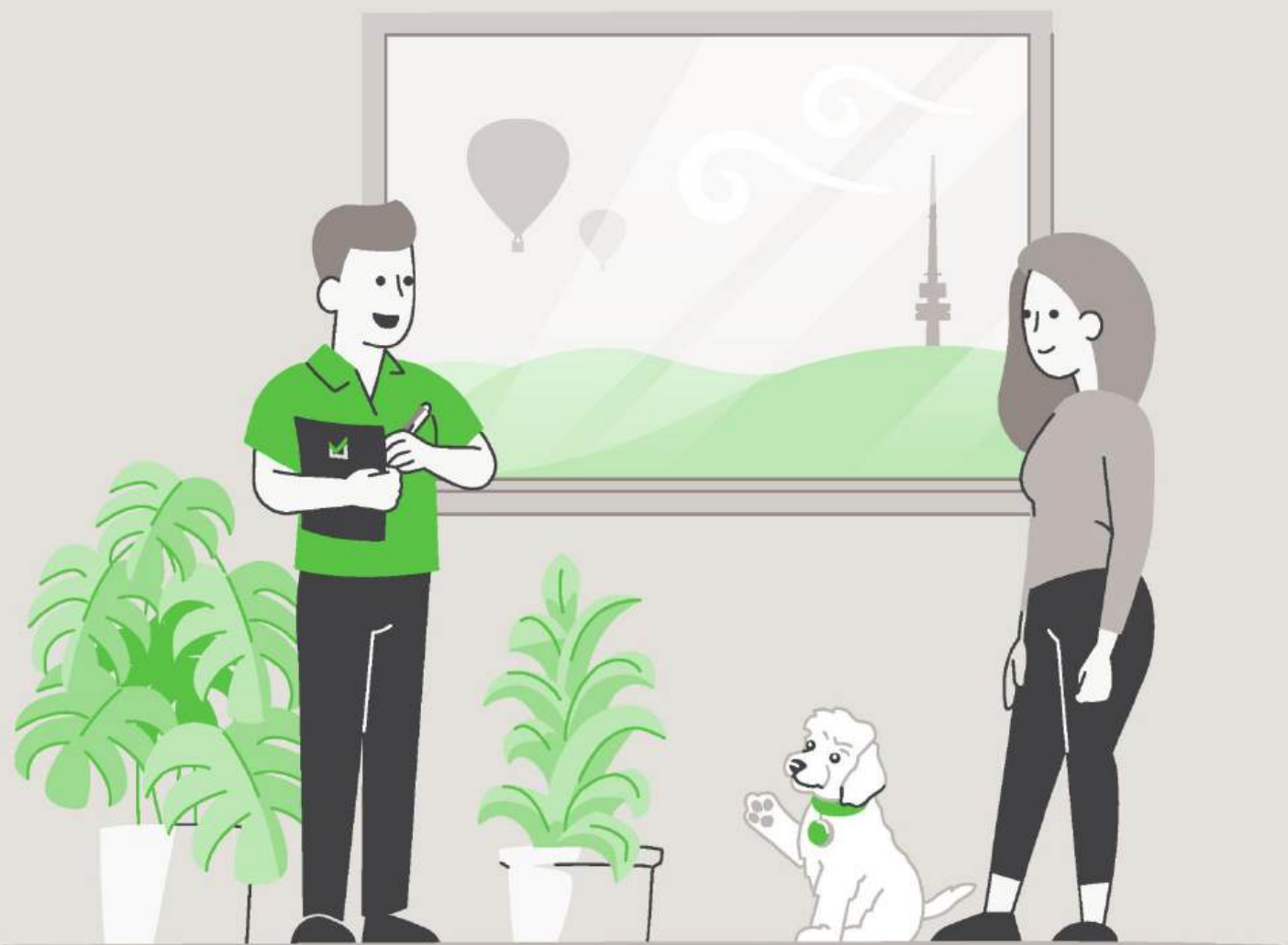


# Report



## LIMITED LIABILITY TO A PURCHASER WITHIN THE AUSTRALIAN CAPITAL TERRITORY

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This Report is made solely for the use and benefit of the Client. The Consultant is not liable for any reliance placed on this report by any third party. However, within the ACT only and in accordance with the Civil Law (Sale of Residential Property) Act 2003 and the Civil Law (Sale of Residential Property) Regulations 2004, a copy of the report must be attached to the Contract for Sale and may in certain circumstances be relied upon by the Purchaser of residential property.

The circumstances in which a Purchaser of residential property within the ACT may rely on this report in respect of the state of the property at the time of the inspection are as follows:

- (a)** The inspection was carried out no earlier than three months before the day the property was first advertised or offered for sale or listed by an agent; and
- (b)** The date on which the contract was entered into was not more than 180 days after the date of the inspection.
- (c)** The report is provided to the Purchaser prior to or at the time the Contract for Sale is entered into between the Purchaser and vendor.
- (d)** The service requested is the Standard Inspection Report.

# Building Report



## CONCLUSION AND SUMMARY

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The purpose of the Inspection is to identify the major defects and safety hazards associated with the property at the time of the Inspection. The Inspection and reporting are limited to a visual assessment of the Building Members in accord with Appendix C AS4349.1-2007.

The overall condition of this building has been compared to similar constructed buildings of approximately the same age where those buildings have had a maintenance program implemented to ensure that the building members are still fit for purpose.

**The incidence of Major Defects** in this Residential Building as compared with similar Buildings is considered: **Low**

**The incidence of Minor Defects** in this Residential Building as compared with similar Buildings is considered: **Low**

**The overall condition** of this Residential Dwelling in the context of its age, type and general expectations of similar properties is: **Above Average**

**Please Note:** This is a general appraisal only and cannot be relied upon on its own – read the Report in its entirety.

This Summary is supplied to allow a quick and superficial overview of the Inspection results. This Summary is NOT the Report and cannot be relied upon on its own. This Summary must be read in conjunction with the full Report and not in isolation from the Report. If there should happen to be any discrepancy between anything in the Report and anything in this Summary, the information in the Report shall override that in this Summary.

**PROPERTY STATISTICS**


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Building Report	Above Average
Compliance Report	Please read full compliance report section of the report
Pest Inspection	No active subterranean termites (live specimen) were found
Energy Efficiency Rating	4.0 Stars
Inspection Date	Wednesday, June 17 <sup>th</sup> 2026
Name of Assessor	Michael Kane
Reference Number	70589
Address of Property Inspected	5 Northcote Cres, Deakin ACT 2600
Client	Miladinovic
Block and Section	Block 11 Section 9 DEAKIN
Year original residence COU was issued	2025
Block size (approximately)	1796m <sup>2</sup>
House size (approximately)	Upper Level: 175.10m <sup>2</sup> Ground Level: 271.60m <sup>2</sup> Lower Level: 63.70m <sup>2</sup> Garage: 72.50m <sup>2</sup> Pool Cabana: 20.40m <sup>2</sup>
Weather conditions at time of Inspection	Fine
Occupancy Status	Occupied

\*The table above is to be used as a quick reference. Please read the full Report before reaching your conclusion regarding the condition of the Property.

Whilst every care has been taken to ensure the accuracy of the property house and block size, we accept no responsibility for any inaccuracies as supplying this information exceeds a standard building inspection under AS4349.1-2007.

## PROPERTY CONSTRUCTION DETAILS

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Flooring	Concrete and timber flooring
External walls	Brick veneer and light weight cladding
Roof framing	Timber: Truss roof framing
Roof cladding	Colorbond roof cladding
Glazing	Double glazed windows
Cooktops	Electric cooktops
Ovens	Electric ovens
Dishwasher	A dishwasher has been installed

\*Whilst every care has been taken to ensure the accuracy of the property construction details, we accept no responsibility for any inaccuracies of construction details or testing of appliances.

## GENERAL ACCESS LIMITATIONS

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Internal	At the time of inspection, the building was furnished. This allows for a limited inspection in areas not restricted by furnishings, stored goods, floor mats, etc.
External	A full inspection was carried out to the exterior of the building
Roof void	The inspection of the roof void was restricted to a visual inspection from the roof access point in bedroom 4 due to the low roof pitch not allowing bodily access. Insulation and ducting on top of ceiling restricting visual inspection of the ceiling framing
On-top of roof	The inspection was restricted to visually looking from a 3.6m ladder lent against the gutter in several areas around the building
Garage	A full inspection was carried out inside the garage

\*Where access is noted as limited or restricted, it is recommended that access be gained to these areas as these areas may contain concealed defects.

