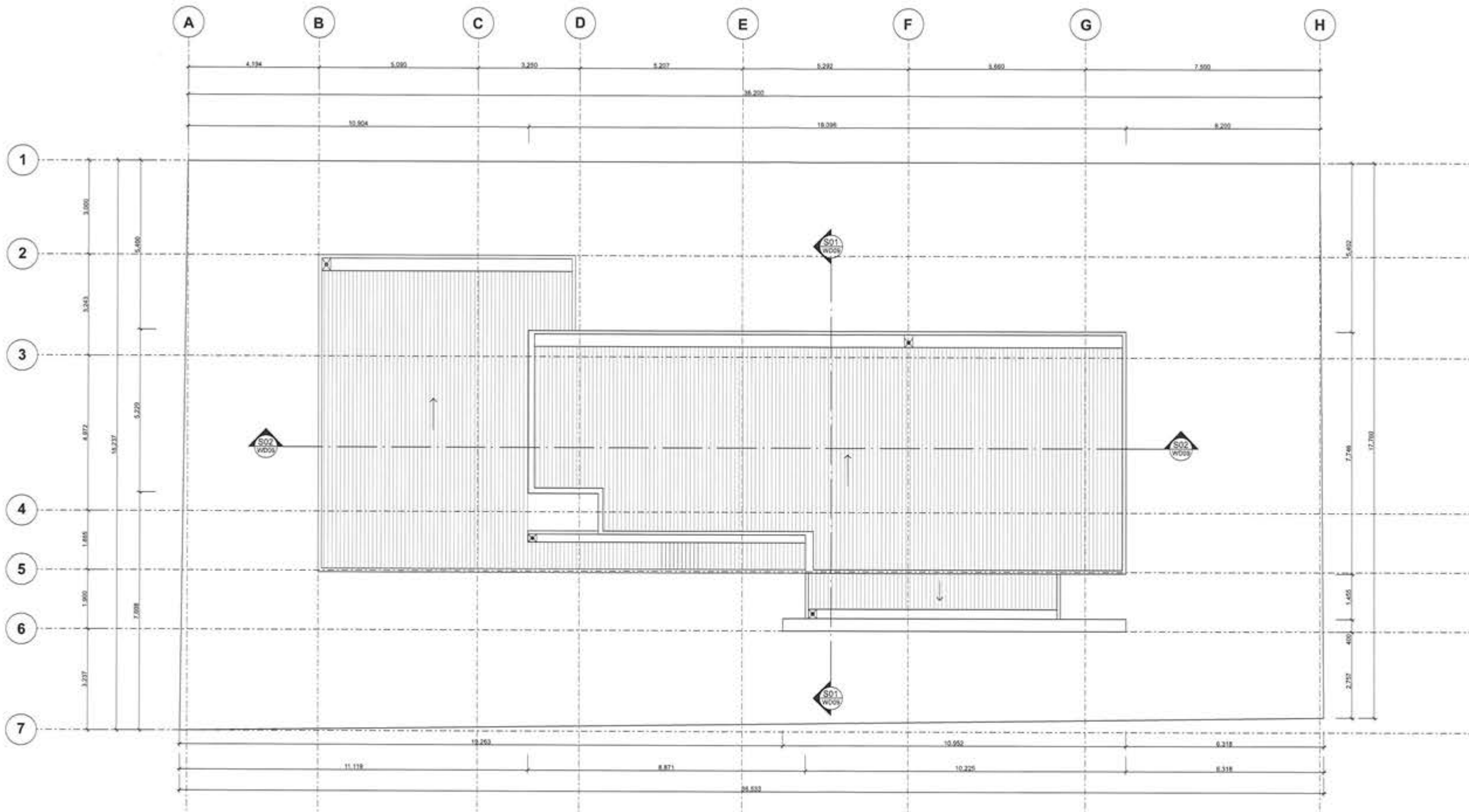
Drawn By: DL Scale: 1:100 @ A2
Project No: 1407 Drawing No.: WD04/D

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Building Assessor (Class B)

Assessor # 2011220

Sign *W. Gradwell*

Date Refer Certificate



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 Building Approval issued under section 28 of
 the Building Act 2004
 This sheet 27 AUG 2015 numbered
 5 of 15
f. Chambers

FOR CONSTRUCTION

NOTES:

All relative levels given on nominal. Builder shall confirm all levels with the surveying authority prior to commencing work.
 Construction:
 On site, all levels off the drawings, use plane dimensions only. Verify dimensions and levels of dimensions and exclude frames. Verify dimensions master work, prior to construction. Figure dimensions provide scale.
 Shop Drawings:
 All shop drawings shall be submitted to the architect, manufacturer and/or contractor prior to fabrication of prefabricated shop drawings.
 Refer to Structural Engineers Drawings for details of all loadings, floor loading members, roof loading members, concrete slabs, retaining walls, etc.
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DRAWING LEGEND

REVISIONS

Revision	Description	Date
A	ISSUED FOR REVIEW	10-08-15
B	ISSUED FOR REVIEW	11-01-15
C	FOR CONSTRUCTION	14-08-15
D	MINOR AMENDMENTS	11-08-15



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 FACSIMILE: 613 9029 6890

WORKROOM

Project Name:
 NARRABUNDAH RESIDENCE

Address:
 104 CAPTAIN COOK CRESCENT
 NARRABUNDAH, ACT
 BLOCK 4 SECTION 72 NARRABUNDAH

Client:
 CLASSIC CONSTRUCTION

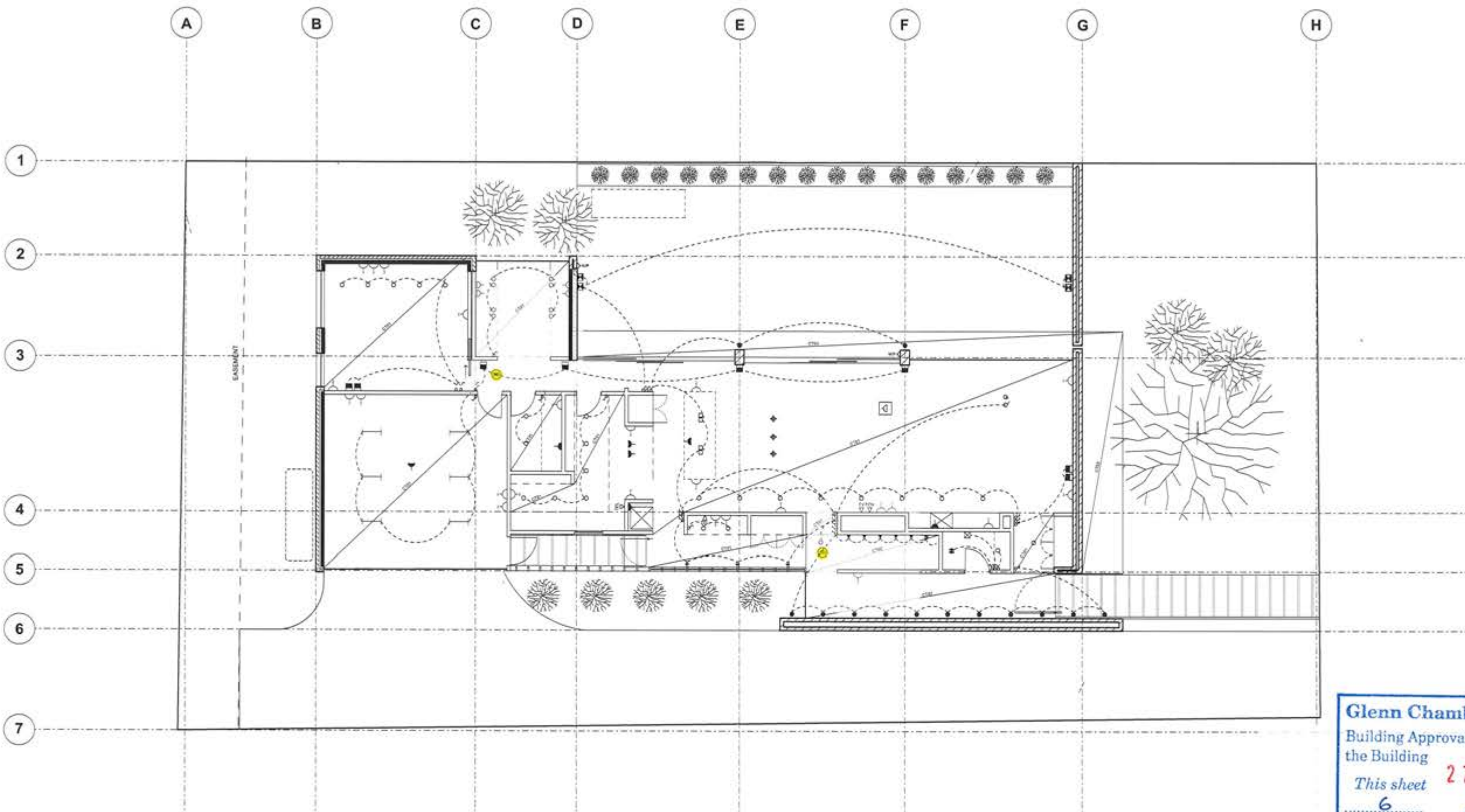
Drawing Title:
 ROOF PLAN

Drawn By: DL Scale: 1:100 @ A2
 Project No: 1407 Drawing No.: WD05 / D

NOTES:
All relative levels given are natural. Builders shall confirm all levels with the neighbouring context prior to commencing work.
Dimensions:
On any scale of the drawings, use given dimensions only. Do not dimension and transfer dimensions and exclude figures. Verify dimensions marked on prior to construction. Figure dimensions provide scale.
Shop Drawings:
All steel drawings shall be submitted to client, manufacturer and/or contractor prior to fabrication of structural shop drawings.
Structural:
Refer to Structural Engineers Drawings to check all loadings, beam fixing methods, roof framing members, concrete slabs, retaining walls, etc.
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DRAWING LEGEND

REVISIONS		
Person/Description		Date
A	ISSUED FOR REVIEW	10-09-15
B	ISSUED FOR REVIEW	17-07-15
C	FOR CONSTRUCTION	16-08-15
D	MINOR AMENDMENTS	17-08-15



Glenn Chambers Lic. No: 200428123
Building Approval issued under section 28 of the Building Act 2004
This sheet 27 AUG 2015 numbered 6 of 15
f. chambers

LEGEND		DOWNLIGHT TYPE 1		INTERNAL WALL LIGHT TYPE 2	SPB	PLASTER BOARD SUSPENDED CEILING VOID SPACE 1700mm FFL		TV		WEATHER PROOF DOUBLE GPO
		DOWNLIGHT TYPE 2		INTERNAL WALL LIGHT TYPE 4	SPB	EXTERNAL VILLABOARD CEILING 1700mm FFL		FOXTEL		ALARM CONTROL
		FLUORESCENT LIGHT		SMOKE DETECTOR	STW	XP PLASTER BOARD SUSPENDED CEILING 2700mm FFL		PHONE		
		IN GROUND UPLIGHT TYPE 1 (INTERNAL)		LED LIGHT	SPB	GLASS SKYLIGHT 1700mm FFL		DATA POINT		
		IN GROUND UPLIGHT TYPE 2 (EXTERNAL)		PENDANT LIGHT		DEDICATED DOUBLE GPO		MOTION SENSOR		
		INTERNAL WALL LIGHT TYPE 1		EXHAUST FAN		DOUBLE GPO		EXTERNAL LIGHT CONNECTED TO MOTION SENSOR		
		INTERNAL WALL LIGHT TYPE 2		PLASTER BOARD SUSPENDED CEILING 2700mm FFL		FLOOR BOX DOUBLE GPO		SWITCH		

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Building Assessor (Class B)
Ass't # 2011220
Sign: *W. Gradwell*
Date: Refer Certificate

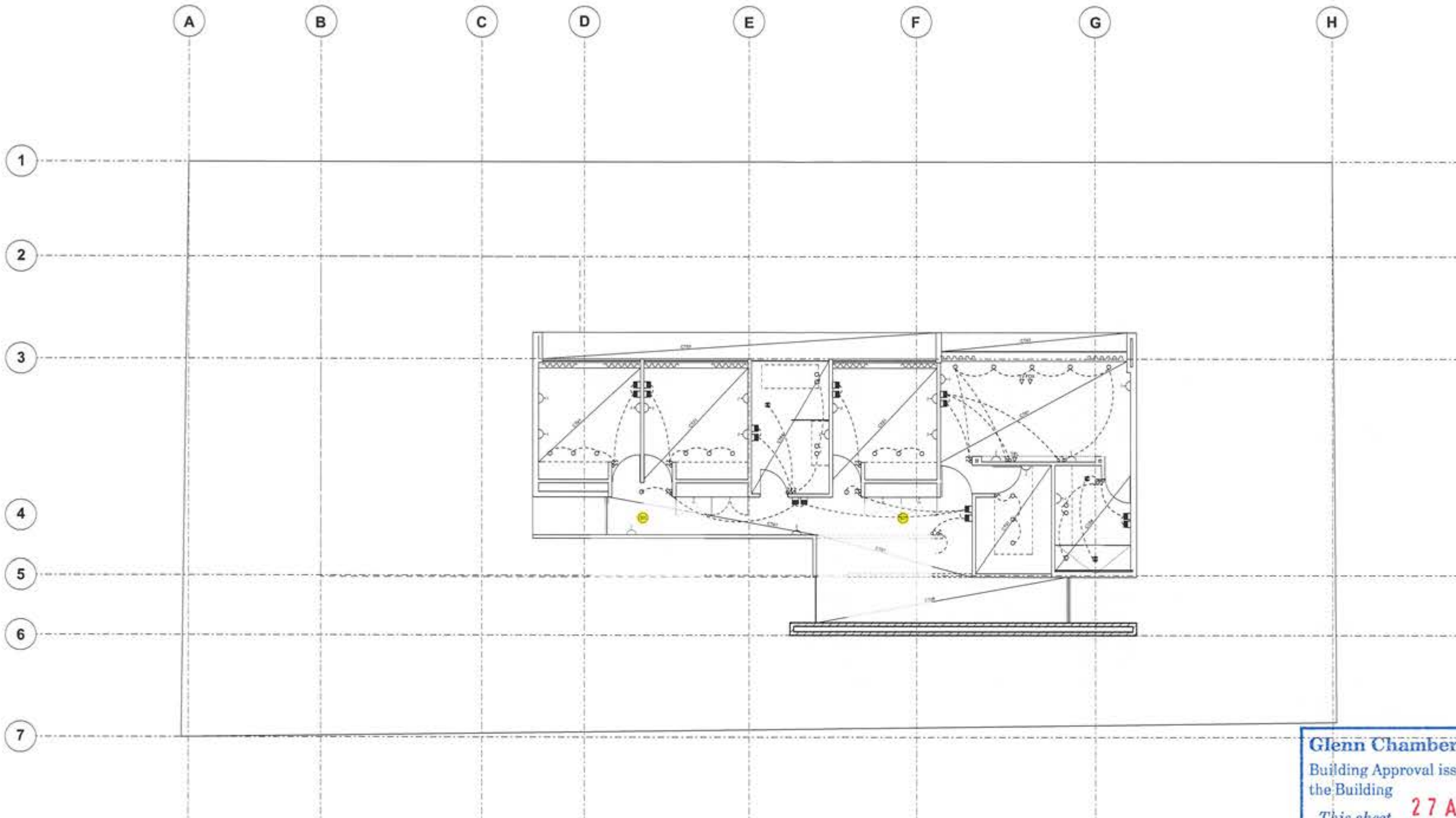
WORKROOM DESIGN PTY LTD
1A YORK STREET
RICHMOND 3121 AUSTRALIA
TELEPHONE 013 9417 0044
FACSIMILE 013 9029 6690
WORKROOM
Project Name:
NARRABUNDAH RESIDENCE
Address:
104 CAPTAIN COOK CRESCENT
NARRABUNDAH ACT
BLOCK 4 SECTION 72 NARRABUNDAH
Client:
CLASSIC CONSTRUCTION
Drawing Title:
GROUND FLOOR RCP
Drawn By: DL
Scale: 1:100 @ A2
Project No: 1407
Drawing No: WD06/D

FOR CONSTRUCTION

NOTES:
All electrical work must be carried out in accordance with the relevant Australian Standards and the relevant Building Code of Australia (BCA) prior to commencing work.
Consultation:
Do not scale off the drawings, use given dimensions only. Do not alter dimensions and details without the approval of the Designer.
Shop Drawings:
All shop drawings must be submitted to the Designer for approval prior to commencing work.
Refer to Structural Engineer Drawings for details of all loadings, floor loading numbers, wall loading numbers, etc.
Drawing title: 1407
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DRAWING LEGEND

Revision	Description	Date
A	ISSUED FOR REVIEW	19-08-15
B	ISSUED FOR REVIEW	17-01-16
C	FOR CONSTRUCTION	14-08-15
D	MINOR AMENDMENTS	17-08-15



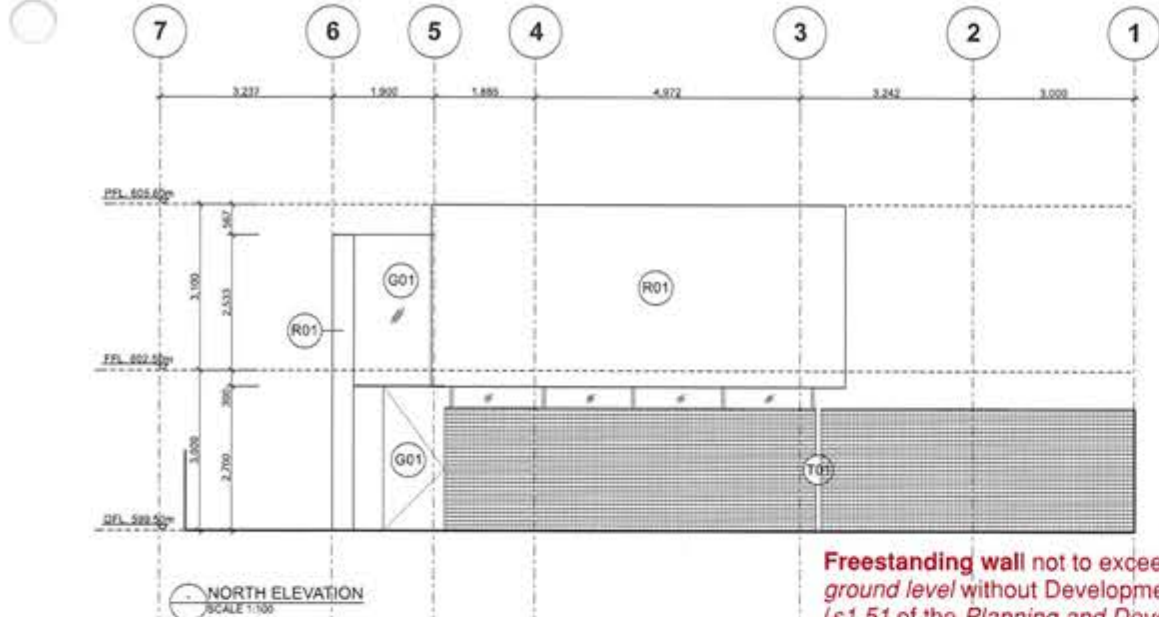
Glenn Chambers Lic. No: 200428123
Building Approval issued under section 28 of the Building Act 2004
This sheet 27 AUG 2015 numbered 7 of 15
f. Chambers

LEGEND	○ DOWNLIGHT TYPE 1	■ INTERNAL WALL LIGHT TYPE 3	FFB PLASTER BOARD SUSPENDED CEILING VOID SPACE 1700mm FFL	TV TV	☐ WEATHER PROOF DOUBLE GPO
	□ DOWNLIGHT TYPE 2	□ INTERNAL WALL LIGHT TYPE 4	FFC EXTERNAL VELLARBOARD CEILING 2700mm FFL	FOXTL FOXTEL	☐ ALARM CONTROL
	— FLUORESCENT LIGHT	☉ SMOKE DETECTOR	FFH WP PLASTER BOARD SUSPENDED CEILING 2700mm FFL	PHONE PHONE	
	■ IN GROUND UPLIGHT TYPE 1 (INTERNAL)	— LED LIGHT	FFR GLASS SKYLIGHT 1700mm FFL	DATA POINT DATA POINT	
	■ IN GROUND UPLIGHT TYPE 2 (EXTERNAL)	⬆ PENDANT LIGHT	☐ DEDICATED DOUBLE GPO	★ MOTION SENSOR	
	□ INTERNAL WALL LIGHT TYPE 1	⚙ EXHAUST FAN	☐ DOUBLE GPO	☐ EXTERNAL LIGHT CONNECTED TO MOTION SENSOR	
	■ INTERNAL WALL LIGHT TYPE 2	FFI PLASTER BOARD SUSPENDED CEILING 2700mm FFL	☐ FLOOR BOX DOUBLE GPO	☐ SWITCH	

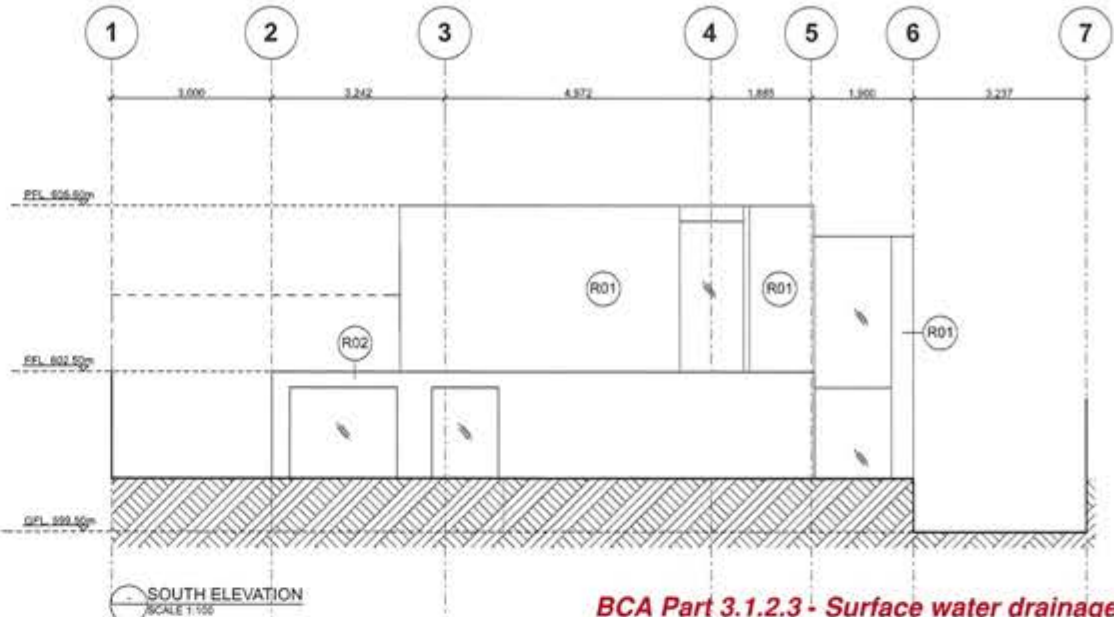
ACT Construction Occupation Licence
Building Assessor (Class B)
Assr #: 2011220
Sign *D. J. Gradwell*
Date Refer Certificate

FOR CONSTRUCTION

WORKROOM DESIGN PTY LTD
1A YORK STREET
RICHMOND 3121 AUSTRALIA
TELEPHONE: 013 9417 0044
FACSIMILE: 013 9025 6690
WORKROOM
Project Name:
NARRABUNDAH RESIDENCE
Address:
104 CAPTAIN COOK CRESCENT
NARRABUNDAH, ACT
BLOCK 4 SECTION 72 NARRABUNDAH
Client:
CLASSIC CONSTRUCTION
Drawing Title:
FIRST FLOOR RCP
Drawn By: DL Scale: 1:100 @ A2
Project No: 1407 Drawing No: WD07 JD



Freestanding wall not to exceed 2.3m above natural ground level without Development Approval from ACTPLA. (s1.51 of the Planning and Development Regulation 2008).



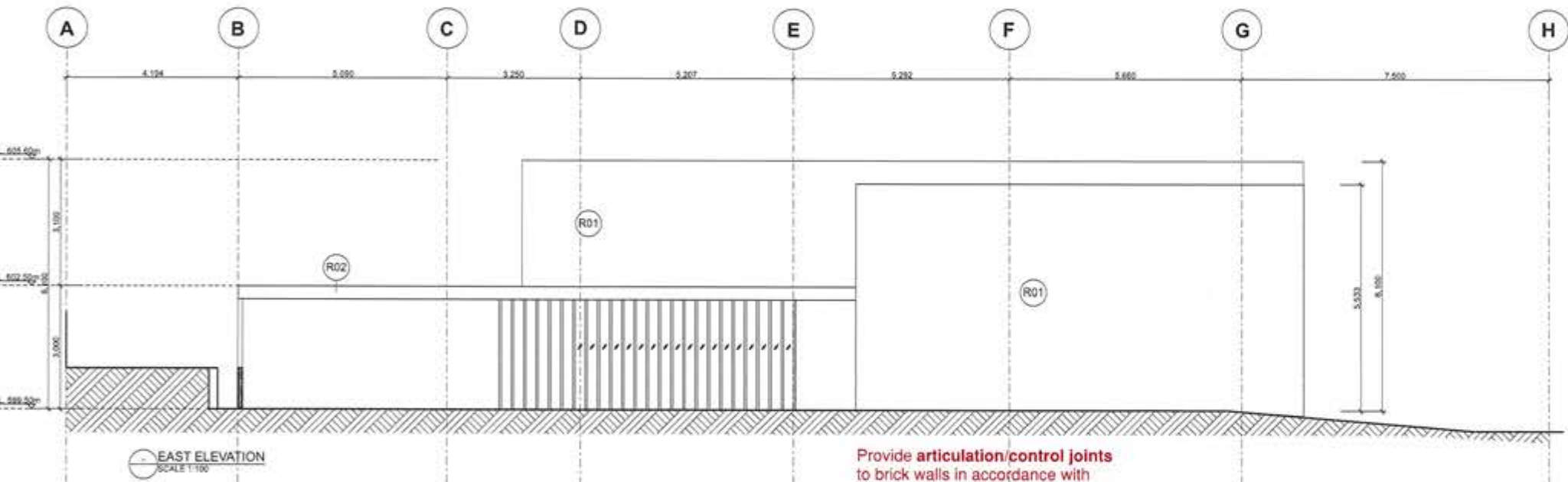
BCA Part 3.1.2.3 - Surface water drainage

The slab height of the residence must finish not less than 50mm above the external concreted/paved areas; 150mm in any other case.

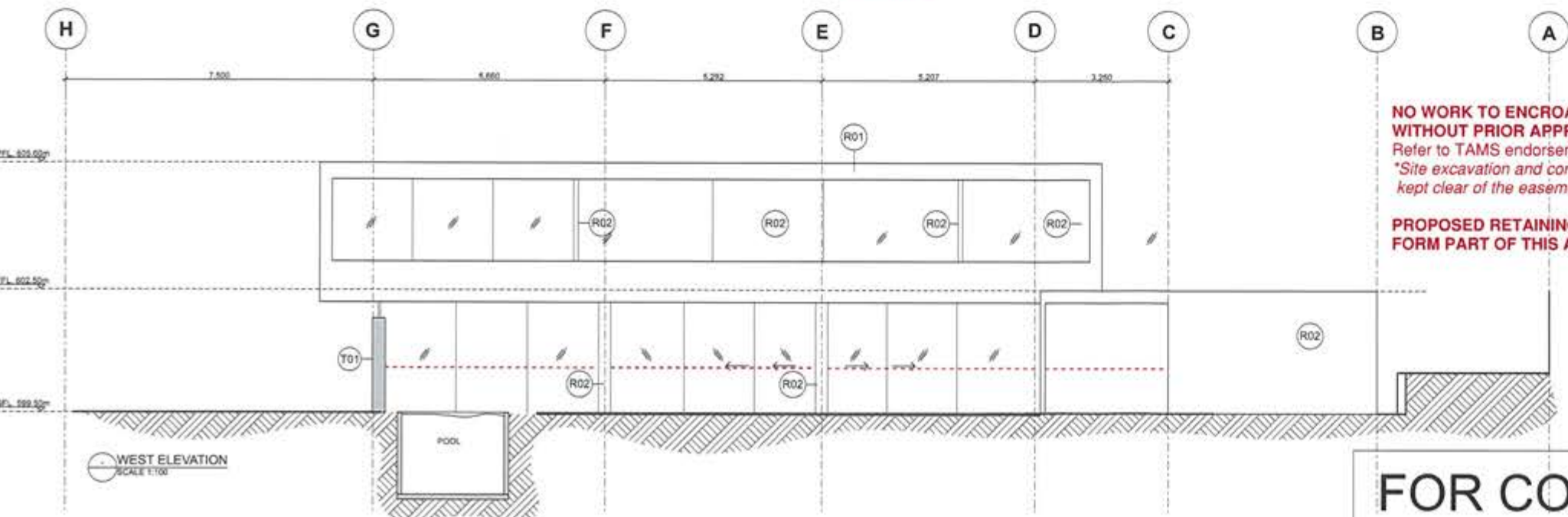
The external finished surface surrounding the slab must be drained to move surface water away from the residence and graded to give a slope of not less than 50 mm over the first 1 m from the building.