**DEFINITIONS**

<b>Good</b>	The item is in the Inspector's opinion of an acceptable standard with no defects visible. Superficial defects will not be commented on
<b>Fair</b>	The item in the Inspector's opinion has some minor defects and requires minimal maintenance or repair
<b>Poor</b>	The item in the Inspector's opinion needs significant repair or replacement

**ENTRANCE**

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good

**FORMAL LIVING**

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good

**GUEST LIVING**

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good

**KITCHEN/FAMILY/DINING**

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Kitchen cupboards	Good
Bench top	Good
Splashback	Good
Exhaust fan	The exhaust fan was operational at the time of inspection
Walk in pantry	Good

**HALLWAY**

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good

**STAIRWELLS**

Ceiling	Good
Walls	Good
Floor coverings	Good
Ceiling	Good

**MEDIA ROOM**

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good

**GYM**

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good

**MUD ROOM**

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good

**MASTER SUITE**

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Walk in wardrobe	Good

**BEDROOM 2**

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Wardrobe	Good

**BEDROOM 3**

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Wardrobe	Good

**BEDROOM 4**

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Walk in wardrobe	Good

**GUEST BEDROOM**

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Wardrobe	Good

**ENSUITE – MASTER SUITE**

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Shower screen	Good
Water leakage in shower area?	There was no water leakage detected
Floor and wall tiles in shower area	Good
Vanity/Basin	Good
Taps	Good
Bath	Good
Toilet suite	Good
Exhaust fan	The exhaust fan was operational at the time of inspection

**ENSUITE – BEDROOM 2**

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Shower screen	Good
Water leakage in shower area?	There was no water leakage detected
Floor and wall tiles in shower area	Good
Vanity/Basin	Good
Taps	Good
Toilet suite	Good
Exhaust fan	The exhaust fan was operational at the time of inspection

**ENSUITE – BEDROOM 3**

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Shower screen	Good
Water leakage in shower area?	There was no water leakage detected
Floor and wall tiles in shower area	Good
Vanity/Basin	Good
Taps	Good
Toilet suite	Good
Exhaust fan	The exhaust fan was operational at the time of inspection

**ENSUITE – BEDROOM 4**

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Shower screen	Good
Water leakage in shower area?	There was no water leakage detected
Floor and wall tiles in shower area	Good
Vanity/Basin	Good
Taps	Good
Toilet suite	Good
Exhaust fan	The exhaust fan was operational at the time of inspection

**ENSUITE – GUEST BEDROOM**

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Shower screen	Good
Water leakage in shower area?	There was no water leakage detected
Floor and wall tiles in shower area	Good
Vanity/Basin	Good
Taps	Good
Toilet suite	Good
Exhaust fan	The exhaust fan was operational at the time of inspection

**POWDER ROOM – ADJACENT MEDIA ROOM**

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Vanity/Basin	Good
Taps	Good
Toilet suite	Good
Exhaust fan	The exhaust fan was operational at the time of inspection

**POWDER ROOM – ADJACENT GUEST BEDROOM**

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Vanity/Basin	Good
Taps	Good
Toilet suite	Good
Exhaust fan	The exhaust fan was operational at the time of inspection

**LAUNDRY**

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Laundry tub	Good
Splashback	Good
Exhaust fan	The exhaust fan was operational at the time of inspection

**POOL CABANA**

Structure	Good
Roof covering	Good
Roof pointing	Good
Fascia	Good
Gutters	Good
Ceiling	Good
Walls	Good. No major cracking noted
Floor coverings	Good

**SHOWER ROOM TO POOL CABANA**

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Shower screen	Good
Water leakage in shower area?	There was no water leakage detected
Floor and wall tiles in shower area	Good
Vanity/Basin	Good
Taps	Good
Toilet suite	Good
Exhaust fan	The exhaust fan was operational at the time of inspection

**EXTERIOR**

Driveway and paths	Good. No major cracking noted
Eaves	Good
Fascia	Good
Gutters	Good. The gutters appear to be in functional condition
External walls	Good. No major cracking noted
Windows	Good
Fences	Good
Gate	Good
Alfresco	Good
Entertainment area adjacent family room	Good
Retaining walls/pool edge	Recommend installation of a safety barrier where the fall potential is greater than 1m
Pool storage	Good
Site drainage	The site generally drains away from the perimeter of the building

**GARAGE**

Ceiling	Good
Walls	Good
Garage door	Good
Is an auto opener installed on the roller door?	Yes
Access door	Good

## DEFINITIONS

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**Above Average:** The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a reasonable standard of workmanship when compared with buildings of similar age and construction.

**Average:** The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

**Below Average:** The Building and its parts show some significant defects and/or very poor non-tradesman like workmanship and/or long-term neglect and/or defects requiring major repairs or reconstruction of major building elements.

**Client:** The person or persons, for whom the Inspection Report was carried out or their Principal (i.e., the person or persons for whom the report is being obtained).

**Building Consultant:** A person, business or company who is qualified and experienced to undertake a pre-purchase inspection in accordance with Australian Standard AS 4349.1-2007 'Inspection of Buildings. Part 1: Pre-Purchase Inspections – Residential Buildings'. The consultant must also meet any Government licensing requirement, where applicable.

**Building & Site:** The inspection of the nominated residence together with relevant features including any car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth, embankments, surface water drainage and storm water run-off within 30 m of the building, but within the property boundaries. In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the nominated residence and does not include inspection of common property.

**Readily Accessible Areas:** Areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels or accessible from a 3.6 metre ladder, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry. Or where these clearances are not available, areas within the consultant's unobstructed line of sight and within arm's length.

**Structure:** The loadbearing part of the building, comprising the Primary Elements.

**Primary Elements:** Those parts of the building providing the basic loadbearing capacity to the Structure, such as foundations, footings, floor framing, loadbearing walls, beams, or columns. The term 'Primary Elements' also includes other structural building elements including those that provide a level of personal protection such as handrails; floor-to-floor access such as stairways; and the structural flooring of the building such as floorboards.

**Secondary Elements:** Those parts of the building not providing loadbearing capacity to the Structure, or those non-essential elements which, in the main, perform a completion role around openings in Primary Elements and the building in general such as non-loadbearing walls, partitions, wall linings, ceilings, chimneys, flashings, windows, glazing or doors.

**Finishing Elements:** The fixtures, fittings and finishes applied or affixed to Primary Elements and Secondary Elements such as baths, water closets, vanity basins, kitchen cupboards, door furniture, window hardware, render, floor, and wall tiles, trim or paint. The term 'Finishing Elements' does not include furniture or soft floor coverings such as carpet and lino.

**Major Defect:** A defect of significant magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

**Minor Defect:** A defect other than a Major Defect.

**Safety Hazard:** Any item that may constitute an immediate or imminent risk to life, health, or property. Occupational, health and safety or any other consequence of these hazards has not been assessed.

**Tests:** Where appropriate the carrying out of tests using the following procedures and instruments:

Dampness Tests means additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to damp problems. Instrument testing using electronic moisture detecting meter of those areas and other visible accessible elements of construction showing evidence of dampness was performed.

Physical Tests means the following physical actions undertaken by the consultant: opening and shutting of doors, windows and draws; operation of taps; water testing of shower recesses; and the tapping of tiles and wall plaster.

## IMPORTANT ADVICE

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**NB.** In the case of strata and company title properties, the Inspection is limited to the interior and immediate exterior of the particular unit being inspected. The exterior above ground floor level is not inspected. The complete Inspection of other common property areas would be the subject of a Special-Purpose Inspection Report which is adequately specified.

**Trees:** Where trees are too close to the house this could affect the performance of the footing as the moisture levels change in the ground. A Geotechnical Inspection can determine the foundation material and provide advice on the best course of action with regards to the trees.

**The Septic Tanks:** Should be inspected by a licensed plumber.

**Swimming Pools:** Swimming Pools/Spas are not part of the Standard Building Report under AS4349.1-2007 and are not covered by this Report. We strongly recommend a pool expert should be consulted to examine the pool and the pool equipment and plumbing, as well as the requirements to meet the standard for pool fencing. Failure to conduct this Inspection and put into place the necessary recommendations could result in finds for non-compliance under the legislation.

**Surface Water Drainage:** The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Best practice is to monitor the flow of surface water during rainfall and stormwater runoff and have the water directed away from the house or to storm water pipes by a licensed plumber/drainier.