LEGEND

- R01 - RENDER - QUIKCOTE VELVET FINISH COLOUR: OFF WHITE
- R02 - RENDER - QUIKCOTE VELVET FINISH COLOUR: GREY
- T01 - TILES - 100 X 100MM BLUESTONE HONED FINISH. MATCHING GROUT.
- G01 - GLAZING AS PER AS1288, AS1170, AS2047



Provide articulation/control joints to brick walls in accordance with AS4773.2-2010-masonry for small buildings.



NO WORK TO ENCROACH STORMWATER EASEMENT WITHOUT PRIOR APPROVAL FROM TAMS.
Refer to TAMS endorsement dated 27/05/2015
*Site excavation and construction works to be kept clear of the easement.

PROPOSED RETAINING WALL DOES NOT FORM PART OF THIS APPROVAL

Glenn Chambers Lic. No: 200428123
Building Approval issued under section 28 of the Building Act 2004
This sheet **27 AUG 2015** numbered **8** of **15**
Glenn Chambers

ACT Construction Occupation Licence
Building Assessor (Class B)
Assessor: **2011220**
Sign: *Glenn Chambers*
Date: Refer Certificate

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FACSIMILE 613 9029 6690
WORKROOM
Project Name:
NARRABUNDAH RESIDENCE
Address:
104 CAPTAIN COOK CRESCENT
NARRABUNDAH ACT
BLOCK 4 SECTION 72 NARRABUNDAH
Client:
CLASSIC CONSTRUCTION
Drawing Title:
ELEVATIONS
Drawn By: DL Scale: 1:100 @ A2
Project No: 1407 Drawing No.: WD08/D

FOR CONSTRUCTION

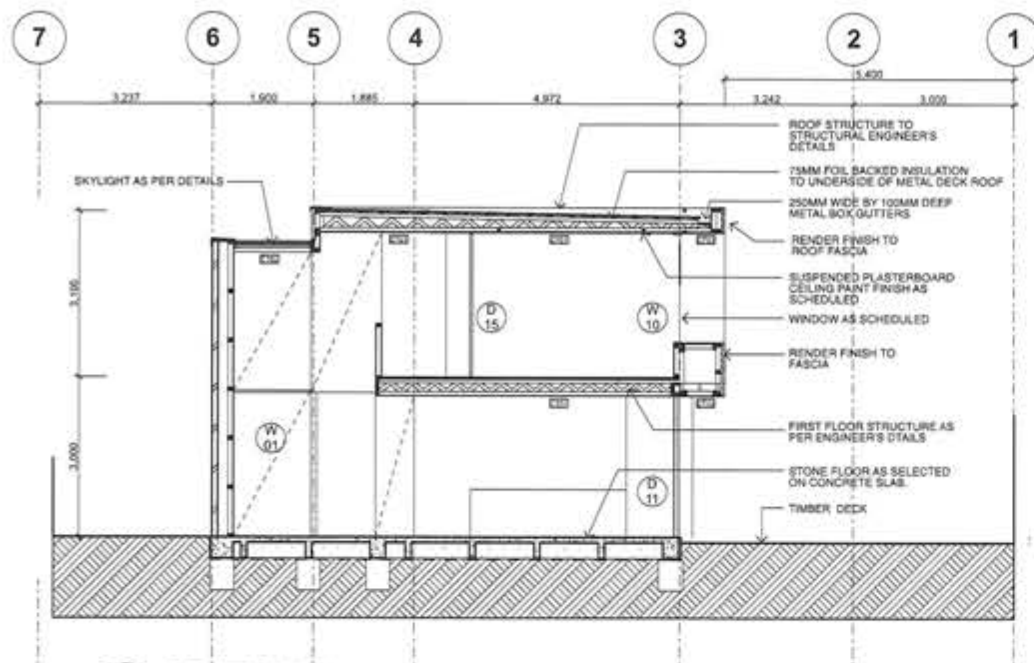
BCA pt.3.12, ENERGY EFFICIENCY
 Wall and ceiling insulation, window frames
 and glazing are all to conform to that specified
 in the accompanying Energy Rating Report.

NOTES:
 All related trade plans are provided. Builder shall confirm all P.L.'s with the supervising architect prior to commencing work.
 Construction:
 To the scale of the drawings, use given dimensions only. Do not infer dimensions and materials, conditions and details. Verify dimensions marked on drawings to be constructed. Refer dimensions precisely as given.
 Shop Drawings:
 All shop drawings shall be submitted in accordance with the provisions of the relevant code of practice prior to fabrication of permanent shop drawings.
 Drafting:
 Refer to Structural Engineer's Drawings for details of all openings. Use framing members, and framing members, concrete slabs, retaining walls, etc.
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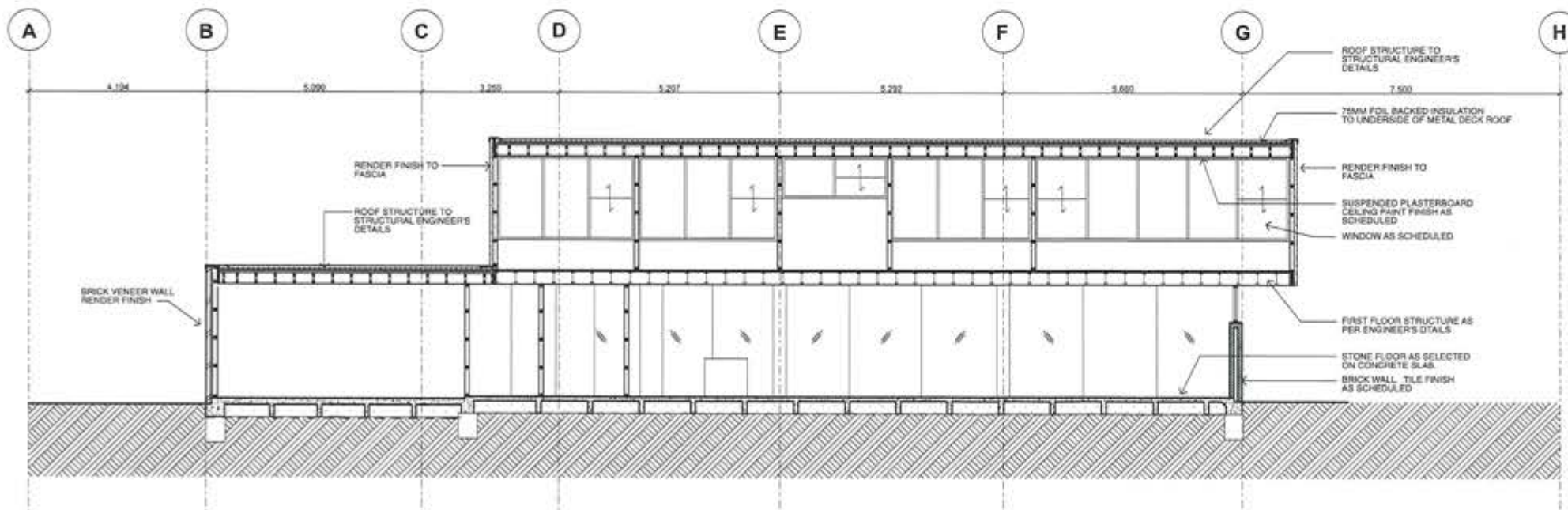
DRAWING LEGEND

REVISIONS

Revision	Description	Date
A	ISSUED FOR REVIEW	19-08-15
B	ISSUED FOR REVIEW	19-08-15
C	FOR CONSTRUCTION	19-08-15



S01 SECTION 01
 WD01 SCALE 1:100



S02 SECTION 02
 WD01 SCALE 1:100

Glenn Chambers Lic. No: 200428123
 Building Approval issued under section 28 of
 the Building Act 2004
 This sheet **27 AUG 2015** numbered
 9 of 15
Glenn Chambers

ACT Construction Occupation Licence
 Building Assessor (Class B)
 Assessor: **2011220**
 Sign: *Glenn Chambers*
 Date: Refer Certificate

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 RICHMOND 3121 AUSTRALIA
 TELEPHONE 813 9417 8044
 FACSIMILE 613 9029 6600

WORKROOM

Project Name:
 NARRABUNDAH RESIDENCE

Address:
 104 CAPTAIN COOK CR
 NARRABUNDAH ACT
 BLOCK 4 SECTION 72 NARRABUNDAH
 Client:
 CLASSIC CONSTRUCTION

Drawing Title:
 SECTIONS

Drawn By: DL Scale: 1:100 @ A2
 Project No: 1407 Drawing No: WD09/C

FOR CONSTRUCTION

STRUCTURAL DETAILS AND SPECIFICATIONS
PROPOSED RESIDENCE ON
BLOCK 4, SECTION 72, NARRABUNDAH A.C.T
FOR



SITE PREPARATION NOTES

THE DESIGN OF THIS WAFFLE POD FLOORING SYSTEM HAS BEEN BASED ON THE FOLLOWING:

- THE SLAB HAS BEEN DESIGNED FOR A "H1" SITE CLASSIFICATION.
- BUILDER TO PROVIDE AND VERIFY SITE CLASSIFICATION PRIOR TO CONSTRUCTION.
- ALL TOP SOIL AND ORGANIC MATTER HAS BEEN COMPLETELY STRIPPED FROM SITE FOR WHICH THE RESIDENCE AND ITS SURROUNDING AREA IS LOCATED WITH PARTICULAR ATTENTION TO ROOT ZONE INFLUENCE.
- NO SIGNIFICANT SILTY MATERIALS ARE TO BE INCORPORATED WITHIN THE SOIL PROFILE SUPPORTING THE WAFFLE POD (OTHERWISE GEOTECHNICAL ADVICE MUST BE SOUGHT AS TO THE LONG TERM INTEGRITY OF THE PLATFORM.)
- IF THE SITE IS BENCHED WITH A CUT AND FILL APPLICATION THE FILL IS TO BE CERTIFIED BY A QUALIFIED PRACTICING ENGINEER WITHIN THE FIELD OF STRUCTURAL INTEGRITY; OTHERWISE STRUCTURAL PIERS MUST BE INSTALLED IN ACCORDANCE WITH STRUCTURAL ENGINEERING DESIGN ADOPTING SUSPENDED WORKS.
- ANY FILL IS TO EXTEND PAST THE EDGE OF THE SLAB BY AT LEAST ONE METER.
- GRADING OF THE NATURAL OR FILL LEVELS ARE TO FALL AWAY FROM THE SLAB FACE ENSURING NO PONDING OF RAINWATER OR EROSION MATERIAL.
- SUBSOIL DRAINS CONSTRUCTED WHERE DESIRABLE TO ALLEVIATE SUBTERRANEAN WATER AND POTENTIAL EXCESSIVE MOISTURE RETENTION WITHIN THE STRUCTURAL PLATFORM THAT WILL CAUSE STRUCTURAL DURESS TO THE SLAB.
- ALL EXCAVATIONS FOR DRAINAGE (SEWER AND STORMWATER) RUNNING PARALLEL OR WITHIN THIS VICINITY NOT TO EXTEND BELOW A LINE DRAWN AT 45 DEGREES + 300mm TO THE HORIZONTAL FOR CLAY AND 30 DEGREES + 300mm FOR SAND OR GRANULAR MATERIAL FROM THE BOTTOM OF THE EDGE BEAM OR EXCAVATED BASE OF PIERS.
- ALL DRAINAGE EXCAVATIONS TO BE REINSTATED WITH COMPACTED GRANULAR TYPE FILL COMPACTED TO 90% M.M.D.D.
- TERMITE TREATMENT TO LOCAL AUTHORITIES REQUIREMENTS.
- MINIMUM DESIGN BEARING CAPACITY FOR STRUCTURAL PLATFORM 50KPa.

CONCRETE NOTES

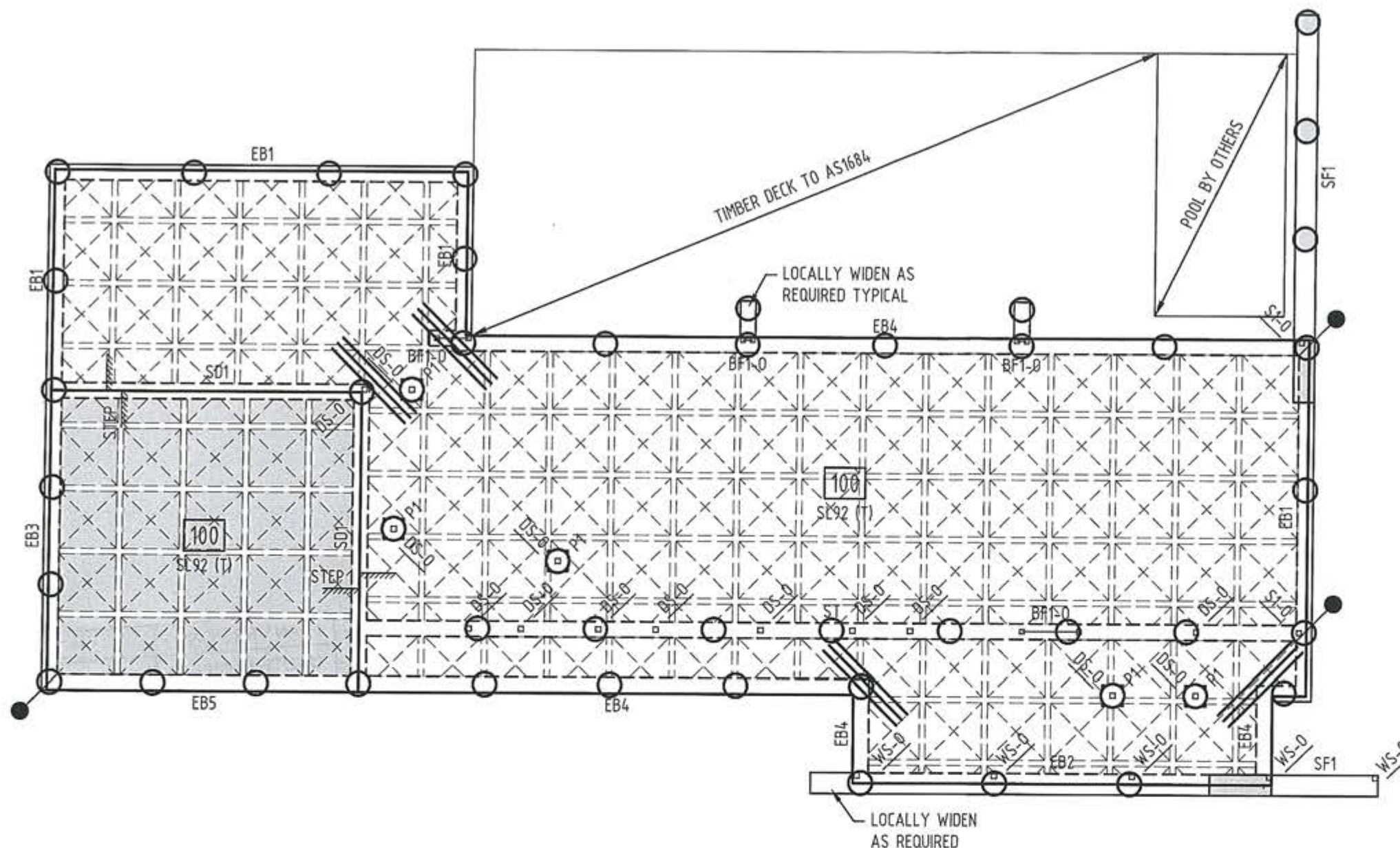
- CONCRETE F'C TO BE 20MPa FOR PIERS, FOOTINGS AND SLABS, AND 32MPa FOR REMAINDER (UNLESS NOTED OTHERWISE)
- ALL MATERIALS TO COMPLY WITH CURRENT AUSTRALIAN STANDARDS.
- ALL WORKMANSHIP TO COMPLY WITH CURRENT AUSTRALIAN STANDARDS.
- CONCRETE MIX TO BE N20 WITH 20mm MAX. AGGREGATE SIZE.
- ALL CONCRETE TO BE LAID USING VIBRATORS.
- MAXIMUM SLUMP 80mm AND NO WATER ADDED ON SITE UNLESS CERTIFIED BY AN ENGINEER OR GUARANTEEING SUPPLIER.
- ALL CONCRETE SLABS TO BE CURED FOR SEVEN DAYS BY SUITABLE MEANS.
- REINFORCEMENT TO BE ADEQUATELY LAPPED N12's AT 450mm AND N16's AT 600mm.
- COVER TO REINFORCEMENT: EXPOSURE CLASSIFICATION A1
 - 20mm TOP COVER (INTERNAL).
 - 30mm COVER (EXTERNAL).
 - 30mm BOTTOM COVER TO INTERNAL AND EXTERNAL STIFFENING BEAMS (OVER VAPOUR BARRIER).
 - 40mm COVER FOR CONCRETE CAST AGAINST GROUND.
- VAPOUR BARRIER TO PROTRUDE PAST EXTERNAL STIFFENING BEAM.
- VAPOUR BARRIER TO BE PLACED OVER 50mm THICK LEVELING LAYER OF COMPACTED COARSE SAND OR EQUIVALENT.
- VAPOUR BARRIER TO BE LAPPED 200mm AT JOINTS AND ALL SERVICE PENETRATIONS SHALL BE TAPED.
- SERVICE PENETRATIONS IN EDGE OR RIB BEAMS TO BE CARRIED OUT IN ACCORDANCE WITH THE GIVEN DETAIL.

OUR REFERENCE: 150242

PREPARED BY:



sellick consultants
po box 5005 braddon act 2612
p: 02 6201 0200 f: 02 6247 2203
sellickconsultants.com.au



GENERAL ARRANGEMENT LEGEND

DESIGNED FOR 'H1' SITE CLASSIFICATION

SCALE 1:100

S1-D

: INDICATES COLUMN OVER

100

: INDICATES WALL OR COLUMN OVER

100
SL92 (T)

: INDICATES SLAB THICKNESS AND MESH OVERALL

STEP

: INDICATES STEP IN SLAB

SC

: INDICATES 3N12 OR 3L11TM TRIMMER BARS, 2000 LONG AT ALL (RE-ENTRANT CORNERS) SLAB CORNERS TYPICAL

SC

: INDICATES SAW CUT JOINT

SC

: INDICATES STARTING POINT FOR POD LAYOUT

SC

: INDICATES 1 STANDARD 300 x 1100 sq POD

SC

: INDICATES 1 STANDARD 220 x 1100 sq POD

P1

: INDICATES 400 sq LOCALLY REMOVED VOID FORMER WITH MASS CONCRETE FILL

SC

: INDICATES Ø450 MASS CONCRETE PIERS (TO UNDERSIDE OF EDGE BEAM) TAKEN DOWN 600mm AS PER ACT GEOTECHNICAL REPORT #C7550.

SC

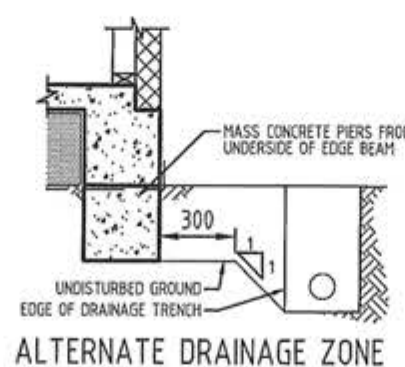
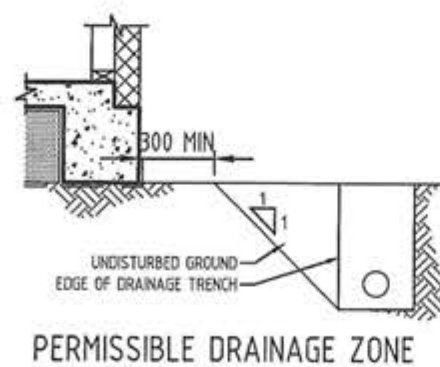
: INDICATES Ø450 MASS CONCRETE PIERS TAKEN DOWN TO INVERT LEVEL OF POOL EXCAVATION.

SC

: DENOTES STRIP FOOTING TO WAFFLE POD CONNECTION (1200mm LONG MIN)

NOTES

- REFER TO DRAWING S100-10 FOR SLAB ON GROUND DETAILS
- FLOOR LEVELS TO BE CONFIRMED WITH ENGINEER PRIOR TO CONSTRUCTION
- SITE PREPARATION AND CONCRETE NOTES TO BE READ AND UNDERSTOOD PRIOR TO CONSTRUCTION.
- PROVIDE 2 LAYERS OF MESH FOR TYPICAL BRITTLE FLOOR COVERINGS >16m² AS PER AS2870 CLAUSE 5.3.7
- ARTICULATE ALL BRICK WORK AND DRAINAGE TO BCA.



Glenn Chambers Lic. No: 200428123
Building Approval issued under section 28 of
the Building Act 2004

This sheet 27 AUG 2015 numbered
11 of 15
f. chambers



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PROJECT TITLE
PROPOSED RESIDENCE



DESIGNED BY
D.Mc
CHECKED BY
D.Mc
AUTHORISED BY
DATE

DRAWING TITLE
GROUND MARKING PLAN

PROJECT LOCATION
BLOCK 4 SECTION 72
NARRABUNDAH ACT

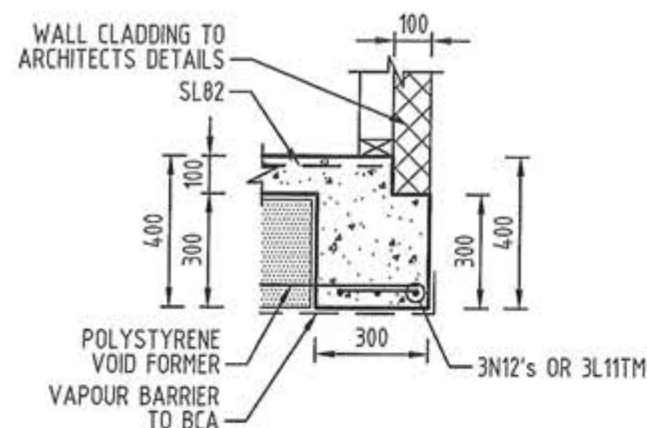
SCALE
AS SHOWN AT A3

JOB NO.
150242

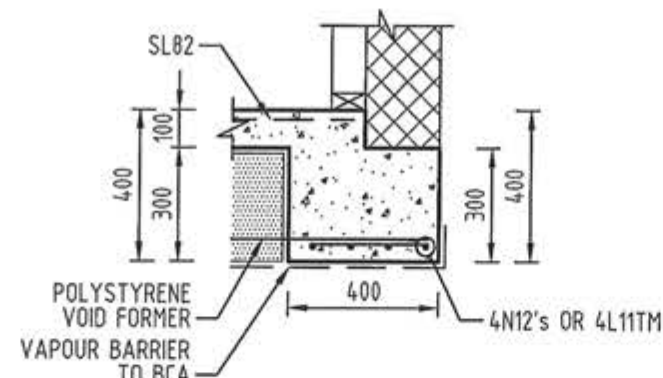
DRAWING NO.
S100-01

FOR COORDINATION
ISSUE AMEND DESCRIPTION

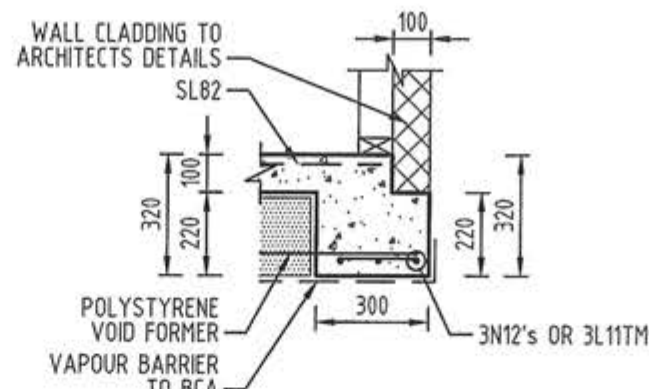
04.06.2015 KMc
DATE DRAWN



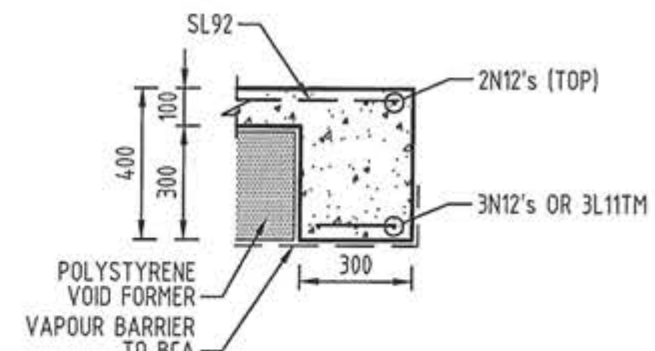
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TYPICAL EDGE BEAM 'EB1'



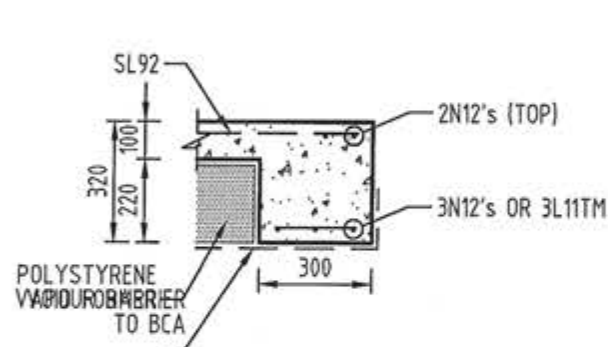
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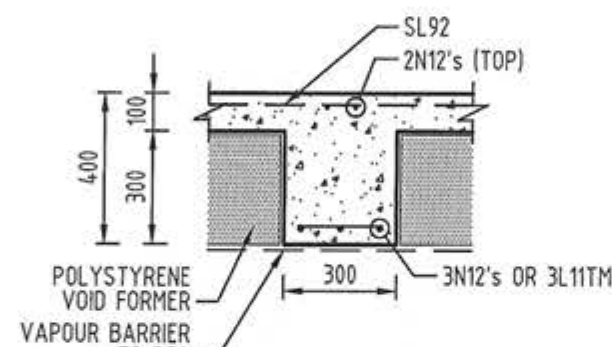
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TYPICAL EDGE BEAM 'EB3'



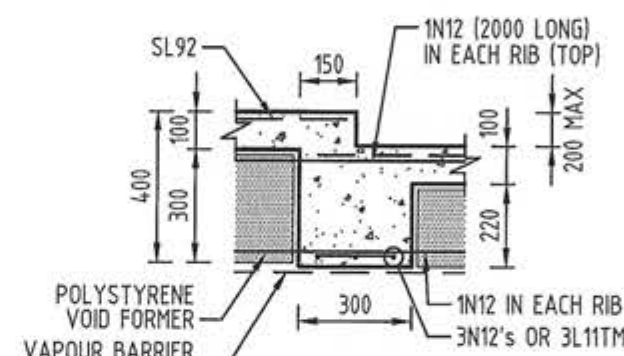
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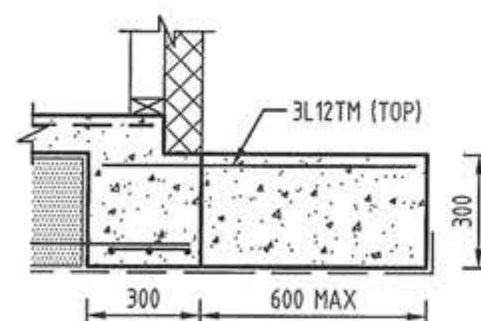
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TYPICAL EDGE BEAM 'EB5'



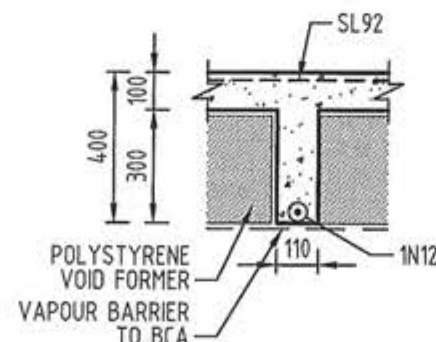
BEARING ONTO NATURAL STRATA OR PIERS
TYPICAL SLAB THICKENING 'ST'



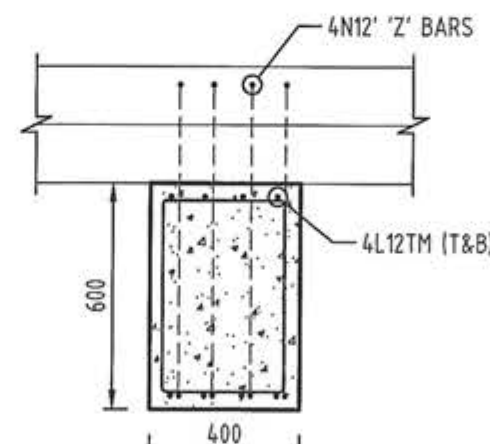
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TYPICAL STEP DOWN 'SD1'