**Weep Holes:** External brick (and stone) walls are a porous material that behave much like a sponge. During a rain event, the masonry wall absorbs water and actually stores it. The weep holes are designed for two purposes. 1. To provide an opening to allow water to drain out through the bottom of the wall. 2. To allow ventilating air to enter behind the wall to help dry the structure. If weep holes have been noted as being not installed, it is recommended to consult a builder on how to best rectify the problem.

**Water Leaks from Roof:** The inspector cannot, and does not, offer an opinion on whether the roof currently leaks or may be subject to future leaks. The only way to determine whether a roof is absolutely watertight is to make observations during prolonged rainfall.

**Subfloor dampness:** The presence of dampness is not always consistent as the prevailing and recent weather conditions at the time an inspection is carried out may affect the detection of damp problems. The absence of any dampness at the time of inspection does not necessarily mean the building will not experience some damp problems in other weather conditions. Likewise, whether or not services have been used for some time prior to an inspection being carried out will affect the detection of dampness.

**Shower:** Where a shower recess has been water tested, and no leakage was evident, this does not necessarily mean that the shower will not leak after prolonged use. Accordingly, to fully detect and assess a damp problem may require the monitoring of the building over a period of time.

## SCOPE AND LIMITATIONS

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**Any person who relies upon the contents of this Report does so acknowledging that the following clauses, which define the Scope and Limitations of the Inspection, form an integral part of the Report.**

**1) This Report is not an all-encompassing** Report dealing with the building from every aspect. It is a reasonable attempt to identify any obvious or significant defects apparent at the time of the Inspection. Whether or not a defect is considered significant or not, depends to a large extent upon the age and type of the building inspected. This Report is not a Certificate of Compliance with the requirements of any Act, Regulation, Ordinance or By-law. It is not a structural Report. Should you require any advice of a structural nature you should contact a structural engineer.

**2) This is a visual Inspection only**, limited to those areas and sections of the property fully accessible and visible to the Inspector on the date of Inspection. The Inspection DID NOT include breaking apart, dismantling, removing, or moving objects including, but not limited to, foliage, mouldings, roof insulation/sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances, or personal possessions. The inspector CANNOT see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector DID NOT dig, gouge, force or perform any other invasive procedures. Visible timbers CANNOT be destructively probed or hit without the written permission of the property owner.

**3) This Report does not and cannot make comment upon:** Defects that may have been concealed; the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the Inspection and whether this will affect the detection of leaks or other defects (e.g. In the case of shower enclosures the absence of any dampness at the time of the inspection does not necessarily mean that the enclosure will not leak); the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from **surface** water drainage); swimming pools and spas (non-structural); detection and identification of illegal building work; detection and identification of illegal plumbing work; durability of exposed finishes; neighbourhood problems; document analysis; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant.

Accordingly, this Report is NOT a guarantee that defects and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property.

**NB.** Such matters may, upon request, be covered under the terms of a 'Special-Purpose Property Report'.

**4) Consumer Complaints Procedure:** In the event of any dispute or claim arising out of, or relating to the Inspection or the Report, you must notify us as soon as possible of the dispute or claim by email, fax, or mail. You must allow us (which includes persons nominated by us) to visit the property (which visit must occur within twenty eight (28) days of your notification to us) and give us full access in order that we may fully investigate the complaint. You will be provided with a written response to your dispute or claim within twenty-eight (28) days of the date of the Inspection.

If you are not satisfied with our response, you must within twenty one (21) days of your receipt of our written response, refer the matter to a Mediator nominated by us from the Institute of Arbitrators and Mediators of Australia. The cost of the Mediator will be borne equally by both parties, and as agreed as part of the mediated settlement.

Should the dispute or claim not be resolved by mediation, then the dispute or claim will proceed to arbitration. The Institute of Arbitrators and Mediators of Australia will appoint an Arbitrator who will hear and resolve the dispute. The arbitration, subject to any directions of Arbitrator, will proceed in the following manner:

**(a)** The parties must submit all written submissions and evidence to the Arbitrator within twenty one (21) days of the appointment of the Arbitrator; and

**(b)** The arbitration will be held within twenty one (21) days of the Arbitrator receiving the written submissions.

The Arbitrator will make a decision determining the dispute or claim within twenty one (21) of the final day of the arbitration. The Arbitrator may, as part of his determination, determine what costs, if any, each of the parties are to pay and the time by which the parties must be paid any settlement or costs.

The decision of the Arbitrator is final and binding on both parties. Should the Arbitrator order either party to pay any settlement amount or costs to the other party but not specify a time for payment, then such payment shall be made within twenty one (21) days of the order.

**NB.** In the event that you do not comply with the above Complaints Procedure and commence litigation against us, then you agree to fully indemnify us against any awards, costs, legal fees, and expenses incurred by us in having your litigation set aside or adjourned to permit the foregoing Complaints Procedure to complete.

**5) Asbestos Disclaimer: “No Inspection for Asbestos was carried out at the property, and no Report on the presence or absence of Asbestos is provided”.**

Buildings built prior to 1982 may have wall and/or ceiling sheeting, and other products including roof sheeting that contains Asbestos. Even buildings built after this date, up until the early 90s, may contain some Asbestos. Sheeting should be fully sealed. If you are concerned, the building was built prior to 1990, or if asbestos is noted as present within the property, then you should seek advice from a qualified asbestos removal expert as to the amount and importance of the asbestos present and the cost of sealing or removal. Drilling, cutting, or removing sheeting or products containing Asbestos is a high risk to peoples’ health. You should seek advice from a qualified asbestos removal expert.

**6) Mould (Mildew and non-wood decay fungi) Disclaimer:** Mildew and non-wood decay fungi are commonly known as mould. However, mould and their spores may cause health problems or allergic reactions, such as asthma and dermatitis in some people. No Inspection for mould was carried out at the property, and no Report on the presence or absence of mould is provided. If mould is noted as present within the property, or if you notice mould and you are concerned as to the possible health risk resulting from its presence, then you should seek advice from your local Council, State or Commonwealth Government Health Department, or a qualified expert such as an Industry Hygienist.

**7) Magnesite Flooring Disclaimer:** No Inspection for Magnesite Flooring was carried out at the property, and no Report on the presence or absence of Magnesite Flooring is provided. You should ask the owner whether Magnesite Flooring is present and/or seek advice from a Structural Engineer.

**8) Estimating Disclaimer:** Any estimates provided in this Report are merely opinions of possible costs that could be encountered, based on the knowledge and experience of the inspector, and are not estimates in the sense of being a calculation of the likely costs to be incurred. The estimates are NOT a guarantee or quotation for work to be carried out. The actual cost is ultimately dependent upon the materials used, standard of work carried out, and what a contractor is prepared to do the work for. It is recommended in ALL instances that multiple independent quotes are sourced prior to any work being carried out. The inspector accepts no liability for any estimates provided throughout this Report.

**9) Note:** If the Client has any doubt about the purpose, scope, and acceptance criteria on which the Report was based please discuss your concerns with the Consultant on receipt of the Report. The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

## IMPORTANT DISCLAIMER

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**Disclaimer Liability:** No Liability shall be accepted on an account of failure of the Report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for Inspection, or to which access for Inspection is denied by or to the Inspector (including but not limited to or any area(s) or section(s) so specified by the Report).

**Disclaimer of Liability to Third Parties:** Compensation will only be payable for losses arising in contract or tort sustained by the Client named on the front of this Report. Any third party acting or relying on this Report, in whole or in part, does so entirely at their own risk. However, if ordered by a Real Estate Agent or a Vendor for the purpose of auctioning a property, then the Inspection Report may be ordered up to seven (7) days prior to the auction, copies may be given out prior to the auction and the Report will have a life of 14 days during which time it may be transferred to the purchaser. Providing the purchaser agrees to the terms of this agreement, then they may rely on the Report subject to the terms and conditions of this agreement and the Report itself.

**NB.** In the ACT under the Civil Law (Sale of Residential Property) Act 2003 and Regulations, the Report resulting from this Inspection may be passed to the purchaser as part of the sale process, providing it is carried out no more than three months prior to listing and is not more than six months old.

**Limited Liability to a Purchaser within the Australian Capital Territory only:** Within the Australian Capital Territory (ACT) and in accordance with the ACT Civil Law (Sale of Residential Property) Act 2003 and Regulations, a copy of the Report may be attached to the Contract for Sale.

**WARNING:** The Purchaser is advised that this Report reflects the condition of the property existing at the time of the Inspection (Inspection Date) and may not reflect the current state. It is, therefore, very strongly recommended that you promptly arrange for another Inspection and Report in accordance with Australian Standard AS4349.1 to be carried out prior to the expiration of the 'Cooling off Period' and settlement.