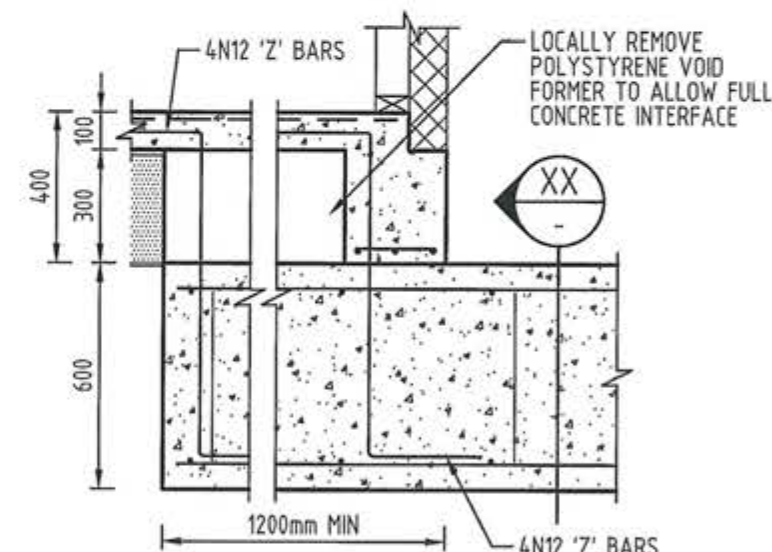
**TYPICAL EDGE BEAM
LOCALLY WIDENED**



TYPICAL INTERNAL 'RIB'



**TYPICAL STRIP FOOTING
'SF1' / SECTION XX**



BEARING ONTO NATURAL STRATA OR PIERS
**TYPICAL STRIP FOOTING TO
WAFFLE SLAB CONNECTION**

Glenn Chambers Lic. No: 200428123
Building Approval issued under section 28 of
the Building Act 2004
This sheet **27 AUG 2015** numbered
.....12..... of15.....
Glenn Chambers



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PROJECT TITLE
PROPOSED RESIDENCE



DESIGNED BY
D.Mc
CHECKED BY
D.Mc
AUTHORISED BY
DATE

DRAWING TITLE
GROUND DETAILS

PROJECT LOCATION
**BLOCK 4 SECTION 72
NARRABUNDAH ACT**

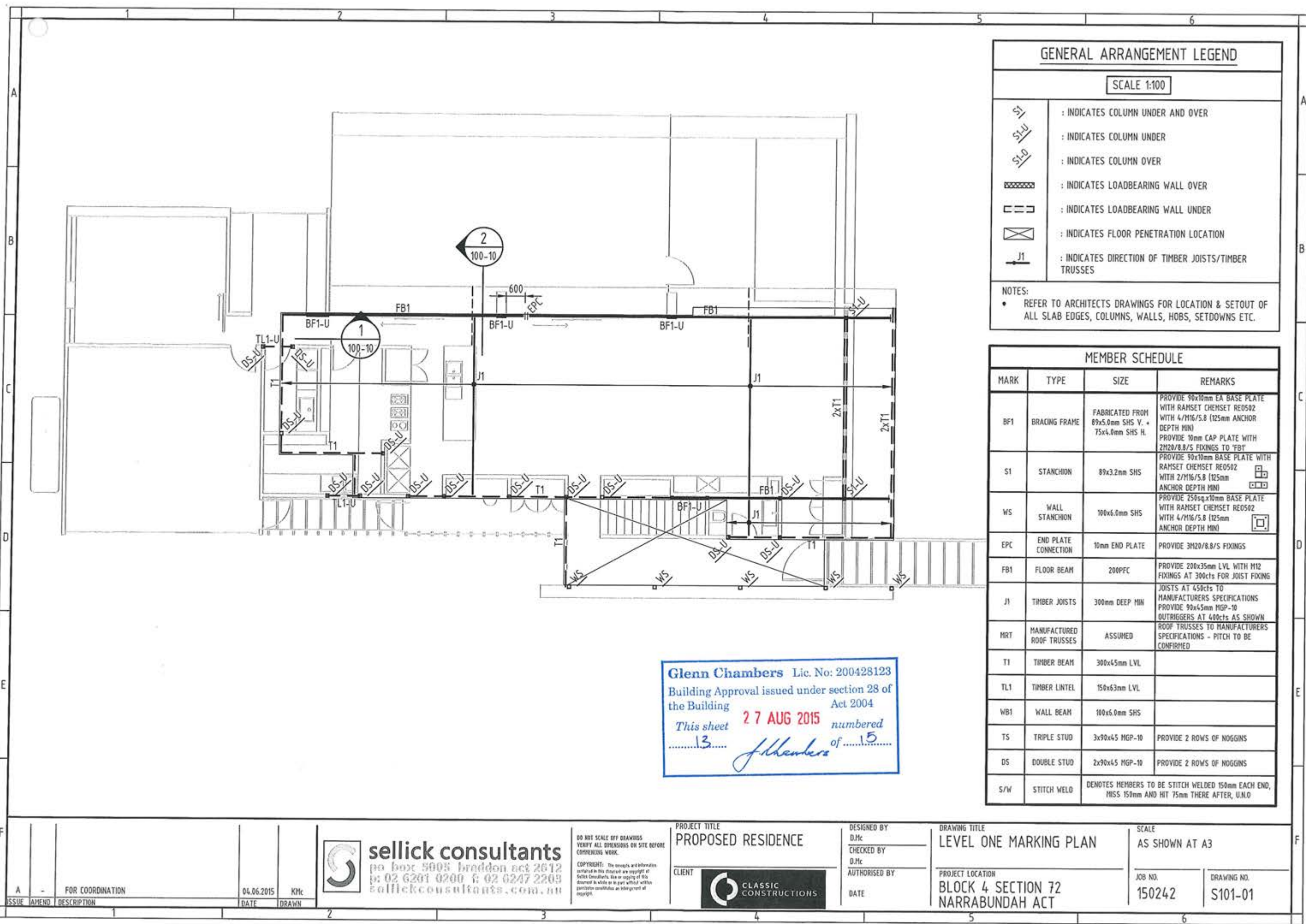
SCALE
AS SHOWN AT A3

JOB NO.
150242

DRAWING NO.
S100-10

FOR COORDINATION
ISSUE AMEND DESCRIPTION

04.06.2015 KMc
DATE DRAWN



GENERAL ARRANGEMENT LEGEND

SCALE 1:100

- : INDICATES COLUMN UNDER AND OVER
- : INDICATES COLUMN UNDER
- : INDICATES COLUMN OVER
- : INDICATES LOADBEARING WALL OVER
- : INDICATES LOADBEARING WALL UNDER
- : INDICATES FLOOR PENETRATION LOCATION
- : INDICATES DIRECTION OF TIMBER JOISTS/TIMBER TRUSSES

NOTES:
• REFER TO ARCHITECTS DRAWINGS FOR LOCATION & SETOUT OF ALL SLAB EDGES, COLUMNS, WALLS, HOBS, SETDOWNS ETC.

MEMBER SCHEDULE

MARK	TYPE	SIZE	REMARKS
BF1	BRACING FRAME	FABRICATED FROM 89x5.0mm SHS V. + 75x4.0mm SHS H.	PROVIDE 90x10mm EA BASE PLATE WITH RAMSET CHEMSET RE0502 WITH 4/M16/5.8 (125mm ANCHOR DEPTH MIN) PROVIDE 10mm CAP PLATE WITH 2M20/8.8/5 FIXINGS TO 'FB1'
S1	STANCHION	89x3.2mm SHS	PROVIDE 90x10mm BASE PLATE WITH RAMSET CHEMSET RE0502 WITH 2/M16/5.8 (125mm ANCHOR DEPTH MIN)
WS	WALL STANCHION	100x6.0mm SHS	PROVIDE 250sqx10mm BASE PLATE WITH RAMSET CHEMSET RE0502 WITH 4/M16/5.8 (125mm ANCHOR DEPTH MIN)
EPC	END PLATE CONNECTION	10mm END PLATE	PROVIDE 3M20/8.8/5 FIXINGS
FB1	FLOOR BEAM	200PFC	PROVIDE 200x35mm LVL WITH M12 FIXINGS AT 300cts FOR JOIST FIXING
J1	TIMBER JOISTS	300mm DEEP MIN	JOISTS AT 450cts TO MANUFACTURERS SPECIFICATIONS PROVIDE 90x45mm MGP-10 OUTRIGGERS AT 400cts AS SHOWN
MRT	MANUFACTURED ROOF TRUSSES	ASSUMED	ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS - PITCH TO BE CONFIRMED
T1	TIMBER BEAM	300x45mm LVL	
TL1	TIMBER LINTEL	150x63mm LVL	
WB1	WALL BEAM	100x6.0mm SHS	
TS	TRIPLE STUD	3x90x45 MGP-10	PROVIDE 2 ROWS OF NOGGINS
DS	DOUBLE STUD	2x90x45 MGP-10	PROVIDE 2 ROWS OF NOGGINS
S/W	STITCH WELD	DENOTES MEMBERS TO BE STITCH WELDED 150mm EACH END, MISS 150mm AND HIT 75mm THERE AFTER, U.N.O	

Glenn Chambers Lic. No: 200428123
Building Approval issued under section 28 of the Building Act 2004
This sheet 27 AUG 2015 numbered 13 of 15
f. Chambers

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PROJECT TITLE
PROPOSED RESIDENCE



DESIGNED BY
D.Hc
CHECKED BY
D.Hc
AUTHORISED BY
DATE

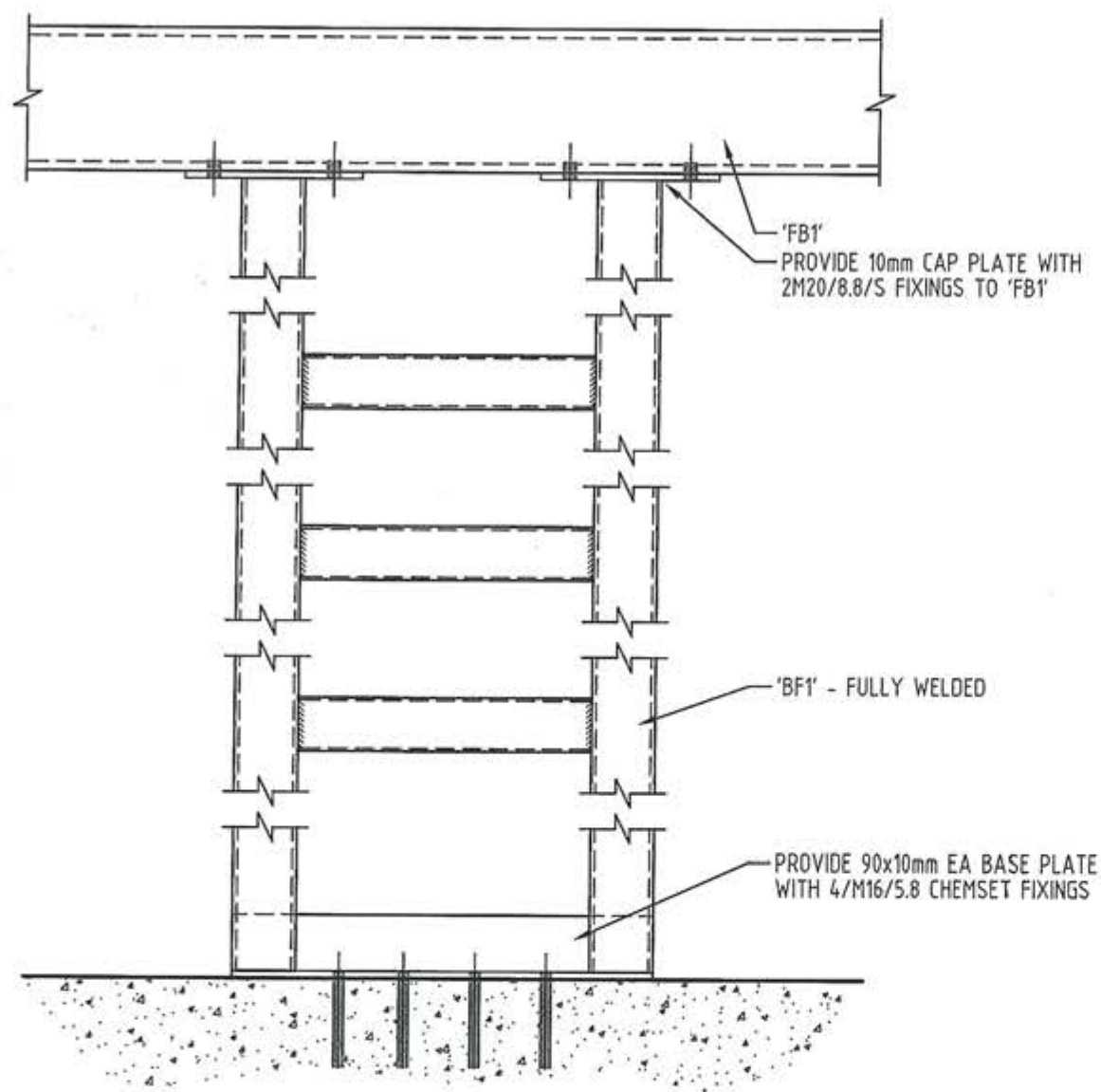
DRAWING TITLE
LEVEL ONE MARKING PLAN

PROJECT LOCATION
BLOCK 4 SECTION 72
NARRABUNDAH ACT

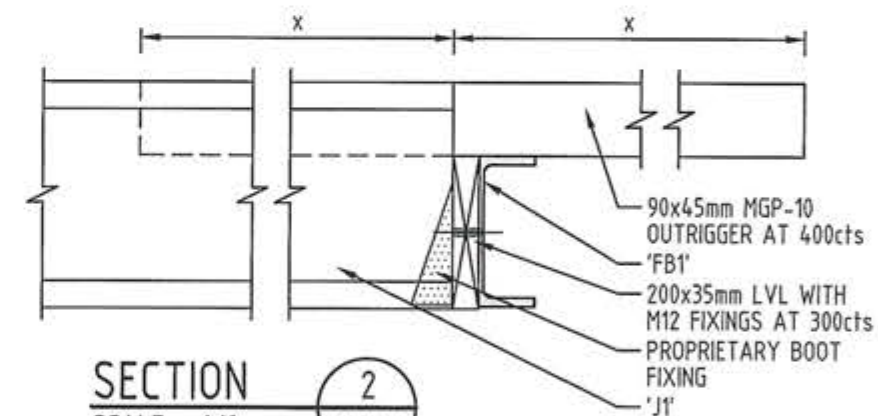
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AS SHOWN AT A3

JOB NO.
150242
DRAWING NO.
S101-01

ISSUE	AMEND	DESCRIPTION	DATE	DRAWN
A	-	FOR COORDINATION	04.06.2015	KMc



SECTION 1
SCALE = 1:10



SECTION 2
SCALE = 1:10

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Building Approval issued under section 28 of
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This sheet 27 AUG 2015 numbered
14 of 15
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PROJECT TITLE
PROPOSED RESIDENCE

CLIENT



DESIGNED BY
D.Mc
CHECKED BY
D.Mc
AUTHORISED BY
DATE

DRAWING TITLE
LEVEL ONE DETAILS

PROJECT LOCATION
**BLOCK 4 SECTION 72
NARRABUNDAH ACT**

SCALE
AS SHOWN AT A3

JOB NO.
150242

DRAWING NO.
S101-10

FOR COORDINATION
ISSUE AMEND DESCRIPTION

DATE DRAWN
04.06.2015 KMc

GENERAL ARRANGEMENT LEGEND

SCALE 1:100

-  : INDICATES COLUMN UNDER AND OVER
-  : INDICATES COLUMN UNDER
-  : INDICATES LOADBEARING WALL UNDER
-  : INDICATES DIRECTION OF TIMBER TRUSSES

NOTES:
• REFER TO ARCHITECTS DRAWINGS FOR LOCATION & SETOUT OF ALL SLAB EDGES, COLUMNS, WALLS, HOBBS, SETDOWNS ETC.

MEMBER SCHEDULE

MARK	TYPE	SIZE	REMARKS
BF1	BRACING FRAME	FABRICATED FROM 89x5.0mm SHS V. + 75x4.0mm SHS H.	PROVIDE 90x10mm EA BASE PLATE WITH RAMSET CHEMSET RE0502 WITH 4/M16/5.8 (125mm ANCHOR DEPTH MIN) PROVIDE 10mm CAP PLATE WITH 2M20/8.8/S FIXINGS TO 'FB1'
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MRT	MANUFACTURED ROOF TRUSSES	ASSUMED	ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS - PITCH TO BE CONFIRMED
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S/W	STITCH WELD		DENOTES MEMBERS TO BE STITCH WELDED 150mm EACH END, MISS 150mm AND HIT 75mm THERE AFTER, U.N.O

Glenn Chambers Lic. No: 200428123
Building Approval issued under section 28 of the Building Act 2004

This sheet 15 numbered 15
27 AUG 2015
J. Chambers



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PROJECT TITLE
PROPOSED RESIDENCE



DESIGNED BY
D.Mc
CHECKED BY
D.Mc
AUTHORISED BY
DATE

DRAWING TITLE
ROOF MARKING PLAN

PROJECT LOCATION
BLOCK 4 SECTION 72
NARRABUNDAH ACT

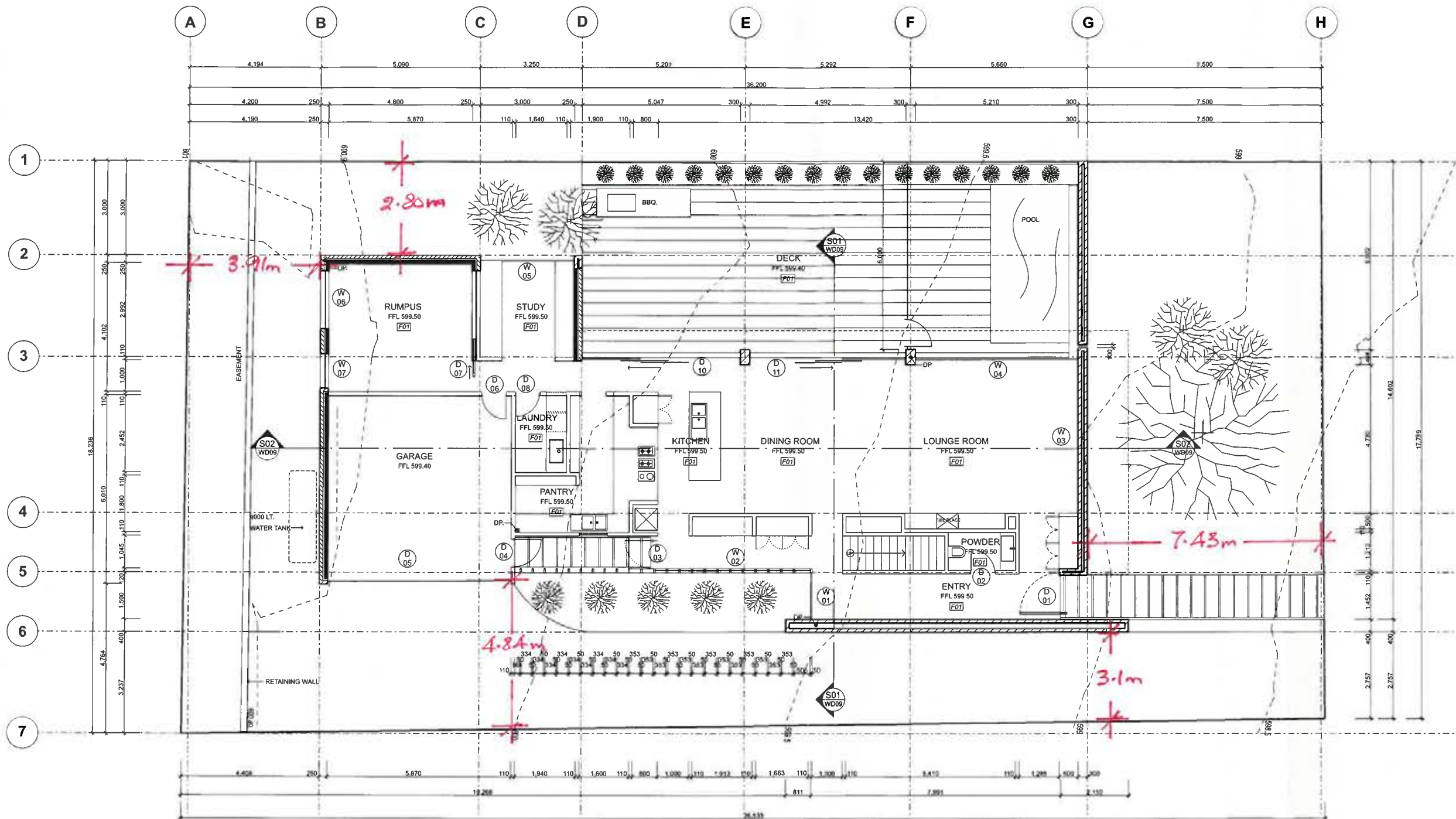
SCALE
AS SHOWN AT A3

JOB NO.
150242

DRAWING NO.
S102-01

FOR COORDINATION
DATE
DRAWN

04.06.2015
KMc



ACT Metropolitan Building Certifiers P/L

Amended Approval: Amendment to Building Approval, or part thereof, issued under Section 32 of the Building Act 2004.

Class of Occupancy: 1a(1) Type of Construction: N/A

Project No: 15/0214 Licence No: 200428123

Signature: [Signature] Date: 4.10.16

This Set of Plans Contains: 13 Sheet/s, No 1/13 to 13/13

This approval is valid for the same period as the approval it amends

Amendment
Revised boundary setbacks as indicated
Revised Structural Drawings.

DA-EXEMPT BUILDING WORK
Complies with Section 1.100 of
Schedule 1 of the Planning &
Development Regulation 2008
(Compliant Single Dwellings)

FOR CONSTRUCTION

NOTES:

All relative levels given are nominal. Builder shall confirm all R.L.'s with the supervising architect prior to commencing work.
Dimensions: Do not scale off the drawings, use given dimensions only. Given dimensions are structural dimensions and exclude finishes. Verify dimensions marked from prior to construction. Figure dimensions precede scale.
Shop Drawings: All shop drawings shall be submitted to Workroom Design Pty Ltd for review and approval prior to fabrication of unaltered shop drawings.
Structure: Refer to Structural Engineers Drawings for details on all footings, floor framing members, roof framing members, concrete slabs, retaining walls etc.
© Workroom Design Pty Ltd own copyright of this drawing

DRAWING LEGEND

REVISIONS

Revision	Description	Date
A	ISSUED FOR REVIEW	19-06-15
B	ISSUED FOR REVIEW	17-07-15
C	FOR CONSTRUCTION	14-08-15
D	MINOR AMENDMENTS	17-08-15

AREA SCHEDULE

SITE: 654.52m²
GROUND: 203.00m²
FIRST: 113.50m²

TOTAL AREA: 316.50m²

PLOT RATIO: 48.36%

WORKROOM DESIGN PTY LTD
1A YORK STREET
RICHMOND 3121 AUSTRALIA
TELEPHONE 613 9417 0044
FACSIMILE 613 9029 6690

WORKROOM

Project Name:
NARRABUNDAH RESIDENCE

Address:
104 CAPTAIN COOK CRESCENT
NARRABUNDAH, ACT
BLOCK 4 SECTION 72 NARRABUNDAH

Client:
CLASSIC CONSTRUCTION

Drawing Title:
GROUND FLOOR PLAN

Drawn By: DL Scale: 1:100 @ A2

Project No: 1407 Drawing No.: WD03 /D

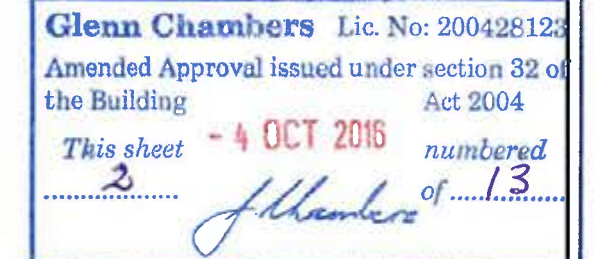


STRUCTURAL DETAILS AND SPECIFICATIONS

PROPOSED RESIDENCE ON

BLOCK 4, SECTION 72, NARRABUNDAH A.C.T

FOR



SITE PREPARATION NOTES

THE DESIGN OF THIS WAFFLE POD FLOORING SYSTEM HAS BEEN BASED ON THE FOLLOWING:

- THE SLAB HAS BEEN RE-DESIGNED FOR A "M" SITE CLASSIFICATION. REFER TO UPDATED SITE CLASSIFICATION C7550.2
- BUILDER TO PROVIDE AND VERIFY SITE CLASSIFICATION PRIOR TO CONSTRUCTION.
- ALL TOP SOIL AND ORGANIC MATTER HAS BEEN COMPLETELY STRIPPED FROM SITE FOR WHICH THE RESIDENCE AND ITS SURROUNDING AREA IS LOCATED WITH PARTICULAR ATTENTION TO ROOT ZONE INFLUENCE.
- NO SIGNIFICANT SILTY MATERIALS ARE TO BE INCORPORATED WITHIN THE SOIL PROFILE SUPPORTING THE WAFFLE POD (OTHERWISE GEOTECHNICAL ADVICE MUST BE SOUGHT AS TO THE LONG TERM INTEGRITY OF THE PLATFORM.)
- IF THE SITE IS BENCHED WITH A CUT AND FILL APPLICATION THE FILL IS TO BE CERTIFIED BY A QUALIFIED PRACTICING ENGINEER WITHIN THE FIELD OF STRUCTURAL INTEGRITY: OTHERWISE STRUCTURAL PIERS MUST BE INSTALLED IN ACCORDANCE WITH STRUCTURAL ENGINEERING DESIGN ADOPTING SUSPENDED WORKS.
- ANY FILL IS TO EXTEND PAST THE EDGE OF THE SLAB BY AT LEAST ONE METER.
- GRADING OF THE NATURAL OR FILL LEVELS ARE TO FALL AWAY FROM THE SLAB FACE ENSURING NO PONDING OF RAINWATER OR EROSION MATERIAL.
- SUBSOIL DRAINS CONSTRUCTED WHERE DESIRABLE TO ALLEVIATE SUBTERRANEAN WATER AND POTENTIAL EXCESSIVE MOISTURE RETENTION WITHIN THE STRUCTURAL PLATFORM THAT WILL CAUSE STRUCTURAL DURESS TO THE SLAB.
- ALL EXCAVATIONS FOR DRAINAGE (SEWER AND STORMWATER) RUNNING PARALLEL OR WITHIN THIS VICINITY NOT TO EXTEND BELOW A LINE DRAWN AT 45 DEGREES + 300mm TO THE HORIZONTAL FOR CLAY AND 30 DEGREES + 300mm FOR SAND OR GRANULAR MATERIAL FROM THE BOTTOM OF THE EDGE BEAM OR EXCAVATED BASE OF PIERS.
- ALL DRAINAGE EXCAVATIONS TO BE REINSTATED WITH COMPACTED GRANULAR TYPE FILL COMPACTED TO 90% M.M.D.D.
- TERMITE TREATMENT TO LOCAL AUTHORITIES REQUIREMENTS.
- MINIMUM DESIGN BEARING CAPACITY FOR STRUCTURAL PLATFORM 50KPa.

CONCRETE NOTES

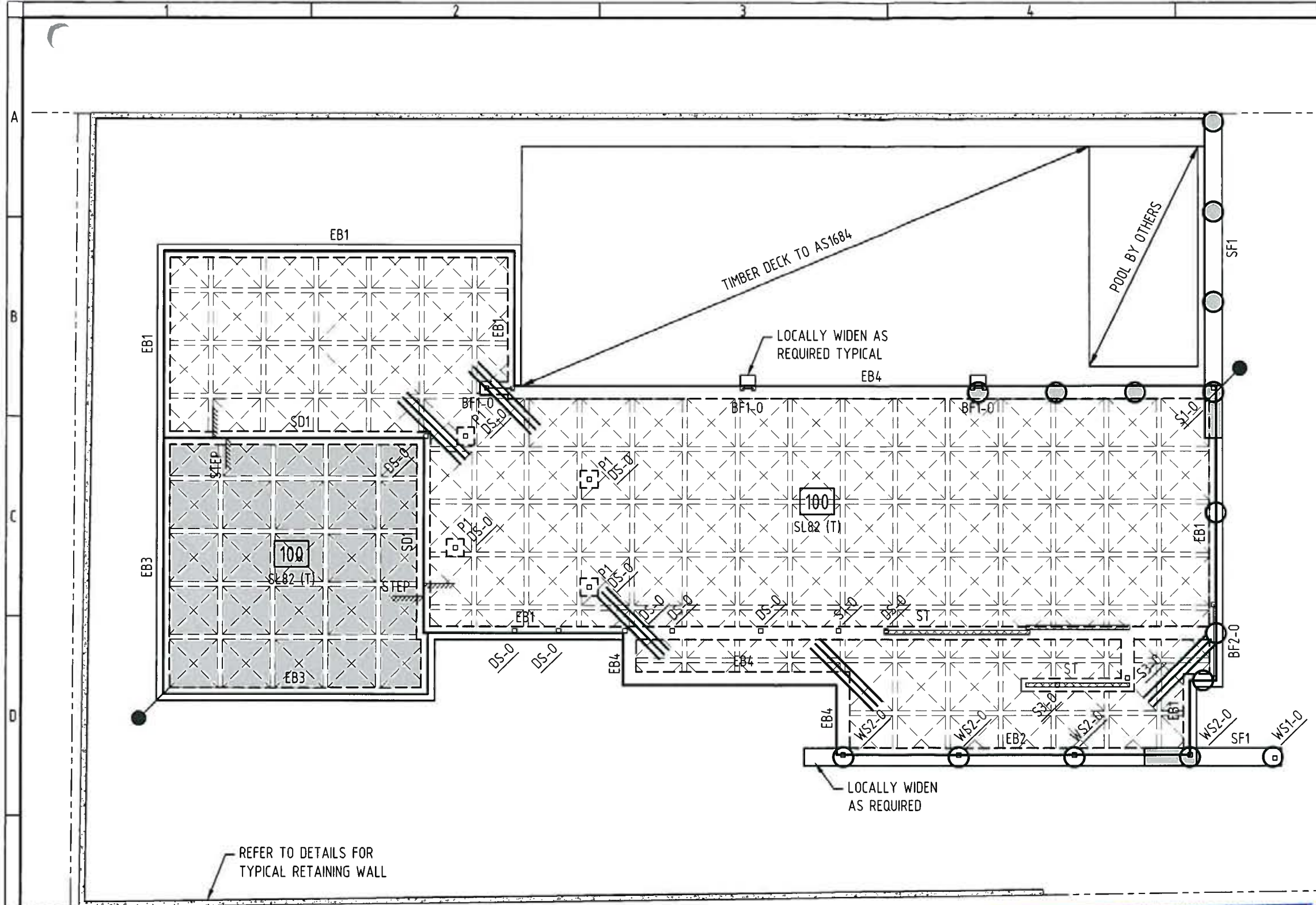
- CONCRETE F'C TO BE 20MPa FOR PIERS, FOOTINGS AND SLABS, AND 32MPa FOR REMAINDER (UNLESS NOTED OTHERWISE)
- ALL MATERIALS TO COMPLY WITH CURRENT AUSTRALIAN STANDARDS.
- ALL WORKMANSHIP TO COMPLY WITH CURRENT AUSTRALIAN STANDARDS.
- CONCRETE MIX TO BE N20 WITH 20mm MAX. AGGREGATE SIZE.
- ALL CONCRETE TO BE LAID USING VIBRATORS.
- MAXIMUM SLUMP 80mm AND NO WATER ADDED ON SITE UNLESS CERTIFIED BY AN ENGINEER OR GUARANTEEING SUPPLIER.
- ALL CONCRETE SLABS TO BE CURED FOR SEVEN DAYS BY SUITABLE MEANS.
- REINFORCEMENT TO BE ADEQUATELY LAPPED N12's AT 450mm AND N16's AT 600mm.
- COVER TO REINFORCEMENT: EXPOSURE CLASSIFICATION A1
 - 20mm TOP COVER (INTERNAL).
 - 30mm COVER (EXTERNAL).
 - 30mm BOTTOM COVER TO INTERNAL AND EXTERNAL STIFFENING BEAMS (OVER VAPOUR BARRIER).
 - 40mm COVER FOR CONCRETE CAST AGAINST GROUND.
- VAPOUR BARRIER TO PROTRUDE PAST EXTERNAL STIFFENING BEAM.
- VAPOUR BARRIER TO BE PLACED OVER 50mm THICK LEVELING LAYER OF COMPACTED COARSE SAND OR EQUIVALENT.
- VAPOUR BARRIER TO BE LAPPED 200mm AT JOINTS AND ALL SERVICE PENETRATIONS SHALL BE TAPED.
- SERVICE PENETRATIONS IN EDGE OR RIB BEAMS TO BE CARRIED OUT IN ACCORDANCE WITH THE GIVEN DETAIL.

OUR REFERENCE: 150242

PREPARED BY:



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GENERAL ARRANGEMENT LEGEND

RE-DESIGNED FOR 'M' SITE CLASSIFICATION
REFER TO SITE CLASSIFICATION C7550.2 REPORT

SCALE 1:100

: INDICATES COLUMN OVER

: INDICATES WALL OR COLUMN OVER

: INDICATES SLAB THICKNESS AND MESH OVERALL

: INDICATES STEP IN SLAB

: INDICATES 3N12 OR 3L11TM TRIMMER BARS, 2000 LONG AT ALL (RE-ENTRANT CORNERS) SLAB CORNERS TYPICAL

: INDICATES SAW CUT JOINT

: INDICATES STARTING POINT FOR POD LAYOUT

: INDICATES 1 STANDARD 300 x 1090 sq POD

: INDICATES 1 STANDARD 220 x 1090 sq POD

: INDICATES 400 sq LOCALLY REMOVED VOID FORMER WITH MASS CONCRETE FILL

: INDICATES Ø450 MASS CONCRETE PIERS (TO UNDERSIDE OF EDGE BEAM) TAKEN DOWN 600mm AS PER ACT GEOTECHNICAL REPORT #C7550.

: INDICATES Ø450 MASS CONCRETE PIERS TAKEN DOWN TO INVERT LEVEL OF POOL EXCAVATION.

: DENOTES STRIP FOOTING TO WAFFLE POD CONNECTION (1200mm LONG MIN)

NOTES

- REFER TO DRAWING S100-10 FOR SLAB ON GROUND DETAILS
- FLOOR LEVELS TO BE CONFIRMED WITH ENGINEER PRIOR TO CONSTRUCTION
- SITE PREPARATION AND CONCRETE NOTES TO BE READ AND UNDERSTOOD PRIOR TO CONSTRUCTION.
- PROVIDE 2 LAYERS OF MESH FOR TYPICAL BRITTLE FLOOR COVERINGS >16m² AS PER AS2870 CLAUSE 5.3.7
- ARTICULATE ALL BRICK WORK AND DRAINAGE TO BCA.

Glenn Chambers Lic. No: 200428123
Amended Approval issued under section 32 of the Building Act 2004
This sheet - 4 OCT 2016 numbered 3 of 13
Glenn Chambers

ISSUE	AMEND	DESCRIPTION	DATE	DRAWN	PROJECT TITLE	DESIGNED BY	DRAWING TITLE	SCALE	JOB NO.	DRAWING NO.
C	-	RE-ISSUED FOR CONSTRUCTION	29.01.2016	KMc	PROPOSED RESIDENCE	D.Mc	GROUND MARKING PLAN	AS SHOWN AT A3	150242	S100-01
B.1	-	AMENDED FOR 'M' SITE CLASSIFICATION REPORT AND WET AREA SET DOWNS ADDED	07.12.2015	KMc		CHECKED BY D.Mc				
B	-	FOR CONSTRUCTION	01.10.2015	KMc		AUTHORISED BY				
A	-	FOR COORDINATION	04.06.2015	KMc		DATE				

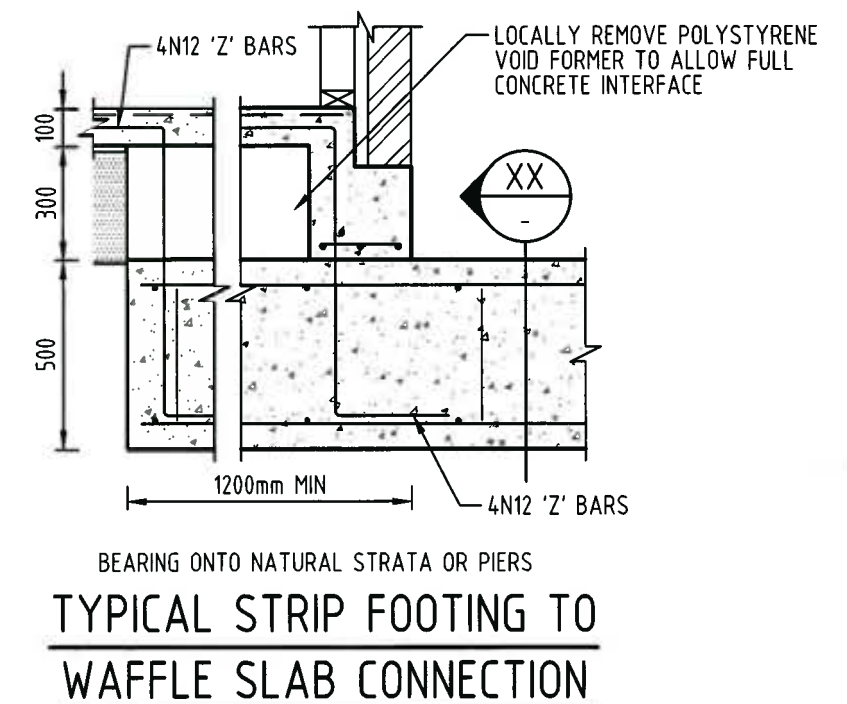
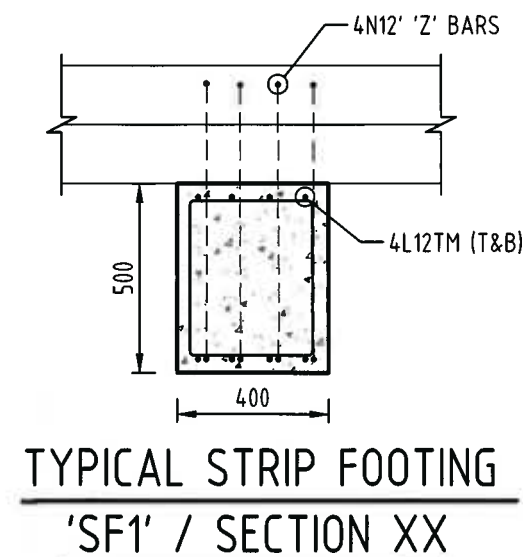
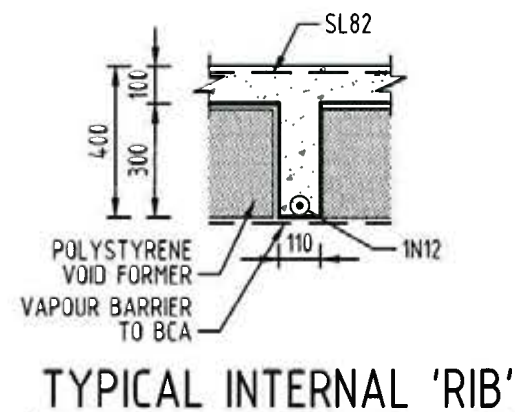
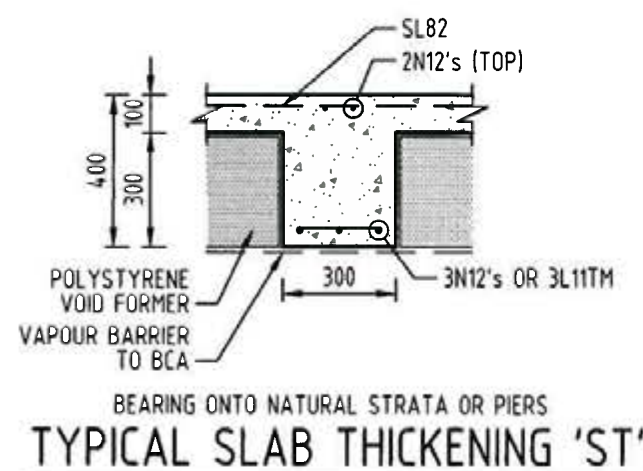
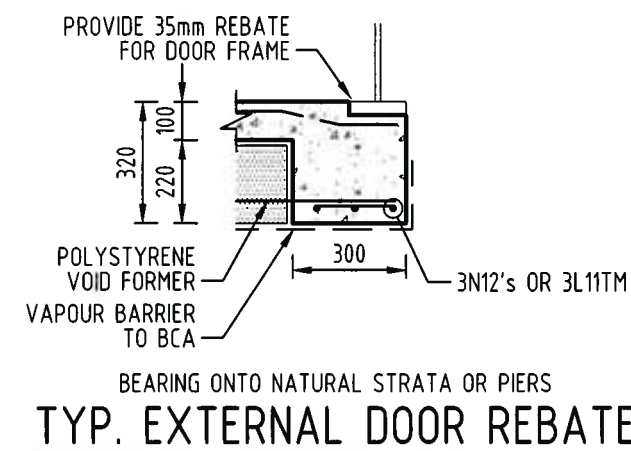
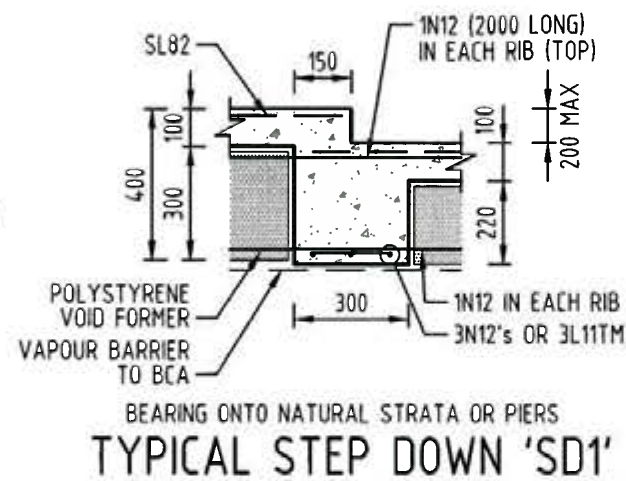
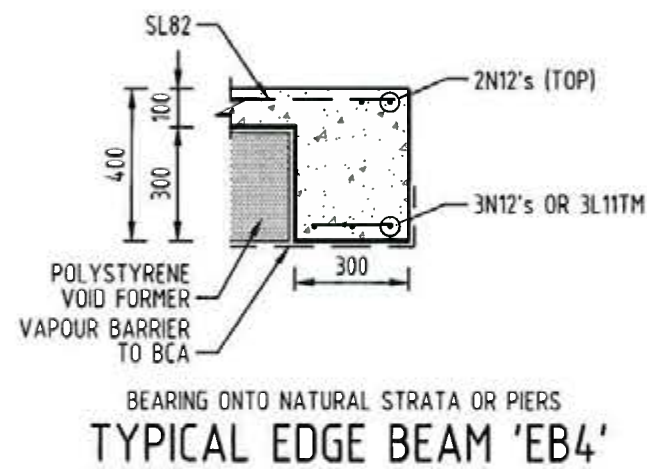
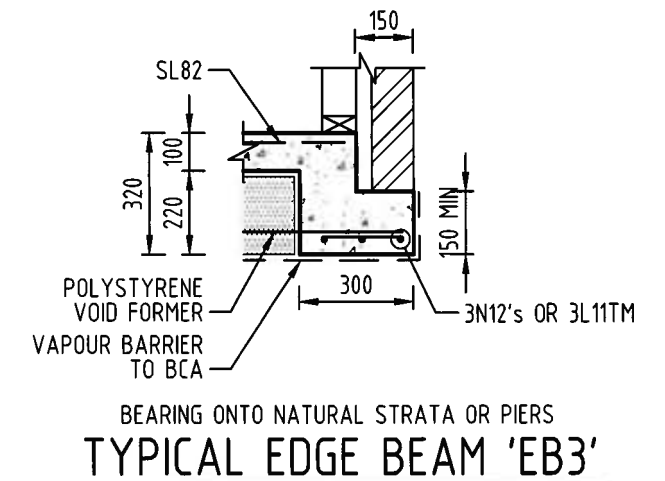
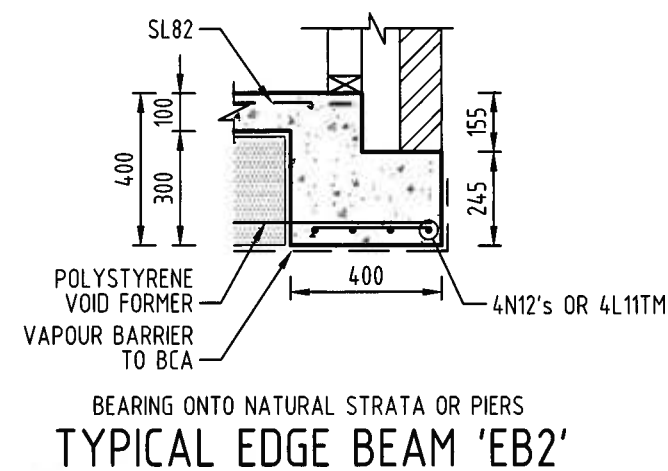
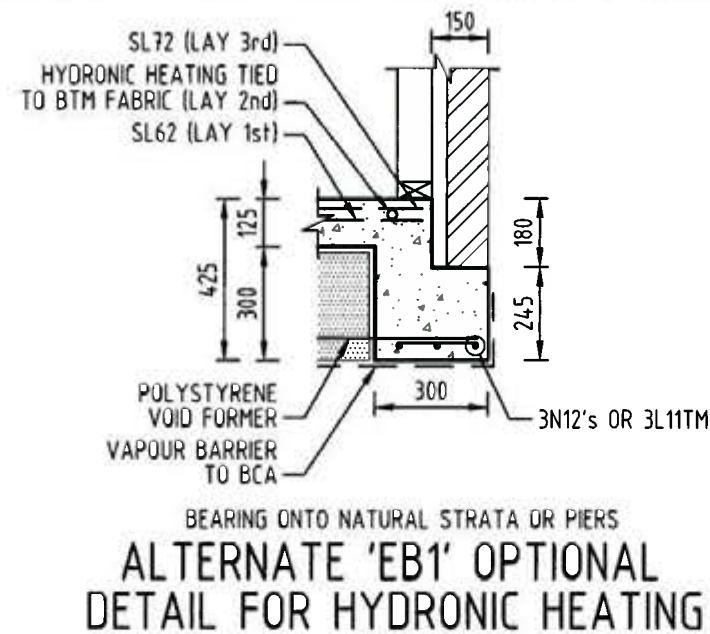
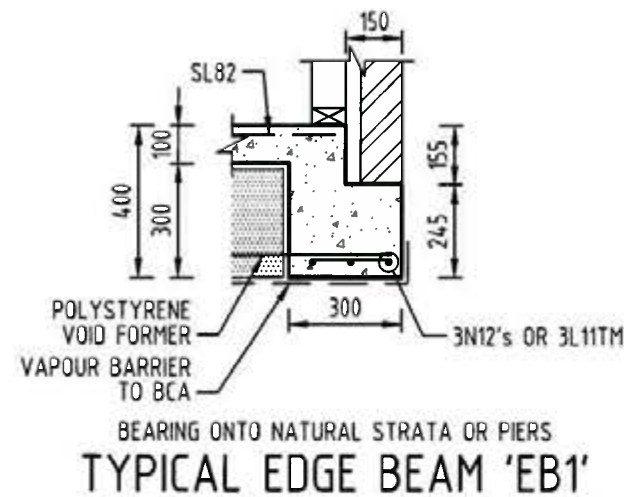
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BLOCK 4 SECTION 72
NARRABUNDAH ACT

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ISSUE	AMEND	DESCRIPTION	DATE	DRAWN
C	-	RE-ISSUED FOR CONSTRUCTION	29.01.2016	KMc
B.2	-	AMENDED FOR 'M' SITE CLASSIFICATION	07.12.2015	KMc
B.1	-	ADDITION OF OPTIONAL SLAB DETAIL FOR HYDRONIC HEATING	20.10.2015	KMc
B	-	FOR CONSTRUCTION	01.10.2015	KMc
A	-	FOR COORDINATION	04.06.2015	KMc



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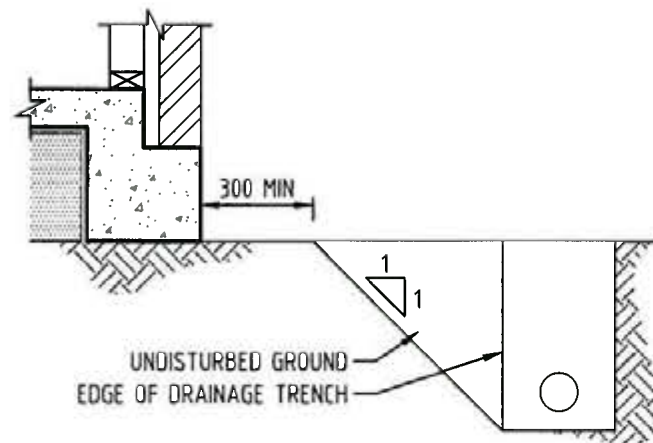
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GROUND DETAILS

PROJECT LOCATION
**BLOCK 4 SECTION 72
NARRABUNDAH ACT**

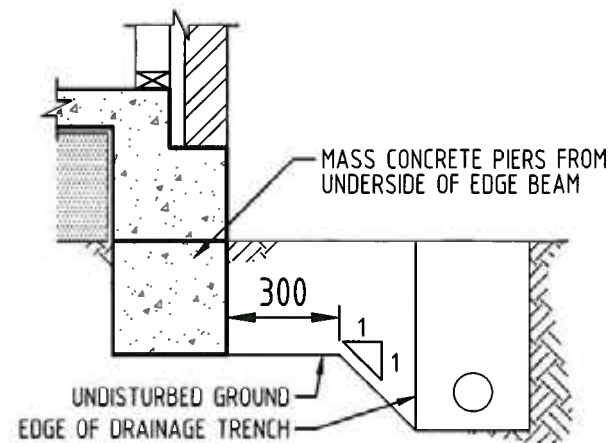
SCALE
AS SHOWN AT A3

JOB NO.
150242

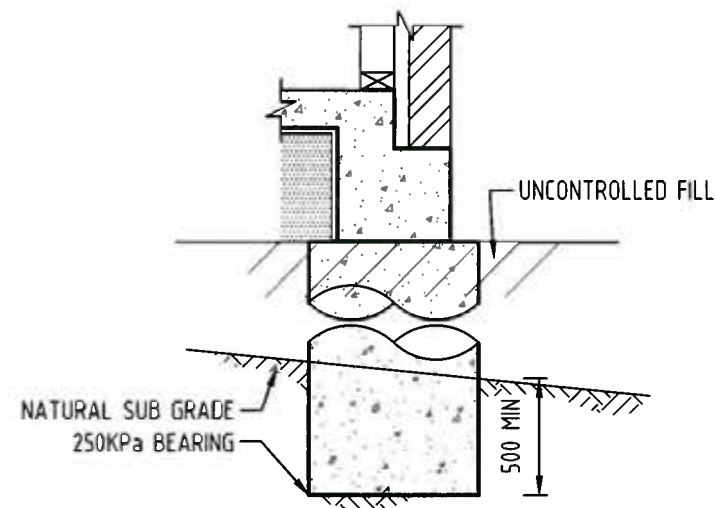
DRAWING NO.
S100-10



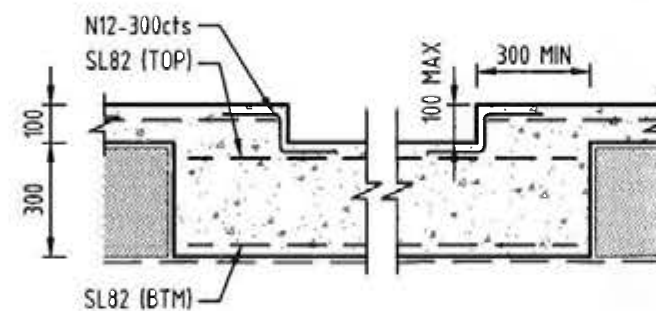
PERMISSIBLE DRAINAGE ZONE



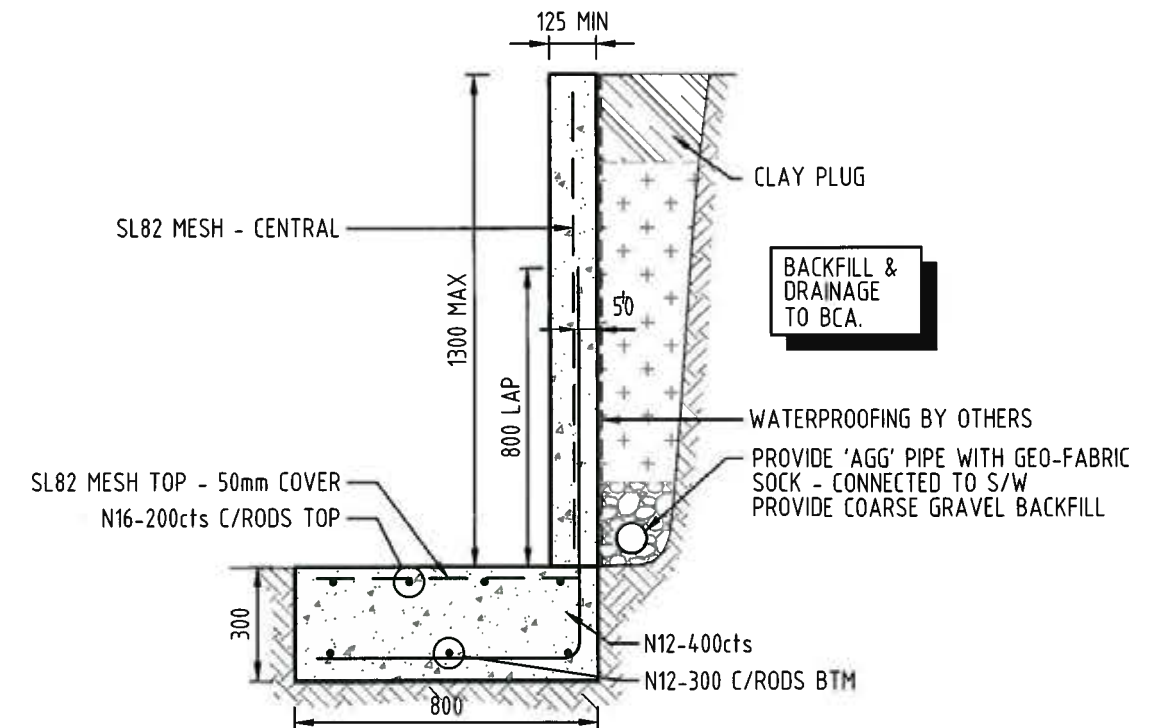
ALTERNATE DRAINAGE ZONE



MAX FILL PIER DETAIL (Ø450mm)



TYPICAL SHOWER SET DOWN



TYPICAL FORMED RETAINING WALL

PROVIDE VERTICAL JOINTS AT 8m CENTRES MAX.