**This is not a Compliance Report strictly in accordance with Civil Law (Sale of Residential Property) Regulations:** The Report may contain copies of any approved plans, building approvals, building permit and Certificates of Occupancy. However, any comments made by the person who prepared the Report as to whether or not, in the opinion of the Inspector, the structures on the land substantially comply with the approved plans (if any) are made on the basis of a cursory glance of the plans and not upon a detailed examination. Any opinion expressed as to whether or not any building approval or approval under the Land (Planning and Environment) Act, 1991, is based on the limited knowledge and belief, at the time, of the Inspector. The Purchaser is advised that a Special Purpose Report is available through the Inspector to advise more fully in respect to these matters. The structures may have been damaged by pests, storm, strong wind or fire or the Vendor may have carried out alterations and/or additions to the Property since the Inspection Date. The Report may no longer reflect the true condition of the Property. The structure(s) may no longer be in accordance with the attached plans etc. IT IS STRONGLY RECOMMENDED that, if the Purchaser has any concerns in respect to the compliance of the structures, a Special Purpose Report be obtained. Alternatively, the Purchaser should rely upon his, her or their own enquiries.

**Contact the Inspector:** Please feel free to contact the Inspector who carried out this Inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this Report, then you should immediately contact the Inspector and have the matter explained to you. If you have any questions at all, or require any clarification, then contact the Inspector prior to acting on this Report.

## OTHER INSPECTIONS AND REPORTS REQUIRED

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It is strongly recommended that the following Inspections and Reports be obtained prior to any decision to purchase the Property. Obtaining these Reports will better equip the purchaser to make an informed decision. Although appliances may be listed in the Report, they have not been tested as this is outside the scope of the standard Building Inspection. Other Inspections we recommend the purchaser obtains before making their decision are:

- Electrical Inspection,
- Plumbing Inspection,
- Structural (Engineer),
- Geotechnical Inspection,
- Drainage Inspection,
- Asbestos Inspection,
- Mould Inspection,
- Gas fitting Inspection,
- Appliances Inspection,
- Air-conditioning Inspection,
- Alarm/Intercom/Data Systems,
- Hydraulics Inspection,
- Mechanical Services,
- Hazards Inspection,
- Fire/Chimney Inspection,
- Estimating Report,
- Garage Door Mechanical,
- Durability exposed surfaces

## SMOKE DETECTORS

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The occupier/purchaser should satisfy themselves as to the working condition of the smoke detectors, if installed. It is highly recommended that suitable smoke detectors be installed in all residential properties. AS 3786 advises that smoke detectors are required for all buildings where people sleep. It is recommended that an electrician be consulted to advise on those installed or install these detectors.

## CRACKING OF BUILDING ITEMS

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Regardless of the type of crack(s), a Pre-Purchase Building Inspector carrying out a Pre-Purchase Inspection within the scope of a visual Inspection is unable to determine the expected consequences of the cracks.

Obtaining Information regarding the below all fall outside the scope of this Pre-Purchase Inspection:

- (a)** The nature of the foundation material on which the building is resting,
- (b)** The design of the footings,
- (c)** The site landscape,
- (d)** The history of the cracks and,
- (e)** Carrying out an invasive Inspection.

However, the information obtained from the five items above is valuable in determining the expected consequences of the cracking and any remedial work needed. Cracks that are small in width and length on the day of the Inspection may have the potential to develop over time into structural problems for the homeowner, resulting in major expensive rectification work being carried out. If cracks have been identified in the Report above, then a Structural Engineer is required to determine the significance of the cracking prior to a decision to purchase.

## NOTICE TO THE PURCHASER (ACT ONLY)

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(a) At the Exchange, and prior to the 'Cooling-off Period', you were given an Inspection Report on the property you intend on purchasing. This Report reflects the condition of the property existing at the time of the Inspection (Inspection Date) and may not reflect the current state. The structures may have been damaged by pests, storm, strong wind or fire or the vendor may have carried out alterations and/or additions to the property since the Inspection date. The Report may no longer reflect the true condition of the property. The structure(s) may no longer be in accordance with the attached plans etc. It is, therefore, very strongly recommended that you urgently arrange for another Inspection and Report in accordance with Australian Standard AS 4349.1 to be carried out prior to exchange, or prior to the expiration of any 'Cooling Off Period' and prior to settlement.

(b) If the Report indicated the presence of termite damage, or recommends any other Inspections or treatments, you should obtain copies of these Reports and any treatment proposals, certificates of treatment carried out, including details of all repairs including copies of quotations, invoices, and any other Reports. It is strongly recommended that you arrange for an Inspection and Report in accordance with AS 4349.3 to verify that the treatment has been successful and carried out in accordance with AS 3660.2, and a further building Inspection in accordance with AS 4349.1.

(c) If you fail to procure a further Inspection and Report as recommended in (a) and (b), or fail to obtain copies of other Reports, treatment proposals, certificates of treatment carried out, details of all repairs including copies of quotations, invoices and any other Reports as recommended in (b) above, then you agree that you have decided not to have a further Inspection and Report carried out, or to obtain copies of treatment proposals, certificates of treatment carried out, details of all repairs including copies of quotations, invoices and any other Reports and have relied upon your own enquires and the Report, knowing the possible consequences, and that the condition of the property, as stated in the Report, may have changed.

(d) You agree that the person carrying out the Inspection **and** the company, partnership or sole trader that employs that person will have no liability to you for any damage or loss you may suffer as a result of your entering the contract to purchase the property, or in connection with completing the purchase of the property as a result of your failure to heed the advice given in (a) and (b) and the warning contained in (c) above, and may use such failure in defense of any claim that you may later make against any of them.

**NB.** It is a condition of your right to rely upon the Report that you transmit by fax, post, or otherwise deliver the signed "Notice to the Purchaser" (ACT only) to the company, partnership or sole trader at the address detailed on the front of the Report not less than four (4) days prior to the date of settlement. If you fail to complete, sign, or deliver the Notice then it will be deemed that you did not rely upon the report in respect to your decision as to whether or not to purchase the property. This may seriously affect any rights to future compensation to which you may be entitled.

**Please cross out the statement below that does not apply: - At the date of settlement, not more than 180 days will have elapsed since the Inspection date.**

1. I/We have read and understood the 'Limited Liability to a Purchaser within the Australian Capital Territory only' clause of the Report, and this Notice to the Purchaser. I/We have not arranged for another inspection and report in respect of the property, and it is my/our intention to **rely upon the findings contained in the report**; or

2. I/We have **arranged for another Inspection of the Property and Report** to be carried out, which I/We will use in conjunction with this Report in deciding whether to proceed with the purchase of the property; or

3. I/We have read and understood the 'Limited Liability to a Purchaser within the Australian Capital Territory only' clause of the Report, and this Notice to the Purchaser. I/We have not arranged for another Inspection and Report in respect of the property and have **relied on my/our own enquiries in respect of the condition of the property** as at the date of settlement including any changes in the condition of the property that have taken place since the Inspection date stated in the Report

# Timber Pest Report



## SUMMARY SHEET

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**Property Address:** 5 Northcote Cres, Deakin ACT 2600  
**Client:** Miladinovic  
**Inspection Date:** Wednesday, June 17<sup>th</sup> 2026  
**Inspection carried out by:** Duncan Clark

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This summary is supplied to allow a quick and superficial overview of the Inspection results. This summary is NOT the Report and cannot be relied upon on its own. This summary must be read in conjunction with the full Report and not in isolation from the Report. If there should happen to be any discrepancy between anything in the Report, and anything in this summary, the information in the Report shall override that in the summary. The Report is subject to conditions and limitations. Your attention is particularly drawn to the clauses, disclaimer of liability to third parties, limited liability to a purchaser with the Australian Capital Territory (ACT), and to the notice to the purchaser at the back of this Report.

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### 1.0 ACCESS LIMITATIONS

**There were access limitations to the inspection/report. Please refer to section 1.0 of the report.**

### 2.0 TERMITE ACTIVITY

**No active subterranean termites (live specimens) were found.**

**No visible evidence of subterranean termite workings or damage was found.**

### 3.0 BORER ACTIVITY

**No visible evidence of borers of seasoned timbers was found.**

### 4.0 DECAY FUNGI

**No evidence of damage caused by wood decay (rot) fungi was found.**

For complete and accurate information, please refer to the attached 'Visual Timber Pest Report', which is prepared in accordance with AS 4349.3.