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GROUND DETAILS

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NARRABUNDAH ACT**

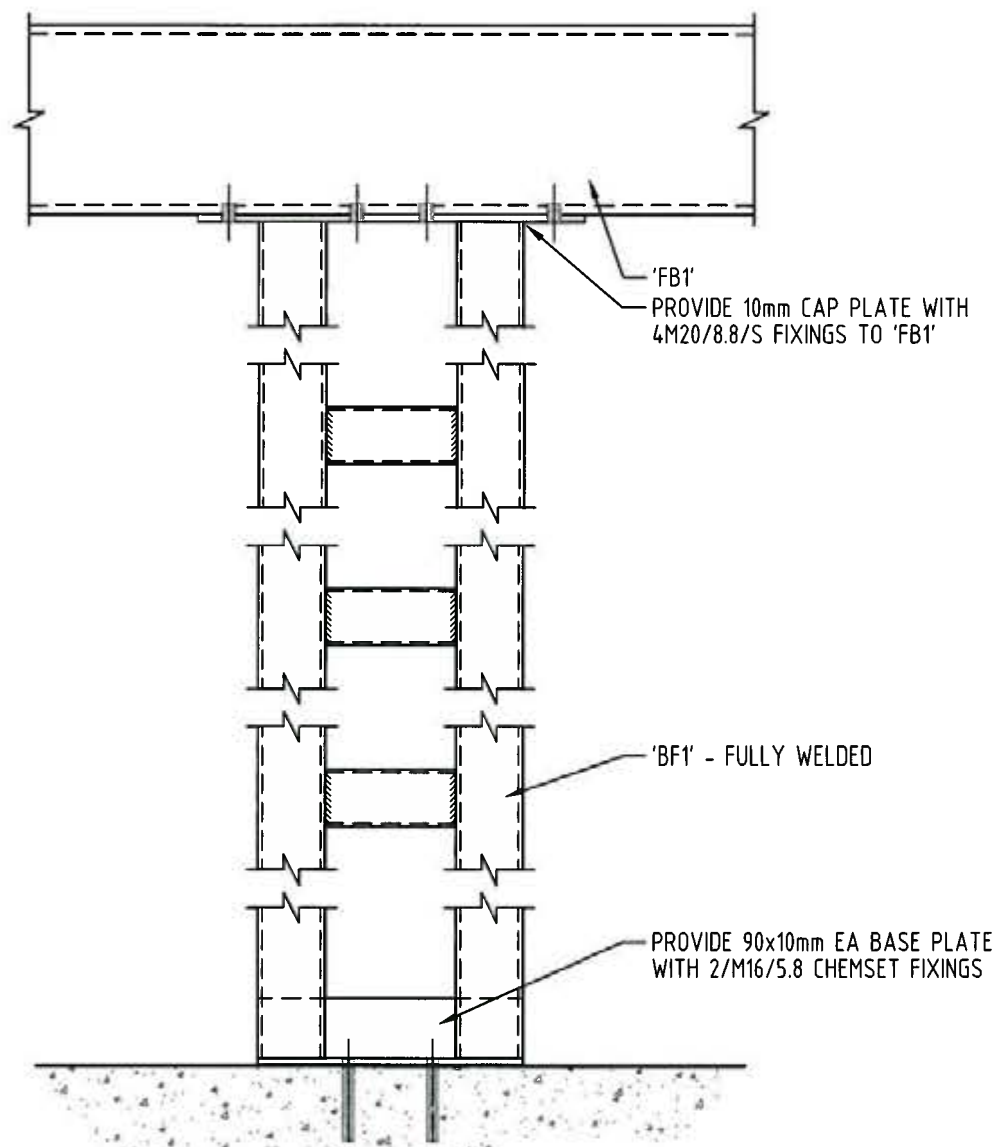
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JOB NO.
150242

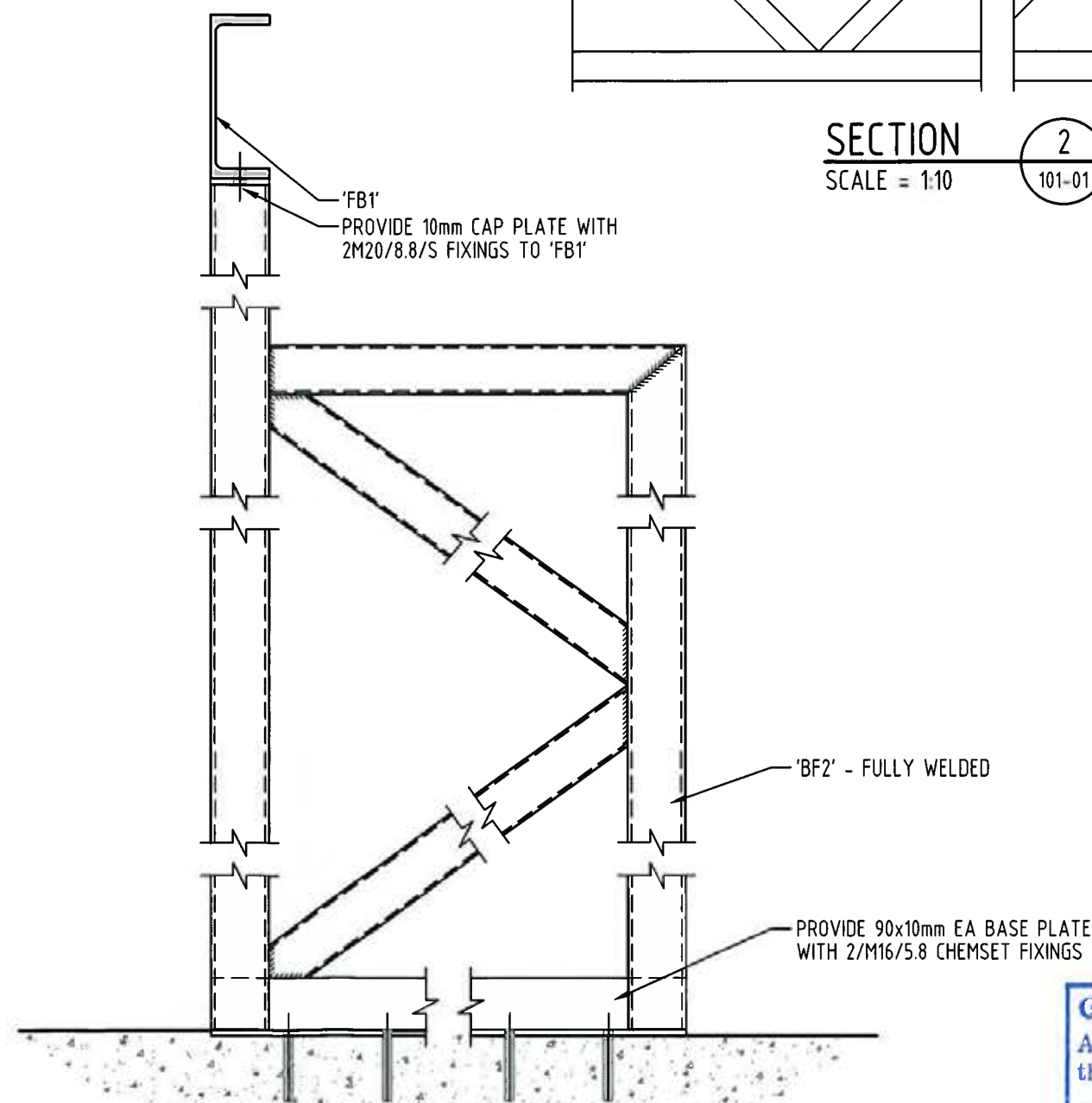
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S100-11

FOR CONSTRUCTION
ISSUE AMEND DESCRIPTION

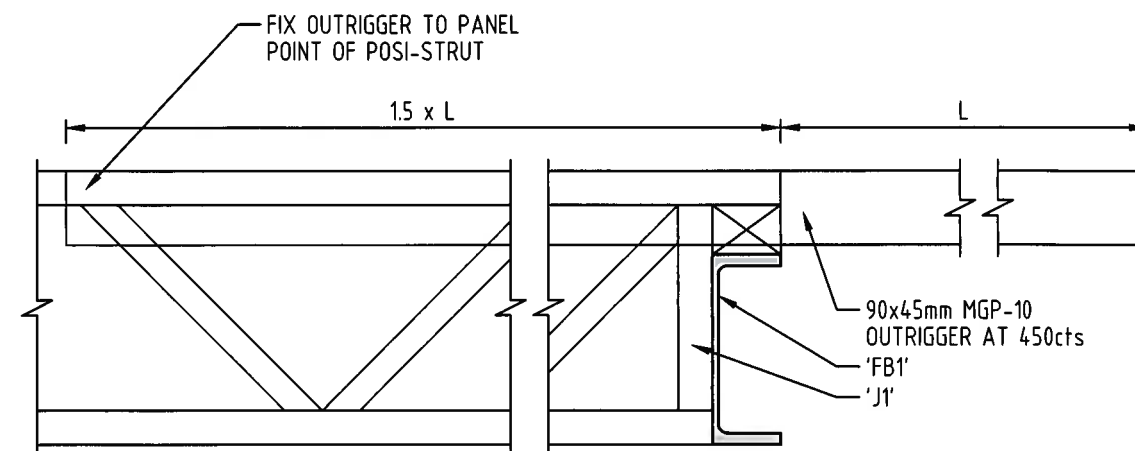
29.01.2016 KMc
DATE DRAWN



SECTION 1
SCALE = 1:10



SECTION 3
SCALE = 1:10



SECTION 2
SCALE = 1:10

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7 of 13
f. Chambers

ISSUE	AMEND	DESCRIPTION	DATE	DRAWN
C	-	RE-ISSUED FOR CONSTRUCTION	29.01.2016	KMc
B.1	-	MINOR AMENDMENTS	07.12.2015	KMc
B	-	FOR CONSTRUCTION	01.10.2015	KMc
A	-	FOR COORDINATION	04.06.2015	KMc



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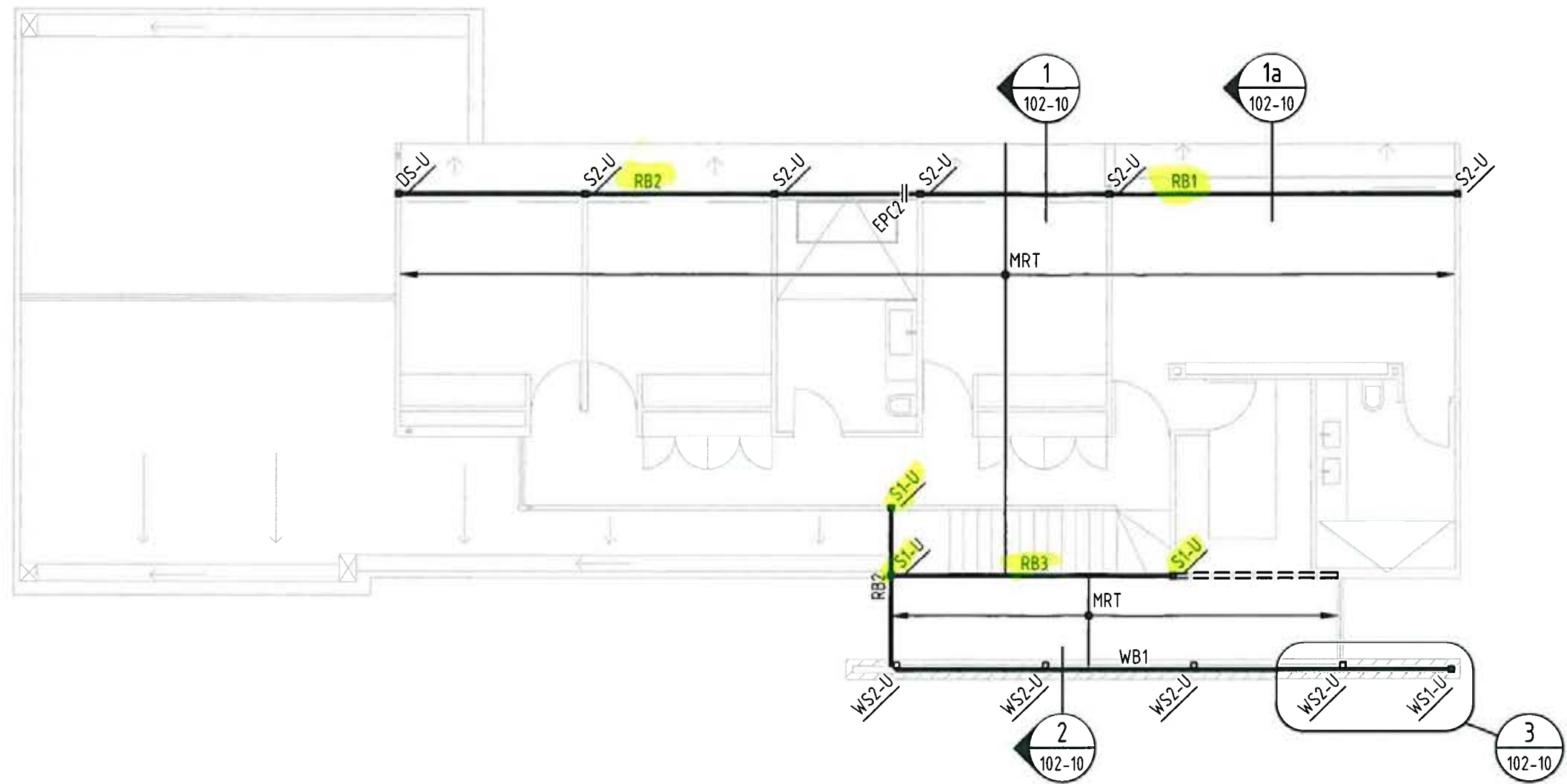
DRAWING TITLE
LEVEL ONE DETAILS

PROJECT LOCATION
**BLOCK 4 SECTION 72
NARRABUNDAH ACT**

SCALE
AS SHOWN AT A3

JOB NO.
150242

DRAWING NO.
S101-10



MEMBER SCHEDULE			
MARK	TYPE	SIZE	REMARKS
BF1	BRACING FRAME	FABRICATED FROM 89x5.0mm SHS V. + 75x4.0mm SHS H.	PROVIDE 90x10mm EA BASE PLATE WITH RAMSET CHEMSET RE0502 WITH 2/M16/5.8 (100mm ANCHOR DEPTH MIN) PROVIDE 10mm CAP PLATE WITH 2M20/8.8/S FIXINGS TO 'FB1' OVER
BF2	BRACING FRAME	FABRICATED FROM 89x6.0mm SHS V. + 75x4.0mm SHS H.+D.	PROVIDE 90x10mm EA BASE PLATE WITH RAMSET CHEMSET RE0502 WITH 4/M16/5.8 (100mm ANCHOR DEPTH MIN)
S1	STANCHION	89x3.2mm SHS	PROVIDE 90x10mm BASE PLATE WITH RAMSET CHEMSET RE0502 WITH 2/M16/5.8 (125mm ANCHOR DEPTH MIN)
S2	STANCHION	89x6.0mm SHS	FULLY WELDED TO 'FB1' UNDER
S3	STANCHION	75x4.0mm SHS	PROVIDE 90x10mm BASE PLATE WITH RAMSET CHEMSET RE0502 WITH 2/M16/5.8 (125mm ANCHOR DEPTH MIN)
WS1	WALL STANCHION	125x6.0mm SHS	PROVIDE 250sq.x10mm BASE PLATE WITH RAMSET CHEMSET RE0502 WITH 4/M16/5.8 (100mm ANCHOR DEPTH MIN)
WS2	WALL STANCHION	100x6.0mm SHS	PROVIDE 250x100x10mm BASE PLATE WITH RAMSET CHEMSET RE0502 WITH 2/M16/5.8 (100mm ANCHOR DEPTH MIN)
EPC1	END PLATE CONNECTION	10mm END PLATE	PROVIDE 3M20/8.8/S FIXINGS
EPC2	END PLATE CONNECTION	10mm END PLATE	PROVIDE 2M20/8.8/S FIXINGS
FB1	FLOOR BEAM	250PFC	
FB2	FLOOR BEAM	200PFC	
J1	TIMBER JOISTS	360mm DEEP MIN	JOISTS AT 450cts TO MANUFACTURERS SPECIFICATIONS PROVIDE 2x90x45mm MGP-10 OUTRIGGERS AT 400cts AS SHOWN
MRT	MANUFACTURED ROOF TRUSSES	ASSUMED	ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS - PITCH TO BE CONFIRMED
RB1	ROOF BEAM	150UC23	
RB2	ROOF BEAM	150PFC	
RB3	ROOF BEAM	200PFC	
T1	TIMBER BEAM	360x45mm LVL	
TL1	TIMBER LINTEL	150x63mm LVL	
WB1	WALL BEAM	100x6.0mm SHS	
TS	TRIPLE STUD	3x90x45 MGP-10	PROVIDE 2 ROWS OF NOGGINS
DS	DOUBLE STUD	2x90x45 MGP-10	PROVIDE 2 ROWS OF NOGGINS
S/W	STITCH WELD	DENOTES MEMBERS TO BE STITCH WELDED 150mm EACH END, MISS 150mm AND HIT 75mm THERE AFTER, U.N.O	

GENERAL ARRANGEMENT LEGEND

SCALE 1:100

: INDICATES COLUMN UNDER AND OVER

: INDICATES COLUMN UNDER

: INDICATES LOADBEARING WALL UNDER

: INDICATES DIRECTION OF TIMBER TRUSSES

NOTES:

REFER TO ARCHITECTS DRAWINGS FOR LOCATION & SETOUT OF ALL SLAB EDGES, COLUMNS, WALLS, HOBS, SETDOWNS ETC.

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ISSUE	AMEND	DESCRIPTION	DATE	DRAWN
D	-	AS CONSTRUCTED	28.09.2016	KMc
C	-	RE-ISSUED FOR CONSTRUCTION	29.01.2016	KMc
B	-	FOR CONSTRUCTION	07.12.2015	KMc
A	-	FOR COORDINATION	04.06.2015	KMc

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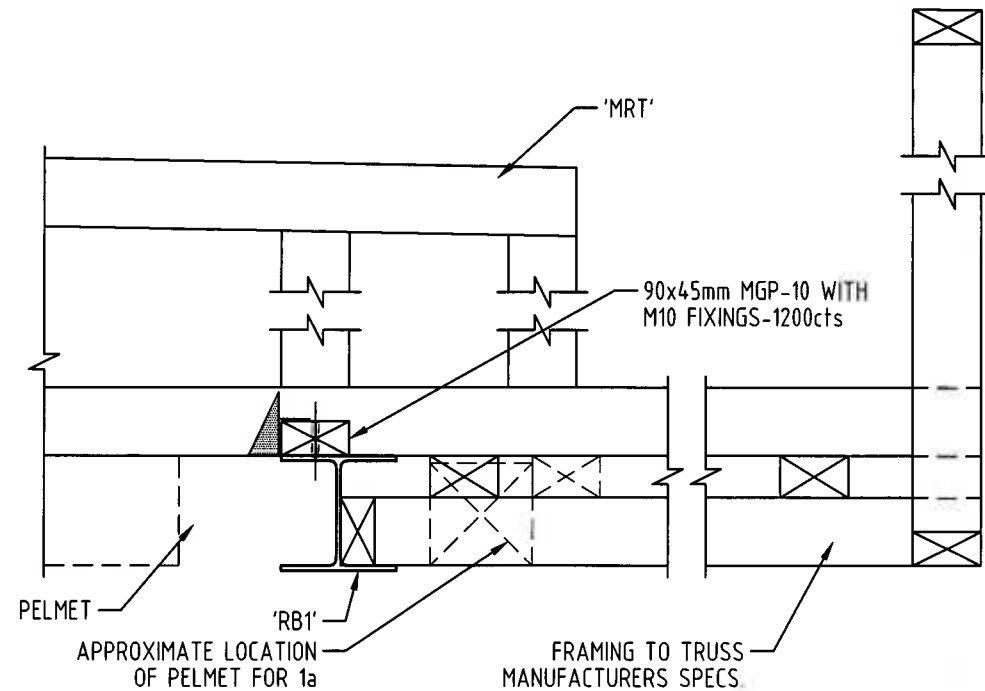
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DRAWING TITLE
ROOF MARKING PLAN

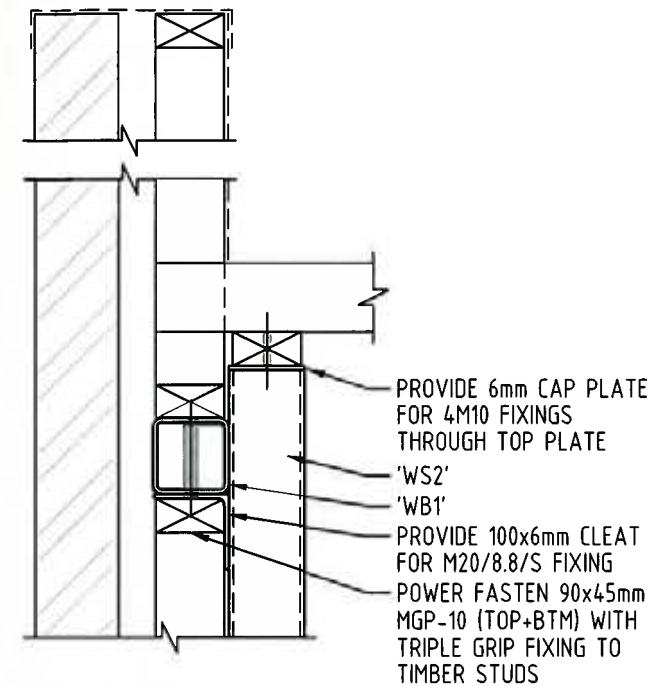
PROJECT LOCATION
BLOCK 4 SECTION 72
NARRABUNDAH ACT

SCALE
AS SHOWN AT A3

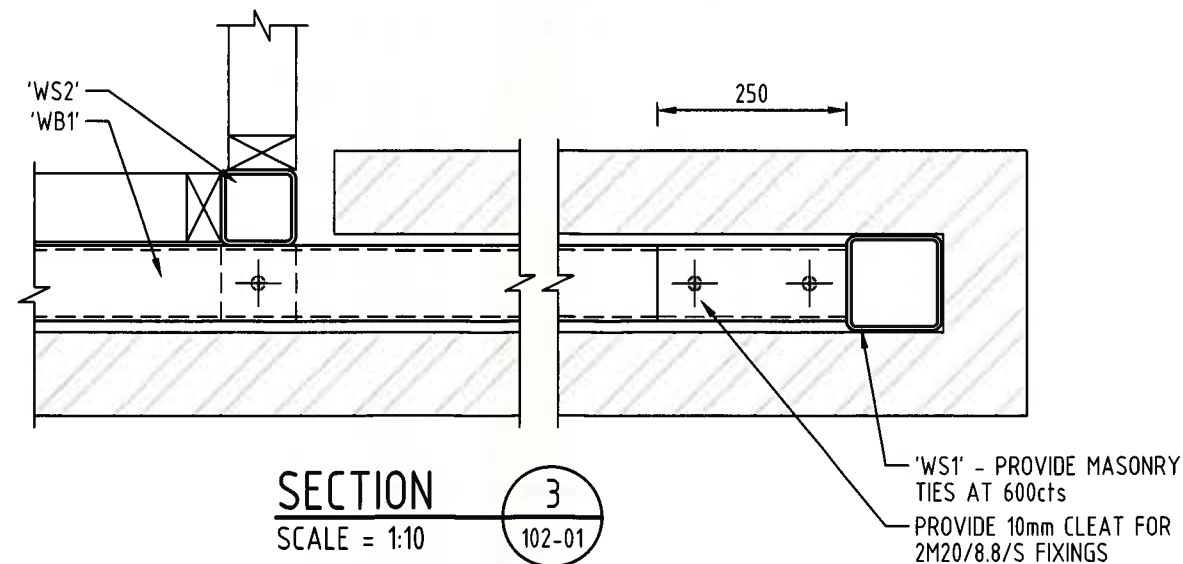
JOB NO.
150242
DRAWING NO.
S102-01



SECTION 1
SCALE = 1:10
NOTE: 1a DETAIL SIMILAR



SECTION 2
SCALE = 1:10



SECTION 3
SCALE = 1:10

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9 of 13
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ISSUE	AMEND	DESCRIPTION	DATE	DRAWN
B	-	RE-ISSUED FOR CONSTRUCTION	29.01.2016	KMc
A	-	FOR CONSTRUCTION	07.12.2015	KMc



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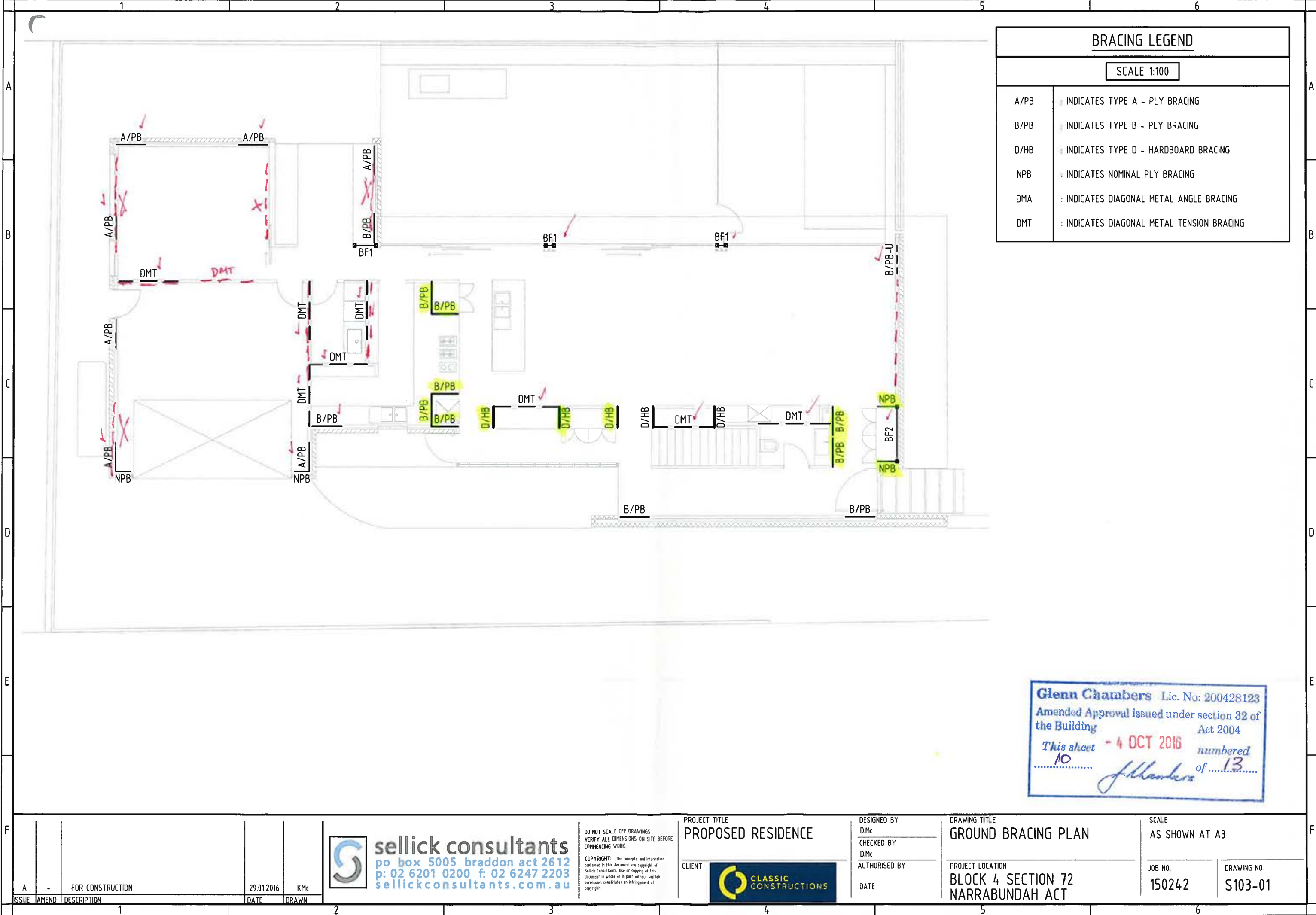
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ROOF DETAILS

PROJECT LOCATION
**BLOCK 4 SECTION 72
NARRABUNDAH ACT**

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AS SHOWN AT A3

JOB NO
150242

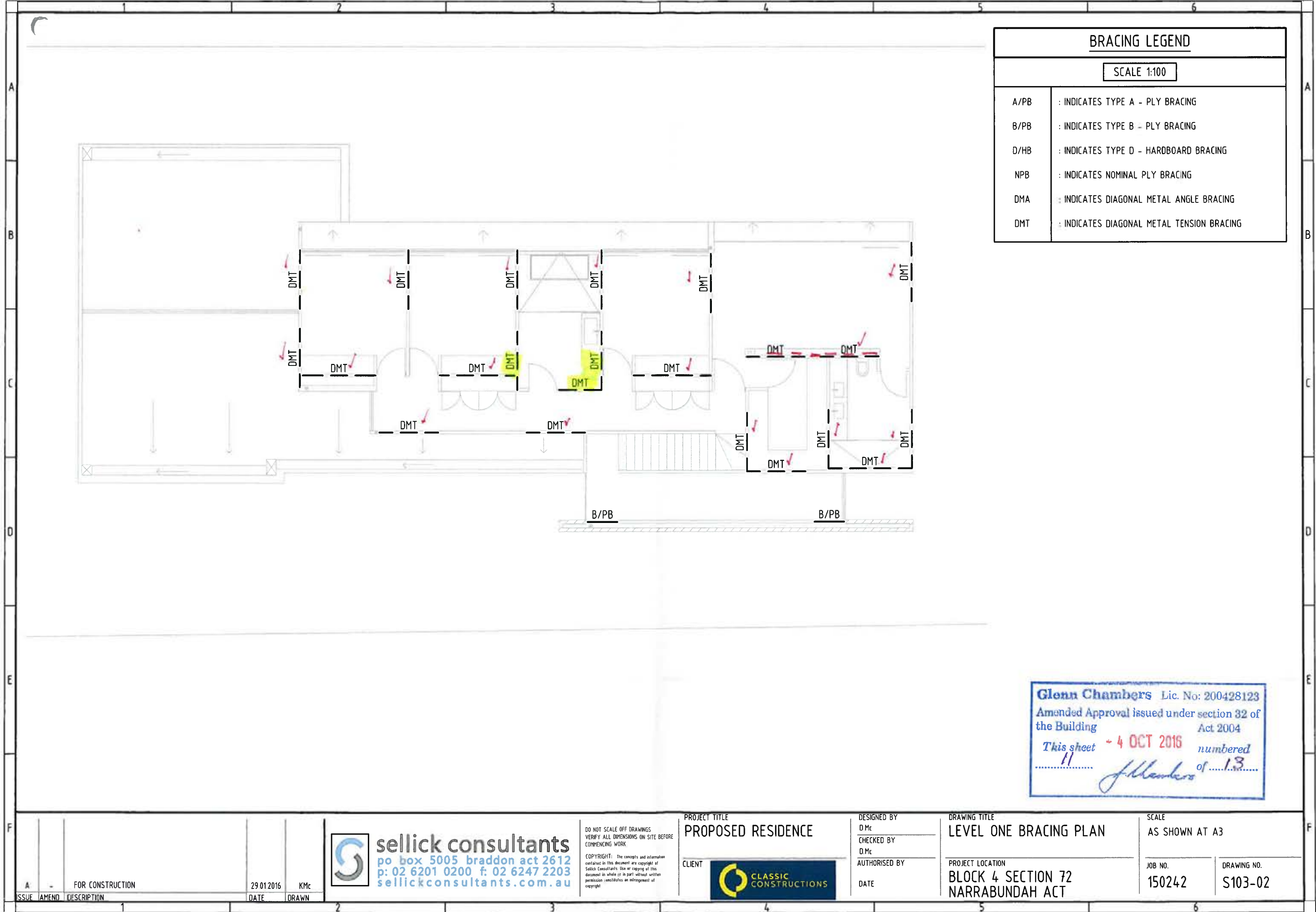
DRAWING NO.
S102-10



BRACING LEGEND	
SCALE 1:100	
A/PB	INDICATES TYPE A - PLY BRACING
B/PB	INDICATES TYPE B - PLY BRACING
D/HB	INDICATES TYPE D - HARDBOARD BRACING
NPB	INDICATES NOMINAL PLY BRACING
DMA	INDICATES DIAGONAL METAL ANGLE BRACING
DMT	INDICATES DIAGONAL METAL TENSION BRACING

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ISSUE	AMEND	DESCRIPTION	DATE	DRAWN		CLIENT 	CHECKED BY D.Mc	AUTHORISED BY		JOB NO. 150242	DRAWING NO. S103-01
A	-							DATE	PROJECT LOCATION BLOCK 4 SECTION 72 NARRABUNDAH ACT		



BRACING LEGEND	
SCALE 1:100	
A/PB	: INDICATES TYPE A - PLY BRACING
B/PB	: INDICATES TYPE B - PLY BRACING
D/HB	: INDICATES TYPE D - HARDBOARD BRACING
NPB	: INDICATES NOMINAL PLY BRACING
DMA	: INDICATES DIAGONAL METAL ANGLE BRACING
DMT	: INDICATES DIAGONAL METAL TENSION BRACING

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1		FOR CONSTRUCTION	29 01 2016	KMc



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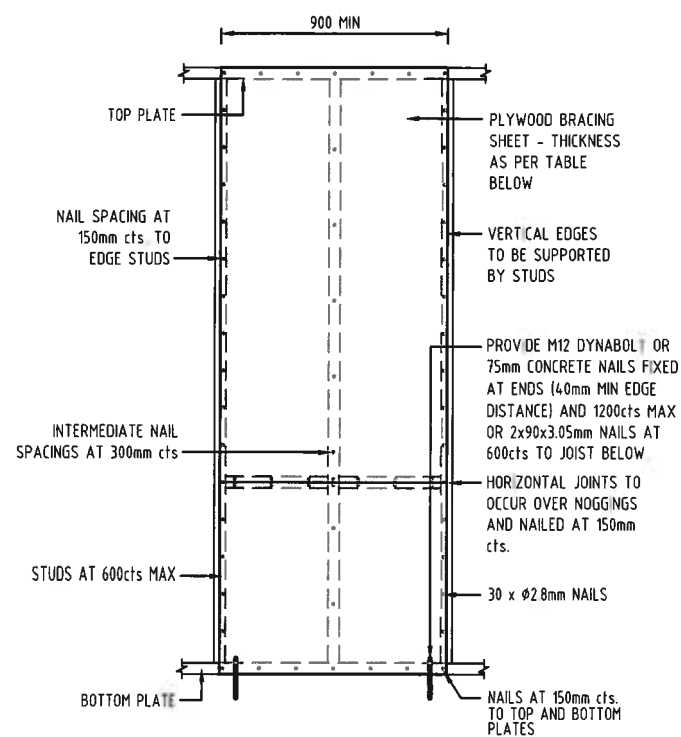
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LEVEL ONE BRACING PLAN

PROJECT LOCATION
**BLOCK 4 SECTION 72
NARRABUNDAH ACT**

SCALE
AS SHOWN AT A3

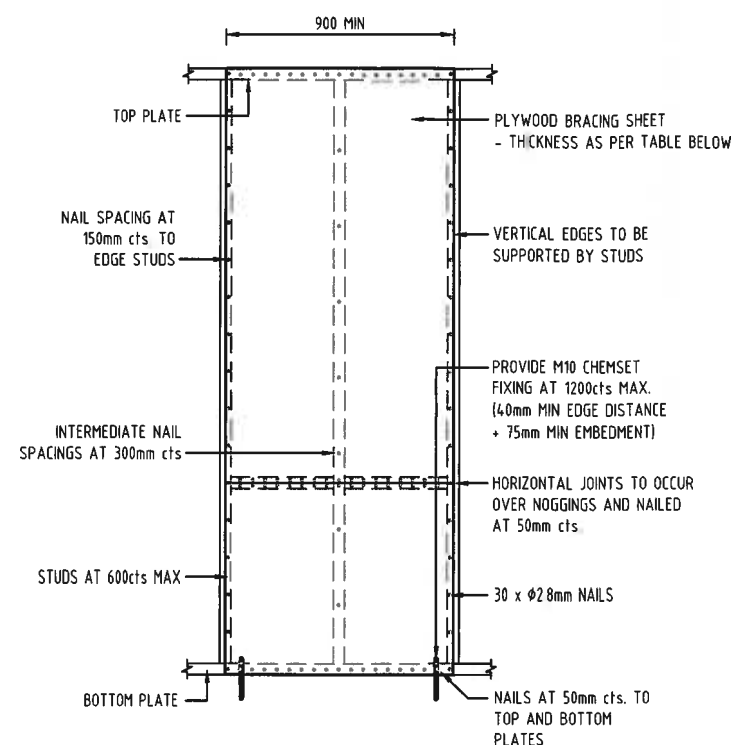
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DRAWING NO.
S103-02



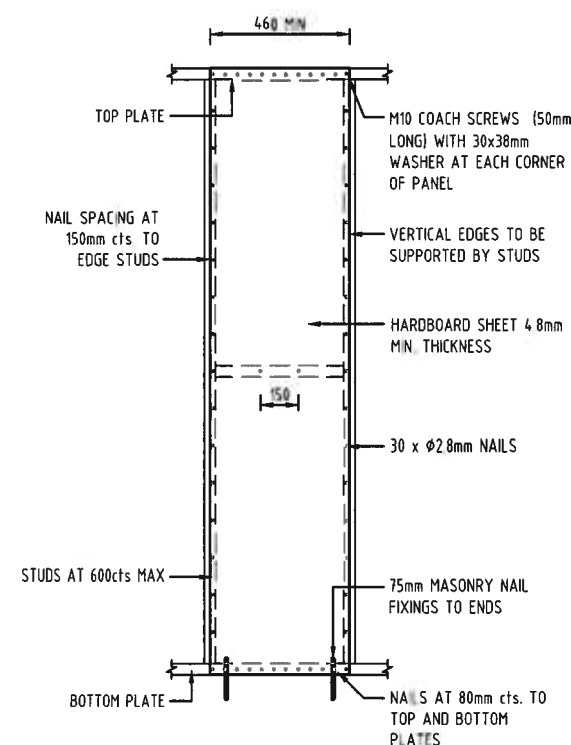
TYPE A - PLY BRACING (A/PB)
NOT TO SCALE 3.4kN/m

1. PLYWOOD SHALL BE NAILED TO FRAME USING MINIMUM 30 x 28mm GALVANISED FLAT-HEAD NAILS OR EQUIVALENT.
2. HORIZONTAL BUTT JOINTS PERMITTED, PROVIDED NAIL FIXING TO NOGGINGS AT 50mm cts.



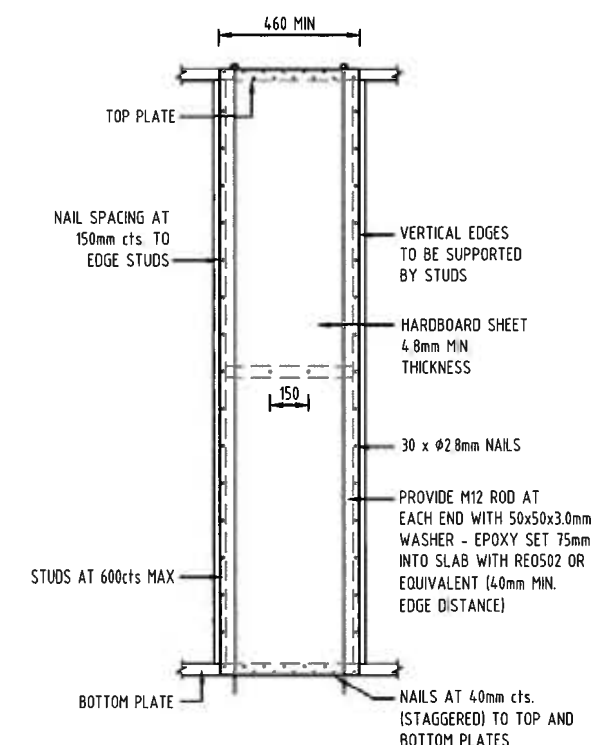
TYPE B - PLY BRACING (B/PB)
NOT TO SCALE 6.0kN/m

1. PLYWOOD SHALL BE NAILED TO FRAME USING MINIMUM 30 x 28mm GALVANISED FLAT-HEAD NAILS OR EQUIVALENT.
2. HORIZONTAL BUTT JOINTS PERMITTED, PROVIDED NAIL FIXING TO NOGGINGS AT 50mm cts.



TYPE D - HARDBOARD BRACING (D/HB)
NOT TO SCALE 3.4kN/m

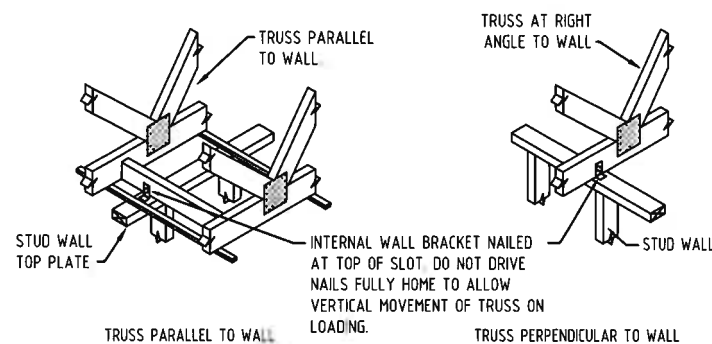
1. HARDBOARD SHALL COMPLY WITH AS/NZS 1859.4
2. HARDBOARD SHALL BE NAILED TO FRAME USING MINIMUM 30 x 28mm GALVANISED FLAT-HEAD NAILS OR EQUIVALENT.
3. NAILS SHALL BE LOCATED A MIN OF 10mm FROM THE VERTICAL EDGES AND 15mm FROM THE TOP AND BOTTOM EDGES (600mm MAX STUD SPACING)
4. AT LEAST ONE SIDE OF THE BRACING WALL SHALL BE LINED WITH GYPSUM PLASTER BOARD OR EQUIVALENT.



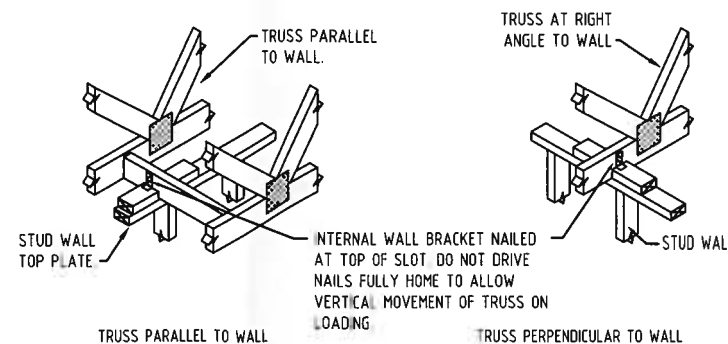
TYPE E - HARDBOARD BRACING (E/HB)
NOT TO SCALE 6.0kN/m

1. HARDBOARD SHALL COMPLY WITH AS/NZS 1859.4
2. HARDBOARD SHALL BE NAILED TO FRAME USING MINIMUM 30 x 28mm GALVANISED FLAT-HEAD NAILS OR EQUIVALENT.
3. NAILS SHALL BE LOCATED A MIN OF 10mm FROM THE VERTICAL EDGES AND 15mm FROM THE TOP AND BOTTOM EDGES (600mm MAX STUD SPACING)
4. AT LEAST ONE SIDE OF THE BRACING WALL SHALL BE LINED WITH GYPSUM PLASTER BOARD OR EQUIVALENT.

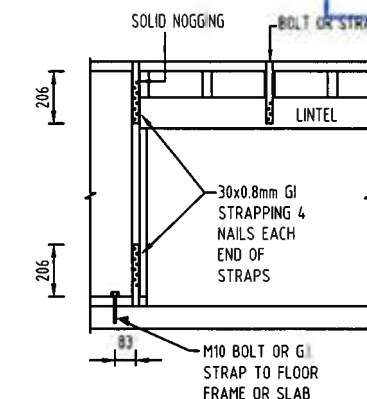
MINIMUM PLYWOOD THICKNESS		
STRESS GRADE	450mm STUD SPACING	600mm STUD SPACING
F8	7mm	9mm
F11	6mm	7mm



FIXING OF TRUSSES TO A NON-LOAD BEARING WALL WHICH IS NOT A BRACING WALL



FIXING OF TRUSSES TO A NON-LOAD BEARING WALL WHICH IS A BRACING WALL



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BRACING DETAILS

PROJECT LOCATION
**BLOCK 4 SECTION 72
NARRABUNDAH ACT**

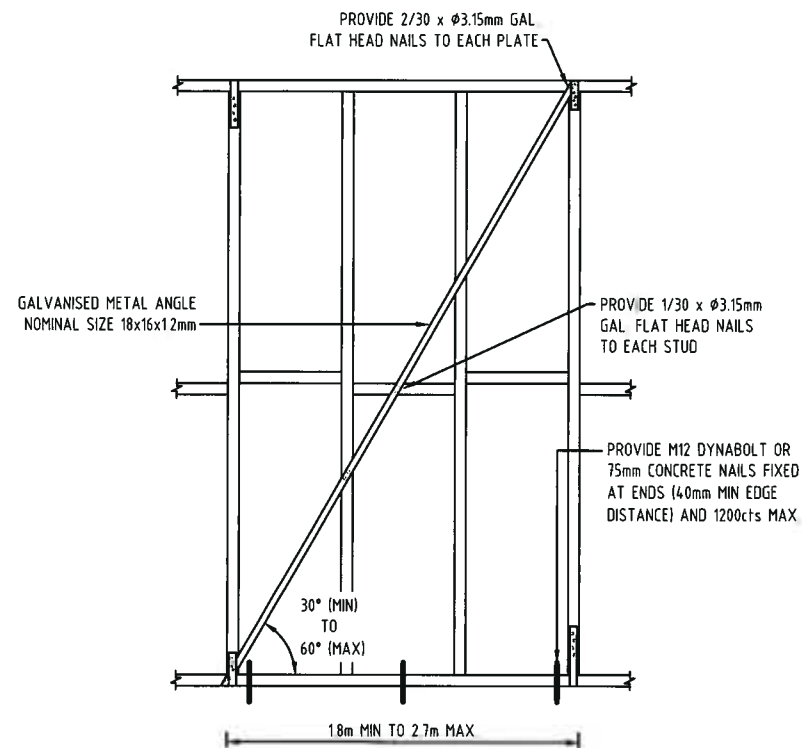
SCALE
AS SHOWN AT A3

JOB NO.
150242

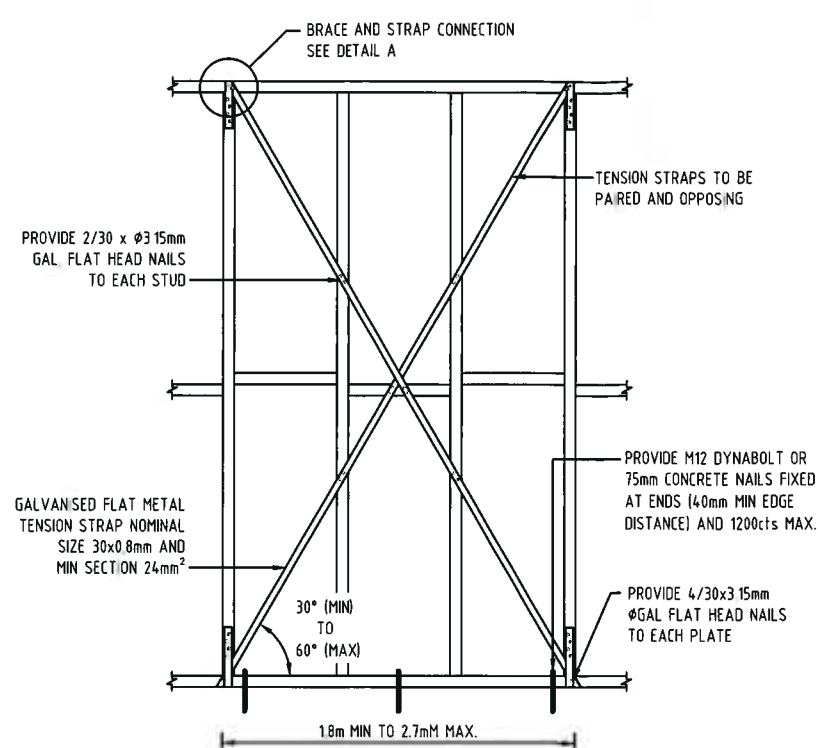
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S103-10

A - FOR CONSTRUCTION
ISSUE AMEND DESCRIPTION

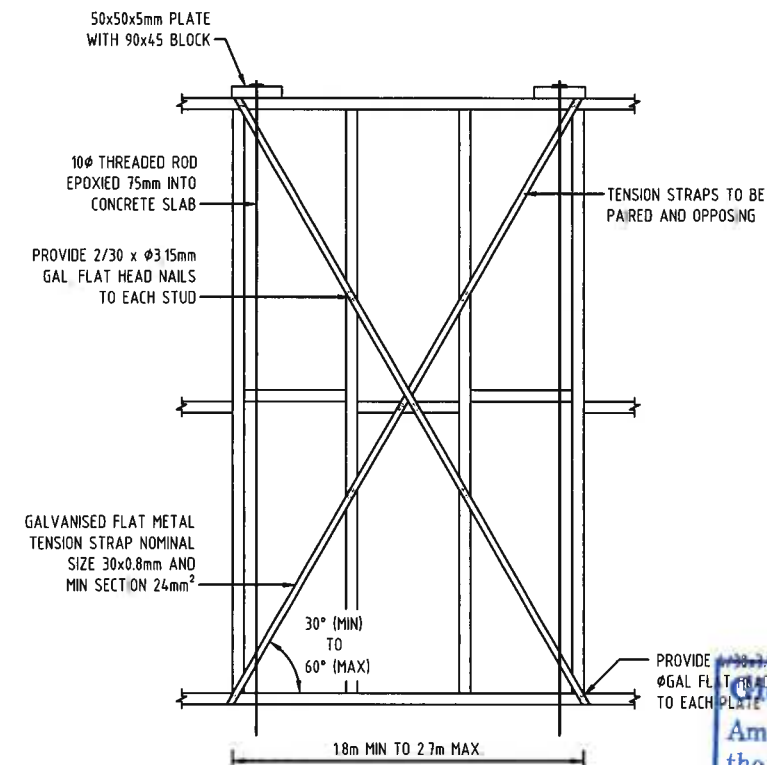
29.06.2016 KMc
DATE DRAWN



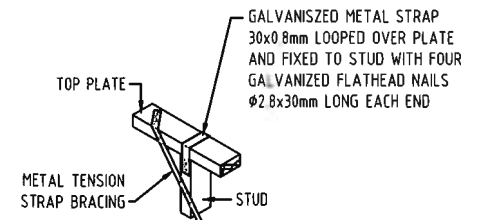
DIAGONAL METAL ANGLE (DMA)
NOT TO SCALE 0.8kN/m



DIAGONAL METAL TENSION STRAP BRACING UNITS (DMT)
NOT TO SCALE 3.0kN/m



DIAGONAL METAL TENSION STRAP BRACING UNITS (ALTERNATE) (DMT)
NOT TO SCALE 3.0kN/m



DETAIL A
NOT TO SCALE

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NOMINAL FIXINGS FOR TIMBER MEMBERS	
FLOOR FRAMING	MINIMUM FIXING FOR EACH JOINT
BEARING TO TIMBER STUMP/POST	5/75x3.06mm MACHINE-DRIVEN NAILS OR 4/75x3.75mm PLUS 1/30x0.8mm GI STRAP OVER BEARER AND FIXED BOTH ENDS TO STUMP WITH 4/Ø2.8mm EACH END; OR ONE M10 BOLT THROUGH BEARER HALVED TO STUMP; OR ONE M12 CRANKED BOLT FIXED VERTICALLY THROUGH BEARER AND BOLTED TO STUMP PLUS 5/75x3.06mm MACHINE-DRIVEN NAILS OR 4/75x3.75mm NAILS
BEARER TO MASONRY COLUMN/WALL/PIER (EXCLUDING MASONRY VENEER CONSTRUCTION)	ONE M10 BOLT OR 1/50x4mm MILD STEEL BAR FIXED TO BEARER WITH M10 BOLT AND CAST INTO MASONRY (TO FOOTING)
BEARER TO CONCRETE STUMP/POST	1/Ø6mm ROD CAST INTO STUMP VERTICALLY THROUGH BEARER AND BENT OVER
BEARER TO STEEL POST	1/M10 COACH SCREW OR BOLT
FLOOR JOISTS TO BEARER	2/75x3.06mm MACHINE-DRIVEN NAILS

NOMINAL FIXINGS FOR TIMBER MEMBERS	
WALL FRAMING	MINIMUM FIXING FOR EACH JOINT
PLATES TO STUDS	PLATES UP TO 38mm THICK - 2/75mm NAILS THROUGH PLATE PLATES 38-50mm THICK - 2/90mm NAILS THROUGH PLATE OR 2/75mm NAILS SKEWED THROUGH STUD INTO PLATE
NOGGINS TO STUDS	2/75mm NAILS SKEWED OR THROUGH NAILED
TIMBER BRACES TO STUDS OR PLATES	2/50x2.87mm MACHINE-DRIVEN NAILS AT EACH JOINT
BOTTOM PLATES TO JOISTS	PLATES UP TO 38mm THICK - 2/75mm NAILS (2000mm cts MAX) PLATES 38-50mm THICK - 2/90mm NAILS (2000mm cts MAX)
BOTTOM PLATES TO CONCRETE SLAB	1/75mm MASONRY NAIL (HAND-DRIVEN NO CLOSER THAN 70mm TO EDGE OF SLAB) AT 2000mm cts MAX. ALTERNATIVELY, USE SCREW OR BOLT
MULTIPLE STUDS	1/75mm NAIL AT 600mm cts MAX
POSTS TO BEARERS TO JOISTS	1/M12 OR 2/M10 BOLTS (UNLESS NOTED OTHERWISE)

NOMINAL FIXINGS FOR TIMBER MEMBERS	
ROOF FRAMING	MINIMUM FIXING FOR EACH JOINT
ROOF TRUSSES TO TOP PLATES	TO MANUFACTURERS SPECIFICATIONS; OR ONE FRAMING ANCHOR WITH 3 NAILS TO EACH LEG; OR 1/30x0.8mm GI STRAP OVER TRUSS WITH STRAP ENDS FIXED TO PLATE WITH 3/Ø2.8mm NAILS + 2/75mm SKEW NAILS
RAFTERS TO TOP PLATES	2/75mm SKEW NAILS + WHERE ADJOINING A CEILING JOIST 38mm THICK - 1/75mm NAIL 50mm THICK - 1/90mm NAIL, FIXING JOIST TO RAFTER
CEILING JOISTS TO TOP PLATES	2/75mm SKEW NAILS
COLLAR TIES TO RAFTERS	3/75x3.06mm MACHINE-DRIVEN FOR TIES UP TO 4.2m LONG 1/M10 BOLT FOR TIES OVER 4.2m LONG
VERANDA BEAMS AND ROOF BEAMS TO POST	1/M12 OR 2/M10 BOLTS (UNLESS NOTED OTHERWISE BY MANUFACTURER FOR TIE-DOWN)

A	-	FOR CONSTRUCTION	29.01.2016	KMc
ISSUE	AMEND	DESCRIPTION	DATE	DRAWN
1				



sellick consultants
po box 5005 braddon act 2612
p: 02 6201 0200 f: 02 6247 2203
sellickconsultants.com.au

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VERIFY ALL DIMENSIONS ON SITE BEFORE
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PROJECT TITLE
PROPOSED RESIDENCE

CLIENT



DESIGNED BY
D.Mc
CHECKED BY
D.Mc
AUTHORISED BY
DATE

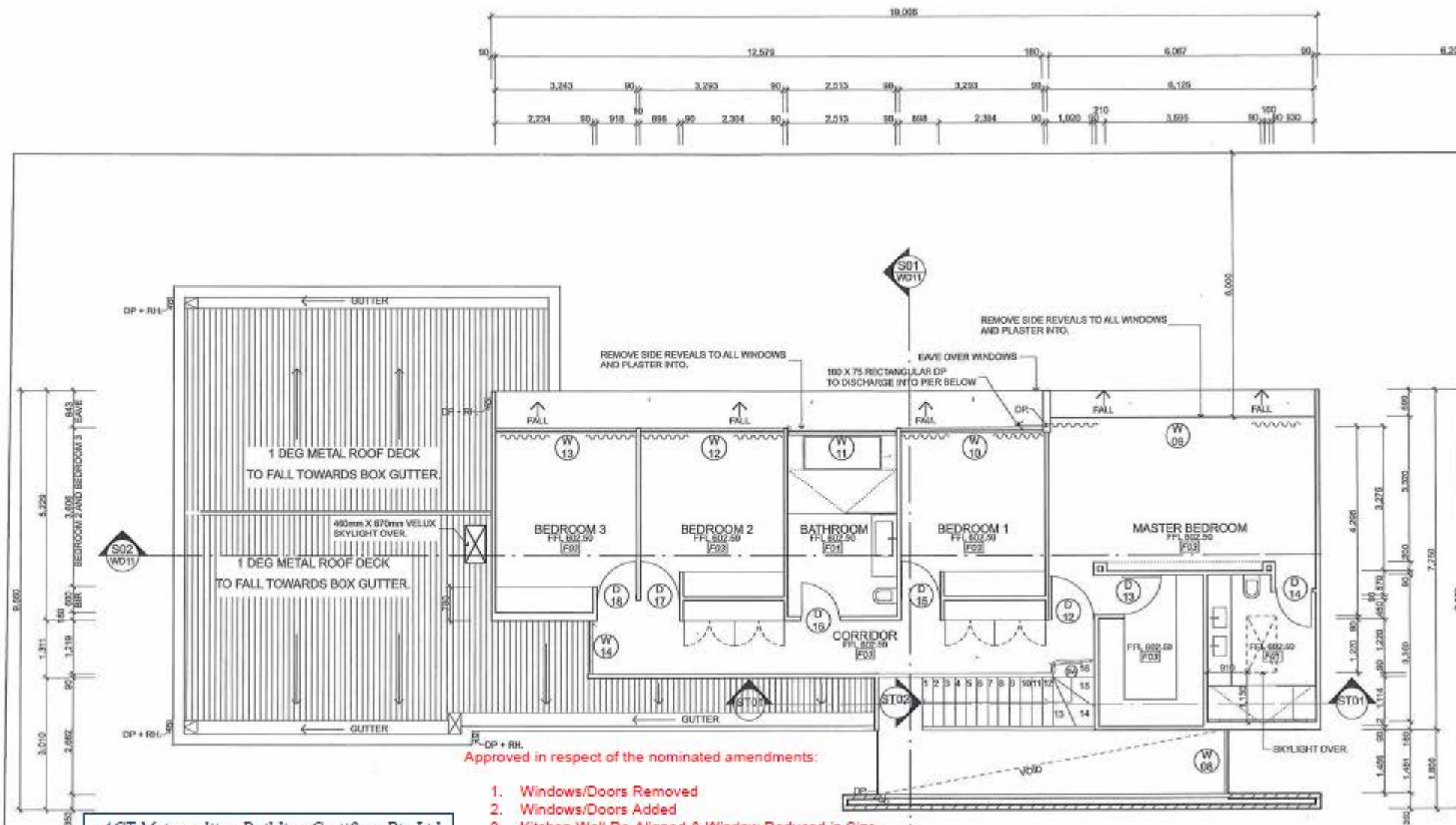
DRAWING TITLE
BRACING DETAILS

PROJECT LOCATION
**BLOCK 4 SECTION 72
NARRABUNDAH ACT**

SCALE
AS SHOWN AT A3

JOB NO.
150242

DRAWING NO.
S103-11



Approved in respect of the nominated amendments:

1. Windows/Doors Removed
2. Windows/Doors Added
3. Kitchen Wall Re-Aligned & Window Reduced in Size
Complies with Section 1.21 & 1.21A (External Doors & Windows Low & High Impact) of Schedule 1A of the Planning and Development Regulation 2008

4. Sliding Door Added
Complies with Section 1.100 of Schedule 1 of the Planning and Development Regulation 2008

ACT Metropolitan Building Certifiers Pty Ltd
DA-Exempt Amended Approval:

Building Approval, or part thereof, issued under Section 32 of the Building Act 2004

Class of Occupancy: 1a(i) & 10a

Type of Construction: N / A

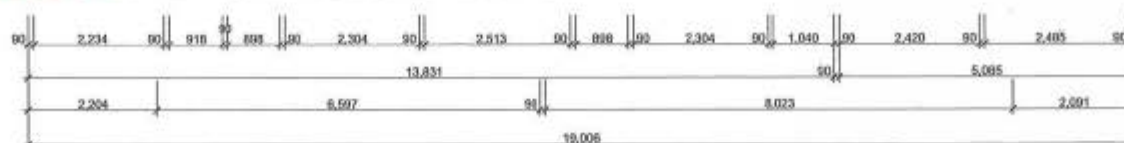
Project No: 15/0214 Licence No: 200428123

Signature: *[Signature]* Date: 1/05/2018

This set of plans contains: 4 Sheets, No 1 to 4



FIRST FLOOR PLAN
SCALE 1:100



NOTES:
All work to be done in accordance with the Building Act 2004 and the Building Regulations 2008.
The drawings are to be used for the purpose of obtaining a Building Approval only.
The drawings are not to be used for any other purpose without the written consent of the Building Certifier.
The drawings are not to be used for any other purpose without the written consent of the Building Certifier.