## CONDITIONS OF THIS INSPECTION

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### Important Information:

Any person who relies upon the contents of this Report does so acknowledging that the following clauses, which define the scope and limitations of the Inspection, form an integral part of the Report.

This is a **Visual Inspection Only**, prepared in accordance with AS 4349.3, 'Inspection of Buildings Part 3: Timber Pest Inspections'. Visual Inspection was limited to those areas and sections of the property to which reasonable access (see definition) was both available and permitted on the date of Inspection.

The Inspection **did not** include breaking apart, dismantling, removing, or moving objects including but not limited to – foliage, mouldings, roof insulation/sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances, or personal possessions.

The Inspector **cannot** see inside walls, between floors, inside skillion roofing, inside the eaves, behind stored goods in cupboards, or in any other areas that are concealed or obstructed.

The Inspector **did not** dig, gouge, force or perform any other invasive procedures. An invasive Inspection will not be performed unless a separate contract is entered into.

In an occupied property, it must be understood that furnishings or household items may be concealing evidence of Timber Pests, which may only be revealed when the items are moved or removed.

In the case of strata type properties, only the interior of the unit is inspected.

### Scope of Report:

This Report only deals with the detection or non-detection of Timber Pest Attack and Conditions Conducive to Timber Pest Attack discernible at the time of inspection. The inspection was limited to the Readily Accessible Areas of the Building and Site (see note below) and was based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests. Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

### Limitations:

The Client acknowledges:

**(a)** This Report does not include the inspection and assessment of matters outside the scope of the requested inspection and report.

**(b)** The inspection only covered the Readily Accessible Areas of the Building and Site. The inspection did not include areas which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include – but are not limited to – roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements, or earth.

**(c)** The detection of dry wood termites may be extremely difficult due to the small size of the colonies. No warranty of absence of these termites is given.

**(d)** European House Borer (*Hylotrupes bajulus*) attack is difficult to detect in the early stages of infestation as the galleries of boring larvae rarely break through the affected timber surface. No warranty of absence of these borers is given. Regular inspections including the carrying out of appropriate tests are required to help monitor susceptible timbers.

**(e)** This is not a structural damage report. Neither is this a warranty as to the absence of Timber Pest Attack.

**(f)** If the inspection was limited to any particular type(s) of timber pest (e.g., subterranean termites), then this would be the subject of a Special-Purpose Inspection Report, which is adequately specified.

**(g)** This Report does not cover or deal with environmental risk assessment or biological risks not associated with Timber Pests (e.g., toxic Mould) or occupational, health or safety issues. Such advice may be the subject of a Special-Purpose Inspection Report which is adequately specified and must be undertaken by an appropriately qualified inspector. The choice of such inspector is a matter for the Client.

**(h)** This Report has been produced for the use of the Client. The Consultant or their firm or company are not liable for any reliance placed on this report by any third party, except as provided in the section Limited Liability To a Purchaser within the Australian Capital Territory.

**Determining extent of Damage:**

This is not a structural building report, and any inexpert opinion we provide on timber damage cannot be relied upon. This Report **will not** state the full extent of any Timber Pest damage. It will state Timber Pest Damage found as either 'slight', 'moderate', 'moderate to extensive', or 'extensive', and this information is not the opinion of an expert. If any evidence of Timber Pest activity and/or damage resulting from Timber Pest activity is reported, either in the structure(s) or the grounds of the property, then you must assume that there may be concealed structural damage within the building(s).

This concealed damage may only be found when wall linings, cladding or insulation are removed to reveal previously concealed timbers. In this case, an Invasive Timber Pest Inspection (for which a separate contract is required) is strongly recommended, and you should arrange for a qualified professional such as a builder, engineer, or architect to carry out a structural Inspection to determine the full extent of the damage, and the extent of repairs that may be required. You agree that neither we, nor the individual conducting the Inspection, are responsible or liable for the repair of any damage, whether disclosed by the Report or not.

**Disclaimer of Liability:**

No liability shall be accepted on account of failure of the Report to notify any termite activity and/or damage present at, or prior to, the date of the Report, in any area(s) or section(s) of the subject property physically inaccessible for Inspection, or to which access for Inspection is denied by, or to, the licensed Inspector (including, but not limited to, any area(s) or section(s) specified by the Report).

## 1.0 ACCESS LIMITATIONS

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### 1.1 Area(s) inspected:

Only structures, fences &/or trees within 50m of the building but within the property boundaries were inspected.

### 1.2 Common area(s) not inspected:

No Inspection was made, and no Report will be submitted, of inaccessible area(s).

These include, but may not be limited to; cavity walls, concealed frame timbers, eaves, flat roofs, fully enclosed patios, inaccessible parts of the subfloors, inaccessible parts of the roof void, soil concealed by concrete floors, fireplace hearths, wall linings, landscaping, rubbish, floor coverings, furniture, pictures, appliances, stored items, insulation, and hollow blocks/posts etc.

### 1.3 Area(s) in which visual inspection was obstructed or restricted and why:

**Ceiling framing timbers were concealed by insulation and ducting flex. Clothing and other stored items concealed timbers in cupboards and built in robes/closets. Furniture and stored items concealed some of the skirting boards and architraves inside the house. The inspection of the roof void was restricted to a visual inspection from the roof access point in bedroom 4 due to the low roof pitch not allowing bodily access.**

**NB.** Please note that since a complete Inspection of the above area(s) was not possible, Timber Pest activity and/or damage may exist in these areas.

### 1.4 The property was furnished at the time of inspection.

Where a property is furnished at the time of Inspection, it must be understood that the furnishings and stored goods may be concealing evidence of Timber Pest activity. This evidence may be revealed when the property is vacated, and a further Inspection of the vacant property is strongly recommended if the house was furnished at the time of inspection.

### 1.5 Undetected timber pest risk assessment is considered Low/Moderate.

**NB.** Where the risk is considered "Moderate" or "Moderate-High" or "High", a further inspection is strongly recommended of areas that were not readily accessible, and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This may require the moving, lifting or removal of obstructions such as floor coverings, furniture, stored items foliage and insulation. In some instances, it may also require the removal of ceiling and wall linings, and the cutting of traps and access holes. Seek further advice from your Consultant.

## 2.0 TERMITE ACTIVITY

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**2.1 No active (live) termites were present at the time of Inspection.**

**2.2 No visible evidence of subterranean termite workings and/or damage was found.**

**2.3 A termite nest was not found.**

**2.4 No evidence of timber damage caused by Termite attack was visible at the time of the Inspection.**

NB. Where evidence of termite activity by the *Nasutitermes* or *Coptotermes* species was found in the grounds, the risk to buildings is very high. A treatment to eradicate the termites and to protect the building(s) should be carried out. Where the evidence of termite workings was found in the grounds or the building(s), then the risk of a further attack is very high.

### **2.5 Very important:**

If live termites or any evidence of termite workings or damage was reported above, within the building(s) or in the grounds and fences, then it must be assumed that there may be concealed termite activity and/or timber damage. This concealed activity or damage may only be found when alterations are carried out, such as when wall linings, cladding or insulation are removed; or if you arrange for an invasive Inspection. We claim no expertise in structural engineering or building, and we strongly recommend that you have a qualified professional such as a builder, engineer, architect, or other qualified expert determine the full extent of the damage, if any. This may require an invasive Inspection. We take no responsibility for the repair of any damage, whether disclosed by this Report or not (see 'Terms and Limitations').

Where visual evidence of termite workings and/or damage is reported above, but no live termites were present at the time of Inspection, you must realise that it is possible that termites are still active in the immediate vicinity, and that the termites may continue to cause further damage. It is not possible, without further investigation and a number of Inspections over a period of time, to ascertain whether any infestation is active or inactive. Active termites may simply have not been present at the time of Inspection due to a prior disturbance or climatic conditions, or they may have been utilizing an alternative feeding source.

Continued, regular Inspections are essential. Unless written evidence of a termite protection program in accordance with 'AS 3660' with ongoing Inspections is provided, you must arrange for a treatment in accordance with 'AS 3660' to be carried out to reduce the risk of further attack.

**2.6 Previous termite treatment: There were no signs of a termite treatment or evidence of a possible previous termite treatment, at the time of inspection.**

**NB.** If there is evidence of drill holes in concrete or brickwork, bait stations or other signs of a possible previous treatment are reported, then the treatment was probably carried out because of an active termite attack. Extensive structural damage may exist in concealed areas. You should have an invasive Inspection carried out, and have a builder determine the full extent of any damage, and the estimated cost of repairs, as the damage may only be found when wall linings etc. are removed. Normally, if a termite treatment has been carried out, then a durable notice should be located in the metre box, indicating the type of termite shield system, treated zone or combination that has been installed.

**2.7 Termite management: A termite management notice was not found in the meter box; however, due to the age of the residence a barrier system should have been installed.**

This firm can give no assurances with regard to work that may have been previously performed by other firms. You should obtain copies of all paperwork and make your own enquiries as to the quality of the treatment when it was carried out, and warranty information. In most cases, you should arrange for a treatment in accordance with "Australian Standard 3660" to be carried out to reduce the risk of further attack.

**2.8 General remarks:**

Where any current visible evidence of Timber Pest activity is found, it is strongly recommended that a more invasive Inspection be performed. Trees on and near the property up to a height of 2 metres, have been visually Inspected where possible and practicable, for evidence of Termite activity. It is very difficult to locate termite nests since they are underground, and evidence in trees is usually well concealed. Therefore, we strongly recommend that you arrange to have the medium to large eucalypt trees within a 50 metre radius of the property test drilled for evidence of termite nests.

### 3.0 BORER ACTIVITY

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#### 3.1 No visible evidence of borers was found.

The **Lyctid Borer** - The most common lyctid borer in Australia is **Lyctus brunneus (powder post beetle)**. Attack usually takes place during the first six to twelve months of the service life of timber. However, the powder post beetle is not considered a significant pest of timber and treatment of infestation is not usually required. As only the sapwood of certain hardwoods is destroyed, larger-dimensional timbers (such as rafters, bearers, and joists) in a building are seldom weakened significantly to cause collapse. The **Anobiid Borer** There are many different species of Anobiid borer, the most frequently encountered being *Anobium punctatum* (furniture beetle) and *Calymmaderus incisus* (Queensland pine beetle). Attack mainly occurs to softwoods especially pine timbers such as floorboards that have been in service for at least ten years. Should any structural timbers be attacked by Anobiid borers it is often difficult to determine what extent the borer damage has weakened such timbers and replacement is often the only way of ensuring safety from collapse.

In the case of Anobiid borers, once an attack is initiated it is unlikely to cease or die out of its own accord without some sort of eradication treatment. Therefore, unless proof of treatment is provided, evidence of an attack must always be considered active. Although a chemical treatment is an option, replacement of infested timbers with non-susceptible, or treated timber, is the most effective method of treatment. Before any option is considered, competent advice (e.g., from a licensed building contractor) should be sought to determine the extent of any structural damage, and as to the need or otherwise for rectification or repair work.

**Other Borers:** A further (more invasive) investigation is strongly recommended to determine whether infestation is still active and to positively identify the borer species responsible for the attack. Always seek further advice from the Consultant.

**Management Program:** Wherever practical, remove any conditions conducive to attack (e.g., *Anobium* borer thrive in badly ventilated subfloor areas). Regular inspections are recommended at intervals not exceeding 12 months. Always seek further advice from the Consultant.

## 4.0 DECAY FUNGI

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### 4.1 No evidence of damage caused by wood decay (rot) fungi was found.

**NB.** If any evidence of fungal decay or damage is reported, you should consult a building expert to determine the full extent of damage, and the estimated cost of repairs or timber.

**General Description of Attack** Decaying wood contains sufficient moisture to retain its original shape and may have sufficient strength to withstand normal loads. In contrast decayed wood is reduced both in moisture content and size as indicated by cracking either along or across the grain or fibres coming apart in a stringy manner. Decayed wood will have undergone considerable strength reduction.

**Economic Significance** Fungal decay can cause at one extreme, structural failure of the affected timber, and at the other purely superficial surface damage. The most critical determination is that of which timber is affected and decaying because decay will most likely spread (unless sources of moisture are quickly removed). Affected and decayed timber may warrant timber replacement, but the rot should not spread unless a new moisture source becomes available in that area.

Where evidence of decayed timber exists, competent advice (e.g., from a licensed or registered building contractor) should be sought to determine the extent of any structural damage, and as to the need or otherwise for rectification or repair work. It is important to correct any condition conducive to attack prior to replacing decayed wood.

Where evidence of decaying timber exists, competent advice (e.g., from a licensed or registered building contractor) should be sought to remove the condition(s) conducive to attack, and to determine the extent of any structural damage, and as to the need or otherwise for rectification or repair work.

Where the full extent of damage or the overall condition of the timber is undetermined a further inspection is strongly recommended by a competent person (e.g., from a licensed or registered building contractor). This may require monitoring of the timber over a period and include the assessment of conditions conducive to attack in different weather conditions (e.g., to determine the adequacy of existing drainage).

**Management Program** Remove any conditions conducive to attack (e.g., lack of ventilation or the presence of excessive moisture). Regular inspections are recommended at intervals not exceeding 12 months. Always seek further advice from the Consultant.

## 5.0 CONDITIONS THAT ARE CONDUCTIVE TO TIMBER PESTS

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### 5.1 Water leaks: At the time of the inspection no leaks were found to be present.

Water leaks, especially in or into the subfloor, or against the external walls; increase the likelihood of termite attack. Leaking showers or leaks from other 'wet areas' also increase the likelihood of concealed termite attack. Hot water overflows should be plumbed away from the building.

**NB.** We claim no expertise in building, and if any leaks were reported, you should consult a plumber or other building expert to determine the full extent of damage, and the estimated cost of repairs.

### 5.2 Moisture/drainage: Not applicable as the home is built on a concrete slab.

Lack of Adequate Subfloor Ventilation Inadequate ventilation provides a condition suitable for timber pest infestation. For example, subterranean termites thrive in damp humid conditions typical of those provided in a poorly ventilated subfloor space. Where evidence of a lack of adequate ventilation has been identified in the report, the Client should seek competent advice (e.g., from a licensed or registered building contractor) regarding upgrading ventilation. The Presence of Excessive Moisture Ground levels around the building should be maintained in such a way to minimise water entering under the building. Also, the ground surface in subfloor areas should be kept graded to ensure that moisture does not pond or accumulate in any area. Where necessary, sub-surface drains should be installed and maintained to assist with drainage around and under the building. Likewise, the presence of excessive moisture can often be directly related to ventilation limitations and the resultant high humidity. Also, plumbing oversights and defects such as a leaking drain or tap will provide a microclimate conducive to timber pest attack. Where necessary, the Client should seek competent advice (e.g., from a licensed or registered plumbing contractor) to determine the adequacy of existing drainage and remove any conditions conducive to the presence of excessive moisture. The building may need to be monitored over a period of time to detect or confirm a damp problem. The presence of dampness (including moisture) is not always consistent as the prevailing and recent weather conditions at the time an inspection is carried out may affect the detection of damp problems. Importantly, precipitation at or near the time of inspection does not necessarily guarantee that a damp problem will automatically be evident due to such circumstances as prevailing wind conditions or intensity of rainfall. The absence of any dampness at the time of inspection does not necessarily mean the building will not experience some damp problems in other weather conditions. Likewise, whether services have been used for some time prior to an inspection being carried out will affect the detection of dampness.

### 5.3 Ventilation: Not applicable as the home is built on a concrete slab.

Lack of Adequate Subfloor Ventilation Inadequate ventilation provides a condition suitable for timber pest infestation. For example, subterranean termites thrive in damp humid conditions typical of those provided in a poorly ventilated subfloor space. Where evidence of a lack of adequate ventilation has been identified in the report, the Client should seek competent advice (e.g., from a licensed or registered building contractor) in regard to upgrading ventilation.

### 5.4 Hot water services and air conditioning units: There is no need for this work to be carried out.

Hot water services and air conditioning units which release water alongside or near to building walls should be piped to a drain (if not possible then several metres away from the building), as the resulting wet area is highly conducive to termites.

### 5.5 Slab edge exposure: The slab edge inspection zone does not apply to this property.

Where external concrete slab edges are not exposed, there is a high risk of concealed termite entry.

In some buildings built since July 1995, the edge of the slab forms part of the termite shield system. In these buildings an Inspection zone of at least 75mm should be maintained to permit detection of termite entry. The edge should not be concealed by render, tiles, cladding, flashings, adjoining structures, paving, soil, turf, or landscaping etc. Where this is the case, you should arrange to have the slab edge exposed for Inspection.

Concealed termite entry may already be taking place but could not be detected at the time of the Inspection. This may have resulted in concealed timber damage.