DRAWING LEGEND

Revision	Description	Date
A	ISSUED FOR TENDERS	15/05/18
B	ISSUED FOR TENDERS	15/05/18
C	ISSUED FOR TENDERS	15/05/18
D	ISSUED FOR TENDERS	15/05/18
E	ISSUED FOR TENDERS	15/05/18
F	ISSUED FOR TENDERS	15/05/18
G	ISSUED FOR TENDERS	15/05/18
H	ISSUED FOR TENDERS	15/05/18

AREAS

SITE AREA - 854.52m²
GROUND FLOOR AREA - 171.76m²
GARAGE AREA - 41.26m²
FIRST FLOOR AREA - 113.11m²
TOTAL 326.13m²

WORKROOM DESIGN PTY LTD
1A YORK STREET
NARRABUNDAH NSW 2541
TELEPHONE 02 9417 0044
FACEBOOK 613 9059608

WORKROOM

Project Name: NARRABUNDAH RESIDENCE

Address: 104 CAPTAIN COOK CR.
LOT 4 SECTION 72 NARRABUNDAH

Client: CLASSIC CONSTRUCTION

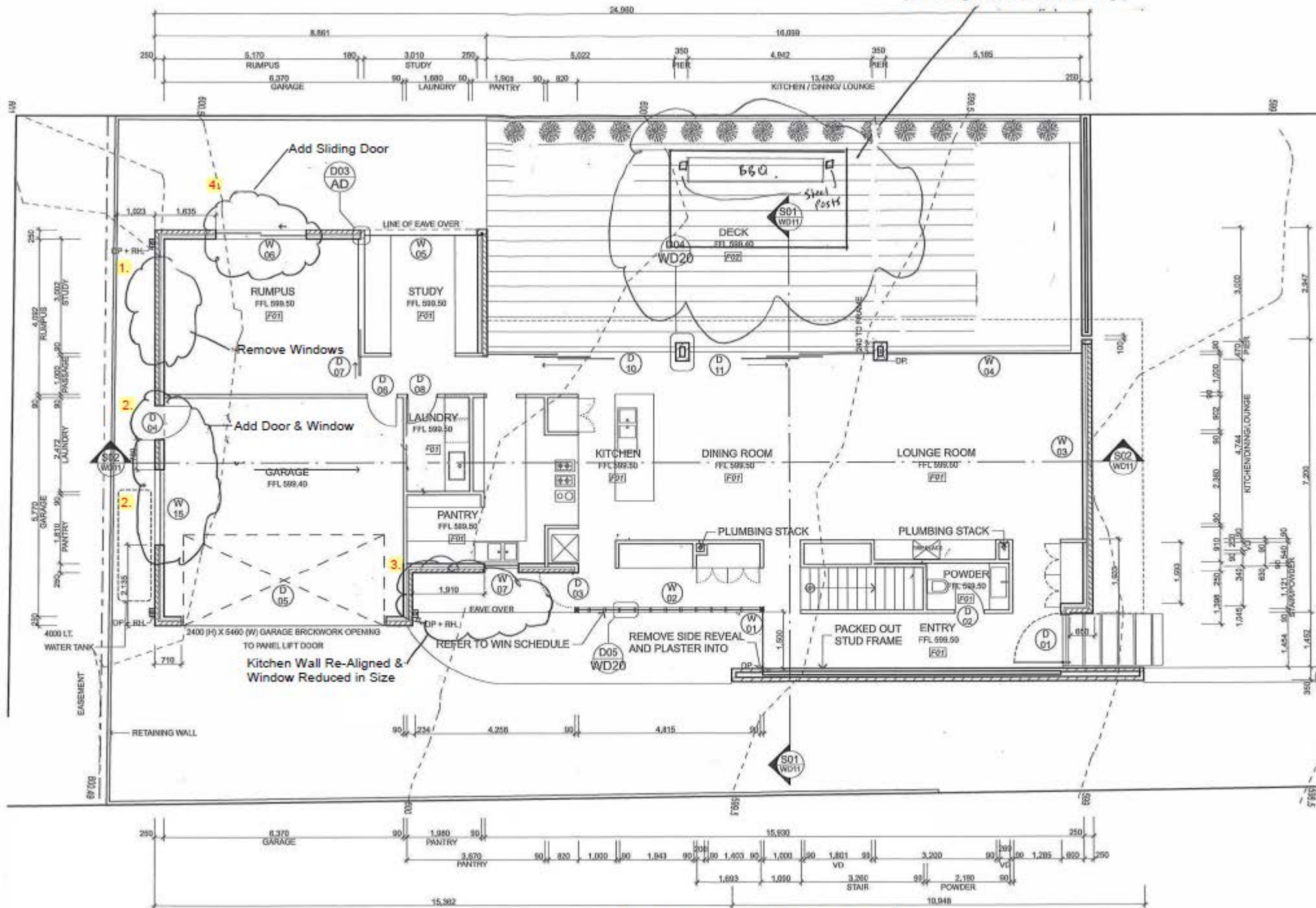
Drawing Title: FIRST FLOOR PLAN

Drawn By: CLM/M Scale: 1:100 @ A3

Project No: 1407 Drawing No.: WD05.04

FOR CONSTRUCTION

DA & BA Exempt Covered Awning
(4.650 long x 2.650 wide x 2.700 high)



NOTES:
1. All dimensions are to the center of the wall unless otherwise specified.
2. All dimensions are to the center of the wall unless otherwise specified.
3. All dimensions are to the center of the wall unless otherwise specified.
4. All dimensions are to the center of the wall unless otherwise specified.
5. All dimensions are to the center of the wall unless otherwise specified.
6. All dimensions are to the center of the wall unless otherwise specified.
7. All dimensions are to the center of the wall unless otherwise specified.
8. All dimensions are to the center of the wall unless otherwise specified.
9. All dimensions are to the center of the wall unless otherwise specified.
10. All dimensions are to the center of the wall unless otherwise specified.

REVISIONS

Rev	Description	Date
1	ISSUED FOR REVIEW	10/01/18
2	ISSUED FOR REVIEW	10/01/18
3	ISSUED FOR REVIEW	10/01/18
4	ISSUED FOR REVIEW	10/01/18
5	ISSUED FOR REVIEW	10/01/18
6	ISSUED FOR REVIEW	10/01/18
7	ISSUED FOR REVIEW	10/01/18
8	ISSUED FOR REVIEW	10/01/18
9	ISSUED FOR REVIEW	10/01/18
10	ISSUED FOR REVIEW	10/01/18

AREAS

Area	Area
SITE AREA	854.62m ²
GROUND FLOOR AREA	171.76m ²
GARAGE AREA	41.28m ²
FIRST FLOOR AREA	113.11m ²
TOTAL	326.13m ²

WORKROOM DESIGN PTY LTD
104 CAPTAIN COOK CR.
LOT 4 SECTION 72 NARRABUNDAH
CLASSIC CONSTRUCTION

Project Name:
NARRABUNDAH RESIDENCE

Address:
104 CAPTAIN COOK CR.
LOT 4 SECTION 72 NARRABUNDAH

Client:
CLASSIC CONSTRUCTION

Drawing Title:
GROUND FLOOR PLAN

Drawn By: DLN/DM Scale: 1:100 @ A3

Project No: M07 Drawing No: WD04/18

Glenn Chambers Lic. No: 200428123
Amended Building Approval issued under
Section 32 of the Building Act 2004.

This sheet 01/05/2018 numbered of

2 4

FOR CONSTRUCTION

PLAN OF SANITARY DRAINAGE

SCALE: 1 : 200

BLOCK: 4 SECTION 72

SUBURB: NARRABUNDAH

ADDRESS: 104 CAPTAIN COOK CR.

OWNER: CLASSIC CONST.

REFERENCE	FIXTURES
AAV Air Admittance Valve	1. Water Closet (3)
BT Bucket Trap	2. Bath (-)
CO Clear Out	3. Vanity Basin (4)
DT Disconnector Trap	4. Shower (2)
DCV Double Check Valve	5. Sink (3)
EJ Expansion Joint	6. Laundry Tub (1)
EV Educt Vent	7. Urinal (-)
FW Floor Waste	8. Cleaners Sink (-)
FH Fire Hydrant	9. Bidet (-)
GT Gully Trap	11. Dishwasher (-)
IC Inspection Chamber	13. Glasswasher (-)

TOTAL 13

S Inspection Shaft
JU Jump Up
MH Manhole
ORG Overflow Relief Gully
SC Stop Cock
SVP Soil Vent Pipe
TD Tundish
TTD Trapped Tundish
UPVC Unplasticised Polyvinyl Chloride
VP Vent Pipe
WM Water Meter

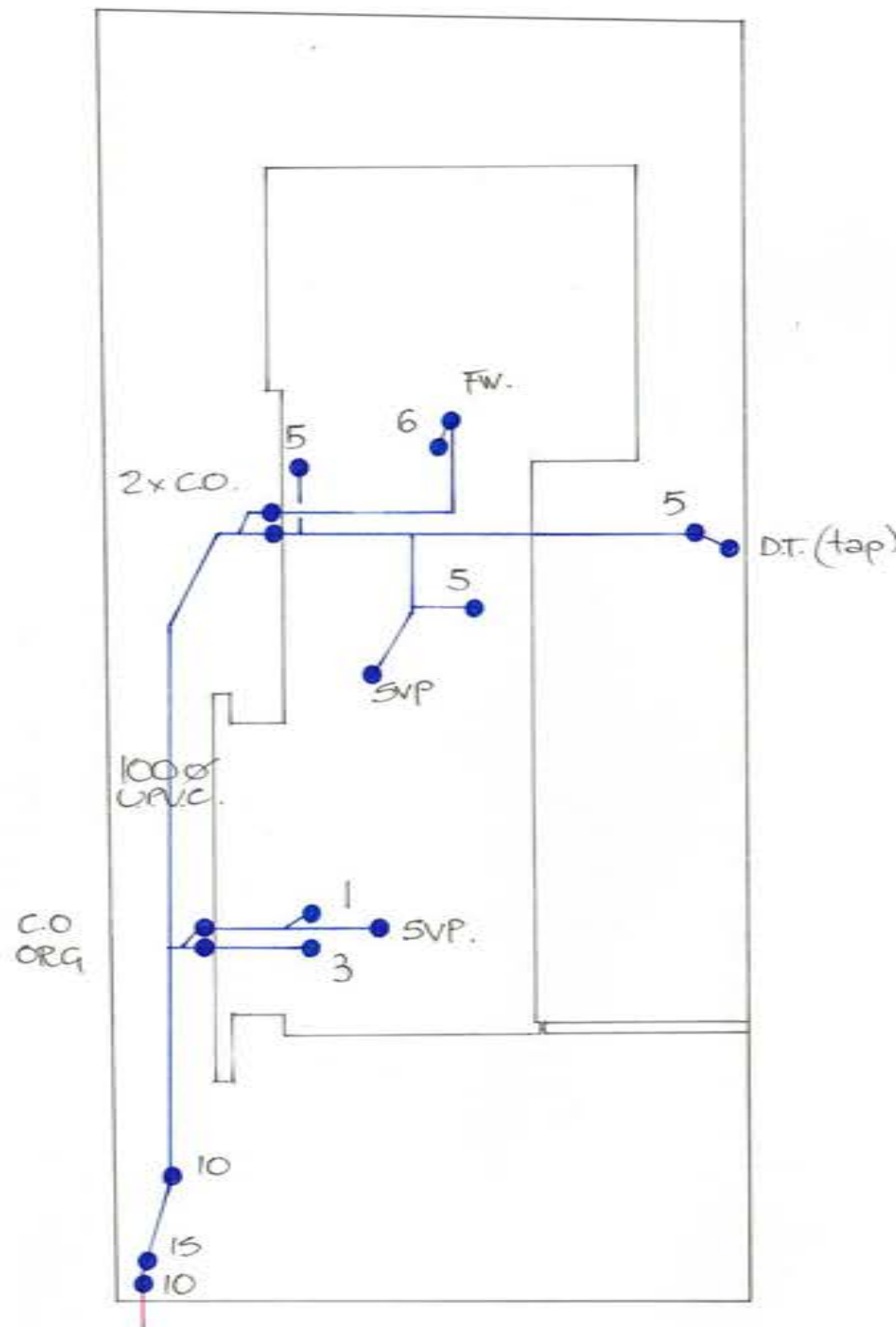
NOTES :

- Drains to be laid in BLUE lines.
- Existing drains shown in GREEN lines.
- Existing drains X'd in RED to be abolished to approval.
- Drains to be supported on or from solid ground.
- Copper pipes to be in accordance with AS.1432-1973 table 2 type B tubes
- Unplasticised Polyvinyl Chloride pipe drains [U.P.V.C.] including stacks, to be constructed in accordance with AS.2032-1977, AS. 3500 and Canberra codes of practice.
- Drains under building must be retested, if test failed then old drains must be replaced using either RRJVC or UPVC pipe material.
- Sewer branch to be located on site before work commences.
- This plan is to be read in conjunction with approved architectural plans and specifications.
- ORG levels to be read in conjunction with AS.3500.2, clause 4.6.6.6 and 4.6.6.7.
- Inspection shaft at tie to be raised to ground level in accordance with plumbing note no. 3.

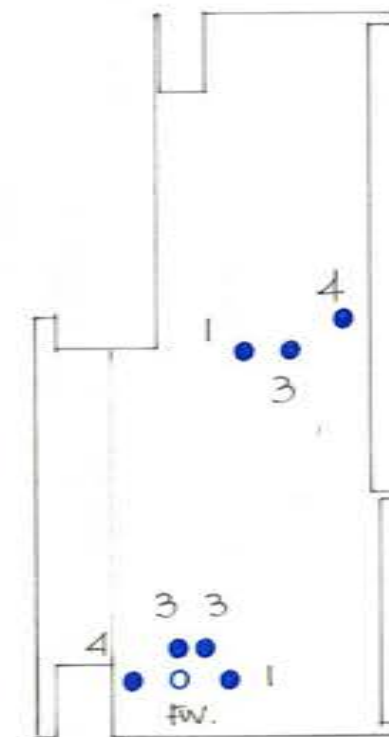
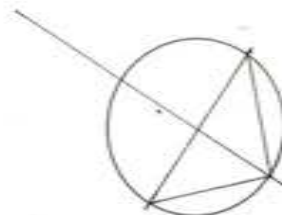
All work must be carried out in conformity with the Water and Sewerage Act 2000, Water and Sewerage Regulations 2001 and the SA 3500.

CHECKED BY:

Drawn : Roger Dannock Mob: 0409487816



SEWER T. 38
D 1.01



UPPER FLOOR PLAN

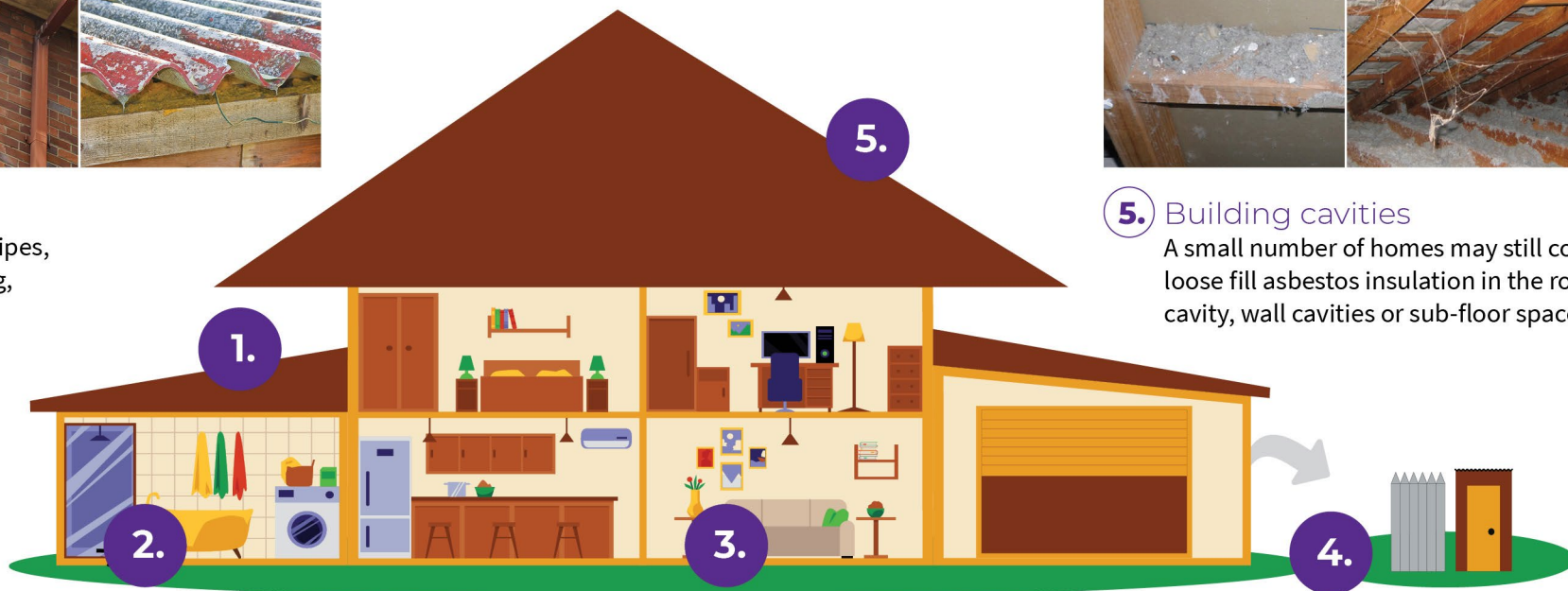
WORKS AS EXECUTED

If a home was built before 1990 it may contain dangerous asbestos material

Identify where asbestos materials might be. Five common places are:



- 1.** Exterior
roof sheeting, gutters, downpipes,
ridge capping, eaves, cladding,
electrical switchboards



- 5.** Building cavities
A small number of homes may still contain
loose fill asbestos insulation in the roof
cavity, wall cavities or sub-floor space



- 2.** Wet areas - bathroom, laundry and kitchen
wall and ceiling panels, vinyl floor tiles, backing for wall tiles
and splashbacks, hot water pipe insulation



- 3.** Internal areas
wall and ceiling panels, carpet underlay,
textured paints, insulation in domestic
heaters



- 4.** Backyard
fences, sheds, garages, carports, dog kennels, buried or
dumped waste, letterboxes, swimming pools

If a home was built before 1990 it may contain dangerous asbestos material

Assess the risk

A licensed asbestos assessor can help identify asbestos in your home and its condition.

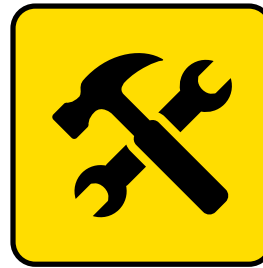
Asbestos materials become dangerous when:



Broken or in poor
condition



Damaged
accidentally



Disturbed during
renovation or repairs



Loose fill asbestos
insulation



Manage asbestos safely

- Monitor the condition of asbestos in your home
- Inform tradespeople of locations of asbestos in your home
- Avoid disturbing or damaging asbestos if working on your home
- Engage a licensed asbestos removalist to remove asbestos

If you suspect your home contains loose fill asbestos insulation, contact Access Canberra.

Nationwide House Energy Rating Scheme®

NatHERS® Certificate No. DUG4UV8BPQ

Generated on 14 Jul 2026 using FirstRate5: 5.5.5a (3.22)

Property

Address 104 Captain Cook Crescent,
Narrabundah, ACT, 2604

Lot/DP -

NCC Class* Class 1a

Floor/all Floors

Type Existing Home

Plans

Main plan 1407/

Prepared by Workroom Design

Construction and environment

Assessed floor area [m²]*	Exposure type
Conditioned* 241.3	suburban
Unconditioned* 54.8	NatHERS climate zone
Total 296.1	24 Canberra Airport
Garage 37.3	



Accredited assessor

Name Mitchell Callagher

Business name CBR Property Inspections

Email mitchell_callagher@hotmail.com

Phone +61433729182

Accreditation No. HERA10345

Assessor Accrediting Organisation HERA

Declaration of interest No

NCC Requirements

NCC provisions Volume 2

State/Territory variation Yes

National Construction Code (NCC) requirements

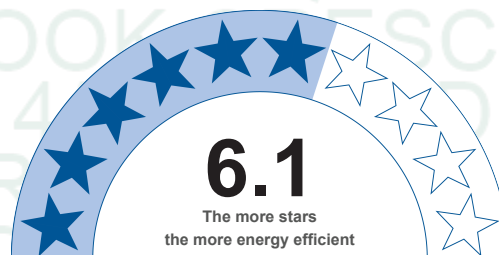
The NCC allows the use of NatHERS accredited software to comply with the energy efficiency requirements for houses (Class 1 buildings) and apartments (Class 2 sole-occupancy units and Class 4 parts of buildings). The applicable requirements for houses are detailed in Specification 42 of NCC Volume Two. For apartments the requirements are detailed in clauses J3D3 and J3D15 of NCC Volume One.

NCC 2022 includes enhanced thermal performance requirements for houses and apartments. It also includes a new whole-of-home annual energy use budget which applies to the major equipment in the home.

The NCC, and associated ABCB Standards and support material, can be accessed at www.abcb.gov.au.

Note, variations and additions to the NCC energy efficiency requirements may apply in some states and territories.

Thermal performance star rating



**NATIONWIDE
HOUSE**
ENERGY RATING SCHEME®

158.7 MJ/m²

Predicted annual energy load for heating and cooling based on standard occupancy assumptions.

For more information on your dwelling's rating see:
www.nathers.gov.au

Thermal performance [MJ/m²]

Limits taken from ABCB Standard 2022

	Heating	Cooling
Modelled	105.2	53.4
Load limits	N/A	N/A
Features determining load limits		
Floor type (lowest conditioned area)		N/A
NCC climate zone 1 or 2		N/A
Outdoor living area		N/A
Outdoor living area ceiling fan		N/A

Whole of Home performance rating

No Whole of Home performance rating generated for this certificate

Verification

To verify this certificate, scan the QR code or visit <https://www.fr5.com.au/QRCodeLanding?PublicId=DUG4UV8BPQ>. When using either link, ensure you are visiting www.fr5.com.au.





About the ratings

Thermal performance rating

NatHERS thermal software models the expected heating and cooling energy loads using information about the design, construction, climate and common patterns of household use. The thermal performance rating (shown as a star rating on this Certificate) does not take into account appliances, apart from the airflow impacts from ceiling fans.

Whole of Home performance rating

NatHERS Whole of Home software uses the heating and cooling energy loads combined with the energy performance of the home's appliances (heating, cooling, hot water, lighting, pool/spa pump and onsite renewable energy generation and storage) and models the expected energy value* of the whole home. The Whole of Home performance rating is shown as a score out of 100 on this Certificate.

Heating & Cooling Load Limits

Additional information

In some locations under the NCC NatHERS pathway, separate heating and cooling load limits may apply. Minimum required star ratings in northern parts of Australia may also be affected by the presence or absence of an outdoor living area and/or an outdoor living area ceiling fan. Refer to the ABCB NatHERS heating and cooling load limits Standard 2022 for details or contact the relevant local building regulating authority, noting that State and Territory variations may also apply.

Setting options:

Floor type:

CSOG – Concrete Slab on Ground

SF – Suspended Floor (or a mixture of CSOG and SF)

NA – Not Applicable

NCC climate Zone 1 or 2:

Yes

No

NA – not applicable

Outdoor living area:

Yes

No

NA – not applicable

Outdoor living area ceiling fan:

Yes

No

NA – not applicable

Predicted Whole of Home annual impact by appliance

Shows the contribution each appliance has on the home's annual energy use, greenhouse gas emissions and cost without solar

Energy use:

No Whole of Home performance assessment conducted for this certificate.

Greenhouse gas emissions:

No Whole of Home performance assessment conducted for this certificate.

Cost:

No Whole of Home performance assessment conducted for this certificate.

Graph key:



Predicted onsite renewable energy impact

No Whole of Home performance assessment conducted for this certificate.

Certificate check

The checklist covers important items impacting the dwelling's ratings.
It is recommended that the accuracy of the whole certificate is checked.

Note: The boxes indicate when and who should check each item.
It is not mandatory to complete this checklist.

	Approval stage		Construction stage		
	Assessor checked	Consent authority/ surveyor checked	Builder checked	Consent authority/ surveyor checked	Occupancy/other
Genuine certificate check					
Does this Certificate match the one available at the web address or QR code verification link on the front page?		☐	☐	☐	☐
Does the NatHERS certificate number on the NatHERS-stamped plans match the number on this Certificate?		☐	☐	☐	☐
Thermal performance check					
Windows and glazed doors					
Does the window size, opening type and location shown on the NatHERS-stamped plans or as installed match what is shown in 'Window and glazed door schedule' and 'Roof window schedule' tables on this Certificate?	☐	☐	☐	☐	☐
Does the installed windows meet the substitution tolerances (AFRC* based SHGC* and U-values*) as shown in the 'Window and glazed door type and performance' and 'Roof window type and performance' tables on this Certificate?			☐	☐	☐
External walls					
Does the external wall bulk insulation (R-value) shown on the NatHERS-stamped plans or as installed match what is shown in the External wall type table on this Certificate?	☐	☐	☐	☐	☐
Does the external wall shade (colour) match what is shown in the 'External wall type' table on this Certificate?	☐	☐	☐	☐	☐
Floor					
Does the floor insulation (R-value) shown on the NatHERS-stamped plans or as installed match what is shown in the 'Floor type' table on this certificate?	☐	☐	☐	☐	☐
Ceiling penetrations*					
Does the 'quantity' and 'type' of ceiling penetrations* (e.g. downlights, exhaust fans, etc) shown on the NatHERS-stamped plans or as installed match what is shown in the 'Ceiling penetrations' table on this Certificate?	☐	☐	☐	☐	☐
Ceiling					
Does the ceiling insulation (R-value) shown on the NatHERS-stamped plans or as installed match what is shown in the 'Ceiling type' table on this Certificate?	☐	☐	☐	☐	☐
Roof					
Does the external roof shade (colour) on the NatHERS stamped plans or as installed match what is shown in the 'Roof type' table on this Certificate?	☐	☐	☐	☐	☐
Apartment entrance doors (NCC Class 2 assessments only)					
Does the 'External Door Schedule' show apartment entrance doors? Please note that an "external door" between the modelled dwelling and a shared space, such as an enclosed corridor or foyer, should not be included in the assessment (because it overstates the possible ventilation) and would invalidate the Certificate.	☐	☐		☐	☐
Exposure*					
Has the appropriate exposure type (terrain) (shown on page 1) been applied? For example, it is unlikely that a ground-floor apartment is "exposed" or a top floor high-rise apartment is "protected".	☐	☐		☐	☐
Heating and cooling load limits*					
Do the load limits settings (shown on page 1) match the values in the ABCB Standard 2022: NatHERS heating and cooling load limits for the appropriate climate zone?	☐	☐	☐	☐	☐



Certificate check

Continued

	Approval stage		Construction stage		
	Assessor checked	Consent authority/ surveyor checked	Builder checked	Consent authority/ surveyor checked	Occupancy/other
Additional NCC requirements for thermal performance (not included in the NatHERS assessment)					
Thermal bridging					
Does the dwelling meet the NCC requirement for thermal bridging?		☐	☐	☐	☐
Insulation installation method					
Has the insulation been installed according to the NCC requirements?			☐	☐	☐
Building sealing					
Does the dwelling meet the NCC requirements for Building Sealing?		☐	☐	☐	☐
Whole of Home performance check (not applicable if a Whole of Home performance assessment is not conducted)					
Appliances					
Does the cooling appliance/s type, location and efficiency/performance shown on the NatHERS-stamped plans or as installed match the location and minimum efficiency/performance requirements shown in the Appliance schedule on this Certificate?	☐	☐	☐	☐	☐
Does the heating appliance/s type, location and efficiency/performance shown on the NatHERS-stamped plans or installed, match the location and minimum efficiency/performance requirements shown in the 'Appliance schedule' on this Certificate?	☐	☐	☐	☐	☐
Does the hot water system type and efficiency/performance shown on the NatHERS-stamped plans or as installed match the location and minimum efficiency/performance requirements shown in the 'Appliance schedule' on this Certificate?	☐	☐	☐	☐	☐
Does the pool pump efficiency/performance shown on the NatHERS-stamped plans or as installed match the minimum efficiency/performance requirements shown in the 'Appliance schedule' on this Certificate?	☐	☐	☐	☐	☐
Does the onsite renewable energy system type, orientation and system size or generation capacity shown on the NatHERS stamped plans or installed match the 'Onsite Renewable Energy schedule' on this Certificate?	☐	☐	☐	☐	☐
Additional NCC Requirements for Services (not included in the NatHERS assessment)					
Does the lighting meet the artificial lighting requirements specified in the NCC?		☐	☐	☐	☐
Does the hot water system meet the additional requirements specified in the NCC?		☐	☐	☐	☐
Provisional values* check					
Have provisional values* been used in the assessment and, if so, are they noted in 'Additional notes' table below?	☐	☐			
Other NCC requirements					

Note: This Certificate only covers the energy efficiency requirements in the NCC. Additional requirements that must also be satisfied include, but are not limited to: condensation, structural and fire safety requirements and any state or territory variations to the NCC energy efficiency requirements.

Additional notes



Room *schedule*

Room	Zone Type	Area [m ²]
Garage	garage	37.3
Rumpus	dayTime	21.4
Study	dayTime	9.3
Laundry	unconditioned	4.2
Kitchen	kitchen	15.8
Kit/Liv/Din	living	81.5
Study Nook	dayTime	5.1
Entry	dayTime	16.7
Powder	unconditioned	2.7
Bedroom 4	bedroom	13.2
Bedroom 3	bedroom	12.5
Bathroom	unconditioned	10.6
Bedroom 2	bedroom	12.4
Bedroom 1	bedroom	21.6
Walk In Robe	nightTime	7.8
Ensuite	nightTime	8
Hallway	dayTime	18.2
Entry	doubleHeightVoid	16.5

Window and glazed door *type and performance*

Default* windows

Window ID	Window description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
PVC-006-01 W	uPVC B B DG Argon Fill Clear-Clear	2.6	0.53	0.5	0.56

Custom* windows

Window ID	Window description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
DEC-001-44 W	uPVC Awning Window DG DG FGIOptEma+Clr_6mm_12Ar_6mm	1.63	0.34	0.32	0.36
DEC-003-29 W	uPVC Sliding Window DG DG FGIOptEma+Clr_4mm_16Ar_4mm	1.81	0.4	0.38	0.42

Window and glazed door *schedule*

Location	Window ID	Window no.	Height [mm]	Width [mm]	Window type	Opening %	Orientation	Window shading device*
----------	-----------	------------	-------------	------------	-------------	-----------	-------------	------------------------



Garage	DEC-001-44 W	Opening 22	450	2000	fixed	0.0	SW	No
Rumpus	DEC-003-29 W	Opening 20	2700	2400	sliding	30.0	NW	No
Study	DEC-003-29 W	Opening 21	2700	2970	fixed	0.0	NW	No
Kitchen	DEC-003-29 W	Opening 19	1800	750	fixed	0.0	SE	No
Kit/Liv/Din	PVC-006-01 W	Opening 23	400	6616	fixed	0.0	NE	No
Kit/Liv/Din	DEC-003-29 W	Opening 13	2700	5185	fixed	0.0	NW	No
Kit/Liv/Din	DEC-003-29 W	Opening 14	2700	5000	sliding	66.0	NW	No
Kit/Liv/Din	DEC-003-29 W	Opening 15	2700	5000	sliding	66.0	NW	No
Study Nook	DEC-003-29 W	Opening 16	2100	867	fixed	0.0	SW	No
Study Nook	DEC-003-29 W	Opening 59	2700	4816	fixed	0.0	SE	No
Entry	DEC-001-44 W	Opening 17	2700	1450	casement	30.0	NE	No
Entry	DEC-001-44 W	Opening 18	2700	1500	fixed	0.0	SW	No
Bedroom 4	DEC-003-29 W	Opening 41	2000	3240	awning	20.0	NW	No
Bedroom 3	DEC-003-29 W	Opening 42	2000	3290	awning	20.0	NW	No
Bathroom	DEC-003-29 W	Opening 43	890	2510	awning	45.0	NW	No
Bedroom 2	DEC-003-29 W	Opening 44	2000	3260	awning	20.0	NW	No
Bedroom 1	DEC-003-29 W	Opening 45	2000	6045	awning	20.0	NW	No
Hallway	DEC-001-44 W	Opening 40	2700	1220	fixed	0.0	SW	No
Entry	DEC-001-44 W	Opening 39	2700	1550	fixed	0.0	SW	No
Entry	DEC-001-44 W	Opening 38	2700	1450	fixed	0.0	NE	No

Roof window* type and performance value

Default* roof windows

				Substitution tolerance ranges	
Window ID	Window description	Maximum U-value*	SHGC*	SHGC lower limit	SHGC upper limit
No Data Available					

Custom* roof windows

				Substitution tolerance ranges	
Window ID	Window description	Maximum U-value*	SHGC*	SHGC lower limit	SHGC upper limit
No Data Available					

Roof window* schedule

Location	Window ID	Window no.	Opening %	Area [m ²]	Width [mm]	Orientation	Outdoor shade	Indoor shade
No Data Available								

Skylight* type and performance

Skylight ID	Skylight description	Skylight shaft reflectance
GEN-04-004a	DC: Double Clear	



Skylight* *schedule*

Location	Skylight ID	Skylight No.	Skylight shaft length [mm]	Area [m²]	Orientation	Outdoor shade	Diffuser
Walk In Robe	GEN-04-004a	Element 2	1200	1.4	N	None	No
Ensuite	GEN-04-004a	Element 1	1200	1.4	N	None	No

External door *schedule*

Location	Height [mm]	Width [mm]	Opening %	Orientation
Garage	2400	5460	100.0	SE
Garage	2100	880	100.0	SW

External wall *type*

Wall ID	Wall type	Solar absorptance	Wall shade [colour]	Bulk insulation [R-value]	Reflective wall wrap*
1	CBR - Brick Veneer + R2.5	0.8	Dark	Glass fibre batt: R2.5 (R2.5)	No
2	Rendered Brick Veneer + R2.5HD	0.8	Dark	Glass fibre batt (k = 0.044 density = 12 kg/m3) (R2.5)	Yes
3	CBR - Brick Veneer + R2.5	0.5	Medium	Glass fibre batt: R2.5 (R2.5)	No
4	Tiled Brick Veneer + R2.5HD	0.8	Dark	Glass fibre batt (k = 0.044 density = 12 kg/m3) (R2.5)	Yes
5	FR5 - 75mm Expanded Polystyrene Clad	0.8	Dark		No
6	FR5 - 75mm Expanded Polystyrene Clad	0.3	Light		No

External wall *schedule*

Location	Wall ID	Height [mm]	Width [mm]	Orientation	Horizontal shading feature* maximum projection [mm]	Vertical shading feature* (yes/no)
Garage	1	2700	6418	SE	0	Yes
Garage	2	2700	1400	NE	0	Yes
Garage	2	2700	5806	SW	0	No
Rumpus	2	2700	5205	NW	0	No
Rumpus	2	2700	4106	SW	0	No
Study	2	2700	3090	NE	0	Yes
Study	2	2700	3011	NW	0	No
Kitchen	2	2700	4626	SE	1000	Yes
Kit/Liv/Din	3	2700	153	NE	0	Yes
Kit/Liv/Din	2	2700	643	SE	0	Yes
Kit/Liv/Din	4	2700	6600	NE	1366	Yes
Kit/Liv/Din	2	2700	16060	NW	663	Yes

*Refer to glossary.



Study Nook	2	2700	1057	SW	0	Yes
Study Nook	2	2700	4817	SE	0	Yes
Entry	2	2700	7980	SE	0	No
Entry	5	2700	1438	NE	0	Yes
Entry	2	2700	1626	SW	0	Yes
Bedroom 4	5	2700	2227	SE	0	Yes
Bedroom 4	2	2700	3252	NW	621	No
Bedroom 4	5	2700	4172	SW	0	No
Bedroom 3	2	2700	3287	NW	648	No
Bathroom	2	2700	2500	NW	651	No
Bedroom 2	2	2700	3260	NW	651	No
Bedroom 1	6	2700	3609	NE	0	No
Bedroom 1	2	2700	6081	NW	657	No
Ensuite	5	2700	2126	SE	0	Yes
Ensuite	6	2700	2960	NE	0	No
Hallway	5	2700	6615	SE	0	Yes
Hallway	1	2700	192	SW	0	Yes
Hallway	3	2700	124	NW	0	Yes
Hallway	5	2700	1201	SW	0	Yes
Entry	5	2700	2648	SW	0	Yes
Entry	1	2700	7878	SE	0	No
Entry	1	2700	1447	NE	0	Yes

Internal wall type

Wall ID	Wall type	Area [m²]	Bulk insulation
1	FR5 - Internal Plasterboard Stud Wall	209.2	
2	CBR - Brick Veneer + R2.5	43.9	Glass fibre batt: R2.5 (R2.5)
3	FR5 - 75mm Expanded Polystyrene Clad	2.8	

Floor type

Location	Construction	Area [m²]	Sub-floor ventilation	Added insulation [R-value]	Covering
Garage	FR5 - 300mm waffle pod, 100mm concrete (R0.63)	37.3	Enclosed	R0.0	none
Rumpus	FR5 - 300mm waffle pod, 100mm concrete (R0.63)	21.4	Enclosed	R0.0	Carpet
Study	FR5 - 300mm waffle pod, 100mm concrete (R0.63)	9.3	Enclosed	R0.0	Carpet
Laundry	FR5 - 300mm waffle pod, 100mm concrete (R0.63)	2.8	Enclosed	R0.0	Tiles
Laundry	FR5 - 300mm waffle pod, 100mm concrete (R0.63)	1.4	Enclosed	R0.0	none



Kitchen	FR5 - 300mm waffle pod, 100mm concrete (R0.63)	12.1	Enclosed	R0.0	Tiles
Kitchen	FR5 - 300mm waffle pod, 100mm concrete (R0.63)	3.7	Enclosed	R0.0	none
Kit/Liv/Din	FR5 - 300mm waffle pod, 100mm concrete (R0.63)	79.8	Enclosed	R0.0	Tiles
Kit/Liv/Din	FR5 - 300mm waffle pod, 100mm concrete (R0.63)	1.7	Enclosed	R0.0	Tiles
Study Nook	FR5 - 300mm waffle pod, 100mm concrete (R0.63)	5.1	Enclosed	R0.0	Tiles
Entry	FR5 - 300mm waffle pod, 100mm concrete (R0.63)	16.7	Enclosed	R0.0	Tiles
Powder	FR5 - 300mm waffle pod, 100mm concrete (R0.63)	2.7	Enclosed	R0.0	Tiles
Bedroom 4	Timber Floor + R4.0	13.2	Enclosed	R4.0	Carpet
Bedroom 3	Timber Floor + R4.0	12.5	Enclosed	R4.0	Carpet
Bathroom	Timber Floor + R4.0	10.6	Enclosed	R4.0	Tiles
Bedroom 2	Timber Floor + R4.0	12.4	Enclosed	R4.0	Carpet
Bedroom 1	Timber Floor + R4.0	4.9	Elevated	R4.0	Carpet
Bedroom 1	Timber Floor + R4.0	16.7	Enclosed	R4.0	Carpet
Walk In Robe	Timber Floor + R4.0	7.8	Enclosed	R4.0	Carpet
Ensuite	Timber Floor + R4.0	4.3	Elevated	R4.0	Particleboard
Ensuite	Timber Floor + R4.0	3.6	Enclosed	R4.0	Particleboard
Hallway	Timber Floor + R4.0	18.2	Enclosed	R4.0	Carpet
Entry	No Floor	16.5	Enclosed	R4.0	No Floor

Ceiling type

Location	Construction material/type	Bulk insulation R-value [may include edge batt values]	Reflective wrap*
Garage	Plasterboard	R6.0	Yes
Rumpus	Plasterboard	R6.0	Yes
Study	Plasterboard	R6.0	Yes
Laundry	Timber Floor + R4.0	R4.0	No
Laundry	Plasterboard	R0.0	No
Laundry	Plasterboard	R6.0	Yes
Kitchen	Timber Floor + R4.0	R4.0	No
Kitchen	Plasterboard	R6.0	Yes
Kit/Liv/Din	Timber Floor + R4.0	R4.0	No
Kit/Liv/Din	Plasterboard	R6.0	Yes
Study Nook	Plasterboard	R0.0	No
Entry	Timber Floor + R4.0	R4.0	No
Powder	Timber Floor + R4.0	R4.0	No



Bedroom 4	Plasterboard	R6.0	Yes
Bedroom 3	Plasterboard	R6.0	Yes
Bathroom	Plasterboard	R6.0	Yes
Bedroom 2	Plasterboard	R6.0	Yes
Bedroom 1	Plasterboard	R6.0	Yes
Bedroom 1	Plasterboard	R6.0	Yes
Walk In Robe	Plasterboard	R6.0	Yes
Ensuite	Plasterboard	R6.0	Yes
Ensuite	Plasterboard	R6.0	Yes
Hallway	Plasterboard	R6.0	Yes
Entry	Plasterboard	R6.0	Yes

Ceiling penetrations*

Location	Quantity	Type	Height [mm]	Width [mm]	Sealed/unsealed
No Data Available					

Ceiling fans

Location	Quantity	Diameter [mm]
No Data Available		

Roof type

Construction	Added insulation [R-value]	Solar absorptance	Roof shade [colour]
Cont:Attic-Continuous	1.8	0.9	Dark
Ceil: Ceiling	0.0	0.5	Medium
Cont:Attic-Continuous	1.8	0.5	Medium
Cont:Attic-Continuous	0.0	0.8	Dark

Thermal bridging schedule for steel frame elements

Building element	Steel section dimensions [height x width, mm]	Frame spacing [mm]	Steel thickness [BMT,mm]	Thermal break [R-value]
No Data Available				

Appliance schedule

(not applicable if a Whole of Home performance assessment is not conducted for this certificate)

Note: A flat assumption of 5W/m2 is used for lighting, therefore lighting is not included in the appliance schedule.

Cooling system

Appliance/ system type	Location	Fuel type	Minimum efficiency/ performance	Recommended capacity
No Whole of Home performance assessment conducted for this certificate.				



Heating system

Appliance/ system type	Location	Fuel type	Minimum efficiency/ performance	Recommended capacity
No Whole of Home performance assessment conducted for this certificate.				

Hot water system

Appliance/ system type	Fuel type	Minimum efficiency/ performance	Hot Water CER Zone	Zone 3 STC	Assessed daily load
No Whole of Home performance assessment conducted for this certificate.					

Pool/spa equipment

Appliance/ system type	Fuel type	Minimum efficiency/ performance	Recommended capacity
No Whole of Home performance assessment conducted for this certificate.			

Onsite renewable energy *schedule*

(not applicable if a Whole of Home performance assessment is not conducted for this certificate)

System type	Orientation	System size or generation capacity
No Whole of Home performance assessment conducted for this certificate.		

Battery *schedule*

(not applicable if a Whole of Home performance assessment is not conducted for this certificate)

System type	Size [battery storage capacity]
No Whole of Home performance assessment conducted for this certificate.	

Explanatory Notes

About this report

NatHERS ratings are a reliable guide for comparing different dwelling designs and to demonstrate that designs meet the energy efficiency requirements in the National Construction Code.

NatHERS ratings use computer modelling to evaluate a home's energy efficiency and performance. They use localised climate data and standard assumptions on how people use their home to predict the heating and cooling energy loads and energy value* of the whole home. The thermal performance star rating uses the home's building specifications, layout, orientation and fabric (i.e. walls, windows, floors, roofs and ceilings) to predict the heating and cooling energy loads. The Whole of Home performance rating uses information about the home's appliances and onsite energy generation and storage to estimate the homes energy value*.

The actual energy loads, cost and greenhouse gas emissions of a home may vary from that predicted. This is because the assumptions will not always match the actual occupant usage patterns. For example, the number of occupants and how people use their appliances will vary. Energy efficient homes use less energy, are warmer on cool days, cooler on hot days and cost less to run.

Accredited assessors

For quality assured NatHERS Certificates, always use an accredited or licenced assessor registered with an Assessor Accrediting Organisation (AAO). AAOs have strict quality assurance processes, and professional development requirements ensuring consistently high standards for assessments.

Non-accredited assessors (Raters) have no ongoing training requirements and are not quality assured.

Any queries about this report should be directed to the assessor. If the assessor is unable to address questions or concerns, contact the AAO specified on the front of this certificate.

Disclaimer

The NatHERS Certificate format is developed by the NatHERS Administrator. However, the content in the certificate is entered by the assessor. It is the assessor's responsibility to use NatHERS accredited software correctly and follow the NatHERS Technical Note to produce a NatHERS Certificate.

The predicted annual energy load, cost and greenhouse gas emissions in this NatHERS Certificate are an estimate based on an assessment of the dwelling's design by the assessor. It is not a prediction of actual energy use, cost or emissions. The information and ratings may be used to compare how other dwellings are likely to perform when used in a similar way.

Information presented in this report relies on a range of standard assumptions (both embedded in NatHERS accredited software and made by the assessor who prepared this report), including assumptions about occupancy, behaviour, appliance performance, indoor air temperature and local climate.

Not all assumptions made by the assessor using the NatHERS accredited software tool are presented in this report and further details or data files may be obtained from the assessor.

Glossary

Annual energy load	the predicted amount of energy required for heating and cooling, based on standard occupancy assumptions.
AFRC	Australian Fenestration Rating Council
Assessed floor area	the floor area modelled in the software for the purpose of the NatHERS assessment. Note, this may not be consistent with the floor area in the design documents.
Ceiling penetrations	features that require a penetration to the ceiling, including downlights, vents, exhaust fans, range hoods, chimneys and flues. Excludes fixtures attached to the ceiling with small holes through the ceiling for wiring, e.g. ceiling fans; pendant lights, and heating and cooling ducts.
Conditioned	a zone within a dwelling that is expected to require heating and cooling based on standard occupancy assumptions. In some circumstances it will include garages.
COP	Coefficient of performance
Custom windows	windows listed in NatHERS software that are available on the market in Australia and have a WERS (Window Energy Rating Scheme) rating.
Default windows	windows that are representative of a specific type of window product and whose properties have been derived by statistical methods.
EER	Energy Efficiency Ratio, measure of how much cooling can be achieved by an air conditioner for a single kWh of electricity input
Energy use	This is your homes rating without solar or batteries.
Energy value	The net cost to society including, but not limited to, costs to the building user, the environment and energy networks (as defined in the ABCB Housing Provisions Standard).
Entrance door	these signify ventilation benefits in the modelling software and must not be modelled as a door when opening to a minimally ventilated corridor in a Class 2 building.
Exposure category – exposed	terrain with no obstructions e.g. flat grazing land, ocean-frontage, desert, exposed high-rise unit (usually above 10 floors).
Exposure category – open	terrain with few obstructions at a similar height e.g. grasslands with few well scattered obstructions below 10m, farmland with scattered sheds, lightly vegetated bush blocks, elevated units (e.g. above 3 floors).
Exposure category – suburban	terrain with numerous, closely spaced obstructions below 10m e.g. suburban housing, heavily vegetated bushland areas.
Exposure category – protected	terrain with numerous, closely spaced obstructions over 10 m e.g. city and industrial areas.
Horizontal shading feature	provides shading to the building in the horizontal plane, e.g. eaves, verandahs, pergolas, carports, or overhangs or balconies from upper levels.
National Construction Code (NCC) Class	the NCC groups buildings by their function and use, and assigns a classification code. NatHERS software models NCC Class 1, 2 or 4 buildings and attached Class 10a buildings. Definitions can be found at www.abcb.gov.au .
Net zero home	a home that achieves a net zero energy value*.
Opening percentage	the openability percentage or operable (moveable) area of doors or windows that is used in ventilation calculations.
Provisional value	an assumed value that does not represent an actual value. For example, if the wall colour is unspecified in the documentation, a provisional value of 'medium' must be modelled. Acceptable provisional values are outlined in the NatHERS Technical Note and can be found at www.nathers.gov.au
Recommended capacity	this is the capacity or size of equipment that is recommended by NatHERS to achieve the desired comfort conditions in the zone or zones serviced. This is a recommendation and the final selection sizing should be confirmed by a suitably qualified person.
Reflective wrap (also known as foil)	can be applied to walls, roofs and ceilings. When combined with an appropriate air gap and emissivity value, it provides insulative properties.
Roof window	for NatHERS this is typically an operable window (i.e. can be opened), will have a plaster or similar light well if there is an attic space, and generally does not have a diffuser.
Shading features	includes neighbouring buildings, fences, and wing walls, but excludes eaves.
Solar heat gain coefficient (SHGC)	the fraction of incident solar radiation admitted through a window, both directly transmitted as well as absorbed and subsequently released inward. SHGC is expressed as a number between 0 and 1. The lower a window's SHGC, the less solar heat it transmits.
Skylight (also known as roof lights)	for NatHERS this is typically a moulded unit with flexible reflective tubing (light well) and a diffuser at ceiling level.

*Refer to glossary.



STCs	Small-scale Technology Certificates, certificates created by the REC registry for renewable energy technologies that may be bought and sold as part of the Small-scale Renewable Energy Scheme operated by the Clean Energy Regulatory
Thermal breaks	are materials with an R-value greater than or equal to 0.2 that must separate the metal frame from the cladding. This includes, but is not limited to, materials such as timber battens greater than or equal to 20mm thick, continuous thermal breaks such as polystyrene insulation sheeting, plastic strips or furring channels.
U-value	the rate of heat transfer through a window. The lower the U-value, the better the insulating ability.
Unconditioned	a zone within a dwelling that is assumed to not require heating and cooling based on standard occupancy assumptions.
Vertical shading features	provides shading to the building in the vertical plane and can be parallel or perpendicular to the subject wall/window. Includes privacy screens, other walls in the building (wing walls), fences, other buildings, vegetation (protected or listed heritage trees).
Window shading device	a device fixed to windows that provides shading e.g. window awnings or screens but excludes horizontal* or vertical shading features* (eg eaves and balconies)



28 April 2026

Policy number

171AN27551COM

Period of Insurance

From 30 April 2026

To 4pm on 30 April 2027

Your Business Pack Certificate of Currency

This Certificate of Currency has been issued by the Insurer and confirms that on the Date of Issue the Policy is current for the Period of Insurance and Sums Insured and other limits as shown herein.

This Certificate of Currency is issued as a matter of information only and confers no rights upon its holder. This Certificate of Currency does not form part of the terms and conditions of the Policy and does not amend, extend, replace or alter the terms, conditions, definitions, limitations and exclusions noted therein.

This Certificate of Currency is provided as a summary only of the cover provided and is current only at the Date of Issue. The Policy may be subsequently altered or cancelled in accordance with its terms after the Date of Issue of this notice without further notice to the holder of this notice.

Certain words used in this document and the Policy have special meanings. The General Definitions Section of the Product Disclosure Statement (PDS) contains such terms. Please read the PDS, the Schedule and any other documents that form part of the Policy for the terms and conditions of cover:

Date of Issue:

28 April 2026

Insurer

Allianz Australia Insurance Limited
ABN 15 000 122 850
AFS Licence No. 234708 (Allianz)

Details

Insured(s)

CBR Property Inspections

Business

Building inspection service

Situation

85 Cork St GUNDAROO NSW 2620

Liability

Description	Limit of Liability
Public Liability any one Occurrence	\$10,000,000
Products Liability any one Occurrence and in the aggregate any one Period of Insurance	\$10,000,000
Property in Physical or Legal Control any one Occurrence and in the aggregate any one Period of Insurance	\$250,000

Cover is provided anywhere within the Territorial Limits, including Australia or its external territories and the Situations and any other Australian locations set out in this document. Refer to the Product Disclosure Statement (PDS) for full details.

Kind regards,



Richard Feledy
Managing Director
Allianz Australia Limited

Certificate of Currency

Details	
<u>Policy Number</u>	B0572MR20QI03 - 1001
<u>Insured</u>	CBR Property Inspections
<u>Professional Business</u>	Australian Building Control Surveyor (Certifier), and as more fully described in the proposal form dated 30 March 2026
<u>Class of Insurance</u>	Professional Indemnity
<u>Policy Period</u>	From: 4:00pm at 30 April 2026 To: 4:00pm at 30 April 2027 Both Local Standard Time at the Insured's head office
<u>Limit of Indemnity</u>	2,000,000 any one Claim and in the aggregate including Costs and Expenses plus one reinstatement
<u>Sub-limits of Indemnity</u>	2,000,000 any one Claim and in the aggregate including Costs and Expenses plus one reinstatement for any Claims directly or indirectly caused by, arising out of or in any way connected with any external insulation, finishing systems, wall panelling, cladding or façade material that breaches the requirements or provisions of the National Construction Code, the Building Code of Australia or any State or Territory based legislation regulating fire safety Or; \$500,000 any one Claim and in the aggregate including Costs and Expenses plus one reinstatement for any Claims in relation to Cladding which does not comply with the requirements of the Building Code of Australia, an Australian Standard or an Act or other law of the Commonwealth, this State or any other State or Territory or that is used, installed or which is applied to a building in a manner that does not comply with the requirements of the Building Code of Australia, an Australian Standard or an Act or other law of the Commonwealth involving or arising out of or in connection with liability assumed by the insured by way of a retrospective change in the National Construction Code, the Building Code of Australia or any State or Territory based legislation regulating fire safety, unless such liability would have attached to the Insured notwithstanding such retrospective change, in respect of the insured's Professional Business undertaken prior to the commencement of the Policy Period. For the avoidance of any doubt, the above Sub-Limits of Indemnity shall be inclusive of the Insured's Excess
<u>Retroactive Date</u>	20 April 2025, excluding known Claims and Circumstances
<u>Wording</u>	Miramar Financial Lines Professional Indemnity for Australian Building Control Surveyors Insurance Policy Wording – MIR FINLINES PI CERT 0426
<u>Insurer(s)</u>	Certain underwriters at Lloyd's (100%), led by W. R. Berkley Syndicate Management Limited ,Syndicate Consortium for Lloyd's Syndicate 1967
<u>UMR</u>	B0600MR25QI02

for Miramar Group Pty Ltd
 as agent for the Insurer(s)
 On 29 April 2026

Miramar Group Pty Ltd (ABN 97 111 534 797, AFSL 314176)
 PO Box A2016 Sydney South, NSW 1235

T: 02 9307 6600

E: finlines@miramargroup.com.au

W: miramargroup.com.au



For full details of this insurance please refer to the Policy Document

The contract of insurance is issued by Miramar Group Pty Ltd (ABN 97 111 534 797, AFSL 314176) ('Miramar Group') who acts under a binding authority as an agent for certain underwriters at Lloyd's, the insurer of the Miramar Financial Lines insurance products.

Miramar Group Pty Ltd (ABN 97 111 534 797, AFSL 314176)
PO Box A2016 Sydney South, NSW 1235

T: 02 9307 6600

E: finlines@miramargroup.com.au

W: miramargroup.com.au



TAX INVOICE

Jenelle Frewen
Attention: Jenelle Frewen
104 Captain Cook Cres
NARRABUNDAH ACT 2604
AUSTRALIA

Invoice Date
14 Jul 2026

Invoice Number
INV-0115

ABN
25 140 569 907

Phoenix Projects CBR
85 Cork St
GUNDAROO NSW 2620
AUSTRALIA

Description	Quantity	Unit Price	GST	Amount AUD
ACT Pre Purchase Building, Pest, Compliance & EER 104 Captain Cook Crescent, Narrabundah, ACT	1.00	1,409.09	10%	1,409.09
Subtotal				1,409.09
TOTAL GST 10%				140.91
TOTAL AUD				1,550.00

Due Date: 21 Jul 2026

Payment Terms 7 Days

ACT Pre Sale/ Vendors Report Conditions (only):

This invoice must be paid on settlement or within 180 days of the date of inspection, whichever comes first.

We must be notified immediately if the property is not marketed within 3 months or is withdrawn from the market and the invoice must be settled within 14 days.

Failure to adhere to these terms will result in associated legal and collection fees being applied to amount due.

Payment Instructions

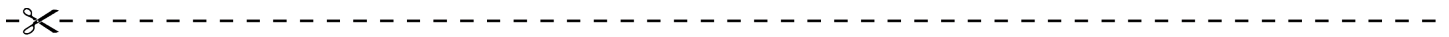
ACC: Phoenix Projects CBR

BSB: 012 936

ACC No: 6524 82631



[View and pay online now](#)



PAYMENT ADVICE

To: Phoenix Projects CBR
85 Cork St
GUNDAROO NSW 2620
AUSTRALIA

Customer	Jenelle Frewen
Invoice Number	INV-0115
Amount Due	1,550.00
Due Date	21 Jul 2026
Amount Enclosed	Enter the amount you are paying above