**NB.** A very high proportion of termite attacks are over the slab edge. Covering the slab edge makes concealed entry easy. This is particularly true of infill type slab construction. Termite activity and/or damage may be present in concealed timbers of the building. We strongly recommend frequent regular inspections in accordance with AS 3660.2.

**5.6 Weep holes in external walls: Weep holes were clear allowing the free flow of air.**

It is very important that soil, lawn, concrete paths, or pavers do not cover the weep holes. Sometimes, they have been covered during the rendering of the brick work. They should be clean and free flowing and covering the weep holes in part or in whole may allow undetected termite entry.

**5.7 Termite shields: Not applicable as the home is built on a concrete slab.**

Termite Shields (Ant Caps) should be in good order and condition, so termite workings are exposed and visible. This helps prevent termites from gaining undetected entry. Joints in the shielding should have been soldered during the installation. If it is observed that the joints in the shielding have not been soldered, then the shielding must be reported as inadequate. It may be possible for a builder to repair the shielding. If not, a chemical treated zone may need to be installed to deter termites from gaining concealed access to the building. Missing, damaged or poor shields increase the risk of termite infestation. If considered inadequate, a builder or other building expert should be consulted.

Other physical shield systems are not visible to inspection and no comment is made on such systems.

**5.8 Bridging or breaching of termite barriers and inspection zones: No bridging or breaching was found.**

“Bridging” is the spanning of a termite barrier or inspection zone so that subterranean termites are provided with passage over or around that barrier. “Breaching” is the making of a hole or gap in a termite barrier so that termites are provided with a passage through that barrier.

**5.9 Other area(s) and/or situations that appear conducive to (may attract) subterranean termite infestation: Medium to large trees and stumps within a 50 metre radius of the property, due to the nesting conditions.**

## 6.0 OVERALL ASSESSMENT OF THE PROPERTY

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**6.1** Where evidence of live termites, termite damage or termite workings (mudding) was found in the building(s) then the risk of a further attack is extremely high.

Where evidence of live termites, termite damage or termite workings was found in the grounds but not in the building(s) then the risk to buildings must be reported as high to extremely high.

**6.2** At the time of the Inspection, the degree of risk of subterranean termite infestation to the overall property was considered to be **Moderate**.

**6.3 Subterranean Termite Treatment Recommendation:** A management program in accordance with AS 3660-2000 to protect against subterranean termites is considered **not essential, but 6 to 12 monthly inspections are essential**.

**6.4 Future Inspections:** AS 3660.0-2000 recommends “regular competent Inspections should be carried out at least on an annual basis, but more frequent Inspections are strongly recommended”.

It goes on to inform that “regular Inspections will not prevent termite attack but may help in the detection of termite activity. Early detection will allow remedial treatment to be commenced sooner, and damage to be minimized”.

Due to the degree of risk of subterranean termite infestation noted above and all other findings of this Report; we strongly recommend that a full Inspection and written Report in accordance with AS 4349.3 or AS 3660.2-2000 is conducted at this property every 6 months, but no more than 12 months.

## DEFINITIONS

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**Timber Pest Attack:** Means Timber Pest Activity and/or Timber Pest Damage.

**Timber Pest Activity:** Means telltale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.

**Timber Pest Damage:** Means noticeable impairments to the integrity of timber and other susceptible materials resulting from attack by Timber Pests.

**Major Safety Hazard:** Means any item that may constitute an immediate or imminent risk to life, health or property resulting directly from Timber Pest Attack. Occupational, health and safety or any other consequence of these hazards has not been assessed.

**Conditions Conducive to Timber Pest Attack:** Means noticeable building deficiencies or environmental factors that may contribute to the presence of Timber Pests.

**Readily Accessible Areas:** Means areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry. The term 'readily accessible' also includes accessible subfloor areas on a sloping site where the minimum clearance is not less than 150 mm high, provided that the area is not more than 2 metres from a point with conforming clearance (i.e., 400 mm high by 600 mm wide); and areas at the eaves of accessible roof spaces that are within the consultant's unobstructed line of sight and within arm's length from a point with conforming clearance (i.e. 600 mm high by 600 mm wide).

**Client:** Means the person or persons for whom the Timber Pest Detection Report was carried out or their Principal (i.e., the person or persons for whom the report was being obtained).

**Timber Pest Detection Consultant:** Means a person who meets the minimum skills requirement set out in the current Australian Standard AS 4349.3 Inspections of Buildings. Part 3: Timber Pest Inspection Reports or state/territory legislation requirements beyond this Standard, where applicable.

**Building and Site:** Means the main building (or main buildings in the case of a building complex) and all timber structures (such as outbuildings, landscaping, retaining walls, fences, bridges, trees, and stumps with a diameter greater than 100 mm and timber embedded in soil) and the land within the property boundaries up to a distance of 50 metres from the main building(s).

**Timber Pests:** Means one or more of the following woods destroying agents which attack timber in service and affect its structural properties:

**Chemical Delignification:** The breakdown of timber through chemical action.

**Fungal Decay:** The microbiological degradation of timber caused by soft rot fungi and decay fungi, but does not include Mould, which is a type of fungus that does not structurally damage wood.

**Wood Borers:** Wood destroying insects belonging to the order 'Coleoptera' which commonly attack seasoned timber.

**Termites:** Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.

**Tests:** Means additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to attack by Timber Pests. Instrument testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

**Instrument Testing:** Means where appropriate the carrying out of Tests using the following techniques and instruments:

- (a) Electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements.
- (b) Stethoscope - an instrument used to hear sounds made by termites within building elements.
- (c) Probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g., bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees; and
- (d) Sounding - a technique where timber is tapped with a solid object.

## IMPORTANT MAINTENANCE ADVICE REGARDING INTEGRATED PEST MANAGEMENT FOR PROTECTING AGAINST TIMBER PESTS

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You should read and understand the following important information. It will help explain what is involved in a Timber Pest Inspection, the difficulties faced by a Timber Pest Inspector, and why it is not possible to guarantee that a property is free of Timber Pests. It also details important information about what you can do to help protect your property from Timber Pests. This information forms an integral part of the Report. Any structure can be attacked by Timber Pests. Periodic maintenance should include measures to minimise possibilities of infestation in and around a property. Factors which may lead to infestation from Timber Pests include situations where the edge of the concrete slab is covered by soil or garden debris, filled areas, areas with less than 400mm clearance, foam insulation at foundations, earth/wood contact, damp areas, leaking pipes, etc.; form-work timbers, scrap timber, tree stumps, mulch, tree branches touching the structure, wood rot, etc. Gardens, pathways, or turf abutting or concealing the edge of a concrete slab will allow for concealed entry by timber pests any timber in contact with soil such as form-work, scrap timbers or stumps must be removed from under and around the buildings and any leaks repaired. You should endeavor to ensure such conditions DO NOT occur around your property. We further advise that you engage a professional pest control firm to provide a termite management program in accord with AS 3660 to minimise the risk of termite attack. There is no way of preventing termite attack. Even AS 3660 advises that "the provision of a complete termite barrier will impede and discourage termite entry into a building. It cannot prevent termite attack. Termites can still bridge or breach barriers, but they can be detected more readily during routine inspections."

### **Reasonable access:**

Unless specified in writing, the inspection only covered the Readily Accessible Areas of the Building and Site.

The inspection did not include areas which were inaccessible, not readily accessible or obstructed at the time of inspection. Areas which are not normally accessible were not inspected and include - but not limited to – inside walls, the interior of a flat roof or beneath a suspended floor filled with earth.

Building Interior, the Consultant did not move or remove any ceilings, wall coverings, flooring, floor coverings (including carpeting), furnishing, equipment, appliances, pictures, or other household goods. In an occupied property, furnishings or household items may be concealing evidence of timber pest attack which may only be revealed when the items are moved or removed.

Building Exterior, Roof Exterior and Site, the Consultant did not move or remove any obstructions such as wall cladding, awnings, trellis, earth, plants, bushes, foliage, stored materials, debris, or rubbish. Due to the 'secretive' nature of timber pests, it is possible that hidden damage may exist in concealed areas, e.g., wall framing. Damage may only be found when the obstruction is removed. In the case of buildings constructed on concrete slabs, if the edge of the slab or any weep hole or vent at the base of external walls is concealed by pavements, gardens, lawns, or landscaping then it is possible for termites to gain undetected entry into the building. The building of gardens or planting of shrubs close to the perimeter of the building can promote and conceal termite entry points. The storage of cellulose materials such as building materials and firewood near the ground or building may encourage termite activity.

Roof Space Obstructions such as roofing, stored articles, thermal insulation, sarking, and pipe/duct work may be concealing evidence of timber pest attack which may only be revealed when the obstructions are moved or removed. Also, bodily access should be provided to the interior of all accessible roof spaces. In accordance with Australian Standard ASS 4349 the minimum requirement is a 400mm by 500 mm access manhole.

Subfloor Space Subfloor areas should be kept free from all vegetation (including tree stumps) and other cellulose material which may encourage timber pest activity. Also, storage of materials in subfloor areas is not recommended as it reduces ventilation and makes inspection difficult. Obstructions may be concealing evidence of timber pest attack which may only be revealed when the obstructions are moved or removed. Bodily access should be provided to all accessible subfloor areas with the minimum requirement being a 500 mm x 400 mm access manhole. In the case of suspended floors, if the clearance between the ground and structural components is less than 400 mm, then the ground should be excavated to provide the required clearance, subject to maintaining adequate drainage and support to footings. If the subfloor has been sprayed for subterranean termites or if the area is susceptible to mould growth, appropriate health precautions must be followed before entering the area. Also, special care should be taken not to disturb the treated soil. Always seek further advice from the Consultant.

A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

**A more invasive physical inspection is available and recommended:**

As detailed above, there are many limitations to this visual inspection only. With the permission of the owner of the premises we WILL perform a more invasive physical inspection that involves moving or lifting insulation, stored items, furniture, or foliage during the inspection. We WILL physically touch, tap, test and when necessary, force/gouge suspected accessible timbers. We WILL gain access to areas, where physically possible and considered practical and necessary, by way of cutting traps and access holes.

This style of Report is available by ordering with several days' notice. Inspection time for this style of Report will be greater than for a VISUAL INSPECTION.

It involves disruption in the case of an occupied property, and some permanent marking is likely. You must arrange for the written permission of the owner who must acknowledge all the above information and confirm that our firm will not be held liable for any damage caused to the property.

A price is available on request.

**Concrete slab homes:**

Homes constructed on concrete slabs pose special problems with respect to termite attack. If the edge of the slab is concealed by concrete paths, patios, pavers, garden beds, lawns, foliage, etc. then it is possible for termites to affect concealed entry into the property, and they can then cause extensive damage to concealed framing timbers. Even the most experienced Inspector may be unable to detect their presence due to concealment by wall linings. Only when the termites attack timbers in the roof void, which may in turn be concealed by insulation, can their presence be detected. Where termite damage is in the roof, it should be expected that concealed framing timbers will be extensively damaged. With a concrete slab home, it is imperative that you expose the edge of the slab and ensure that foliage and garden beds do not cover the slab edge. Weep holes must be kept free of obstructions.

It is strongly recommended that you have a Termite Inspection in accordance with AS 3660.2 carried out every 6 to 12 months.

**Subterranean termites:**

No property is safe from termites. General Description of Attack Timber hollowed beneath; some cracking at the surface of timber; earthen channels present; or pale faecal spots present.

**Important note:**

As a delay may exist between the time of an attack and the appearance of telltale signs associated with the attack, it is possible that termite activity and damage exists though not discernible at the time of inspection.

Treatment After discovery of an active infestation, it is imperative that the species of termite is accurately identified before costly (and sometimes unnecessary or inappropriate) methods of treatment are initiated. Only economically important species which are known to attack timber structures should be treated.

In the case of economically important species, it is important that the termite workings are not further disturbed until the proposed method of control has been determined by a licensed pest control operator. Premature attempts to repair or replace infested timber may cause the termites to withdraw from the area temporarily, thereby hindering effective treatment. Any repair or replacement of infested timber should be carried out after the appropriate treatment has been completed.

Where evidence of active termites is detected within a building or within 50 metres of any building, it must always be assumed that the termites may also be active in areas of the property not inspected. Accordingly, where the termites are known to be of economic significance, a further (more invasive) inspection is strongly recommended of areas which were inaccessible, not readily accessible or obstructed at the time of inspection.

Termite Workings and Damage Where evidence of damage to building timbers exists, competent advice (e.g. from a licensed or registered building contractor) should be obtained to determine the extent of any structural damage and as to the need or otherwise for rectification or repair work.

Where evidence of inactive termites is located within the building, it is possible that termites are still active in areas of the property not inspected and they may continue to cause damage. A furthermore invasive inspection is strongly recommended of areas which were inaccessible, not readily accessible or obstructed at the time of inspection.

Where evidence of an inactive termite infestation exists, it is not possible, without benefit of further investigation and inspections over a period, to ascertain whether any infestation is active or inactive. Continued, regular, inspections are essential.

Where evidence of termite attack exists to any trees or tree stumps a more conclusive search should be undertaken. This may require the tree or stump to be drilled to determine the existence of a termite nest. In addition, the soundness and stability of any standing trees identified as being affected by termite attack should be confirmed. Always seek further advice from the Consultant.

**Previous Treatments** Where evidence of a possible termite treatment was located, the Client should obtain and keep on file all relevant documents pertaining to the extent of the treatment, any service warranties and advice in regard to the building owner's obligation to maintain the treatment and/or barrier. If evidence of a previous treatment of termite infestation is noted, and appropriate documentation is not available, the Client must assume that the termite infestation may still be active in areas of the property not inspected. Accordingly, a re-treatment may be required. Always seek further advice from the Consultant.

**Frequency of Future Inspections** Australian Standard AS 3660 recognises that regular inspections will not prevent termite attack but may help in the detection of termite activity. Early detection will allow remedial treatment to be commenced sooner and damage to be minimised.

Inspections at intervals not exceeding twelve (12) months are recommended. Where the termite risk is high or the building type susceptible to termite attack, more frequent inspections (3-6 months) should be undertaken.

**Risk management options:**

To help protect against financial loss, it is essential that the building owner immediately control or rectify any evidence of destructive timber pest activity or damage identified in this inspection report. The Client should further investigate any high-risk area where access was not gained. It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of conditions conducive to timber pest attack.

To help minimise the risk of any future loss, the Client should consider whether the following options to further protect their investment against timber pest infestation are appropriate for their circumstances:

Undertake thorough regular inspections at intervals not exceeding twelve months or more frequent inspections where the risk of timber pest attack is high, or the building type is susceptible to attack. To further reduce the risk of subterranean termite attacks, implement a management program in accordance with Australian Standard AS 3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS 3660 stresses that subterranean termites can bridge, or breach barrier systems and inspection zones and that thorough regular inspection of the building are necessary.

**CONTACT THE INSPECTOR**

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Please feel free to contact the Inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties or timber pest activity and/or damage in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this Report, then you should immediately contact the Inspector and have the matter explained to you.

If you have any questions at all or require any clarification, then contact the Inspector prior to acting on this Report.

## NOTICE TO THE PURCHASER

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**(a)** Prior to or on Exchange, and prior to the commencement of the 'Cooling-off Period', you were given an Inspection Report on the Property you intend on purchasing ("the Report"). The Purchaser is advised that this Report reflects the condition of the property existing at the time of the Inspection (Inspection Date) and may not reflect the current state. Timber Pests, particularly Termites, may have gained entry to the property since the Inspection Date. Termites can, in a relatively short period, cause significant damage to both structural and non-structural timbers within and around the buildings of the Property.

Termites (white ants) may be difficult to detect and much of the damage caused may not be readily visible. If damage exists, then it may cost thousands of dollars to repair.

It is, therefore, very strongly recommended that you urgently arrange for another Inspection and Report in accordance with AS4349.3 to be carried out prior to exchange, or prior to the expiration of any 'Cooling off Period', and prior to settlement.

**(b)** If the Report indicated the presence of Termites, termite damage or recommends any treatments or other Inspections and Reports, you should obtain copies of the treatment proposal, any certificates of treatments carried out, details of all repairs including copies of quotations, invoices, and any other Reports.

It is strongly recommended that you arrange for an Inspection and Report in accordance with AS 4349.3 to verify that the treatment has been successful and carried out in accordance with AS 3660.2 and a further building Inspection in accordance with AS 4349.1.

**(c)** If you fail to procure a further Inspection and report as recommended in (a) and (b), or fail to obtain copies of the treatment proposal, certificates of treatment carried out, details of all repairs including copies of quotations, invoices and any other reports as recommended in (b) above, then it will be deemed that you have decided not to have a further Inspection and report carried out, or to obtain copies of certificates of treatments carried out, details of all repairs including copies of quotations, invoices and any other reports.

It will be deemed that you have relied upon your own enquiries and the report, knowing the possible consequences and that the condition of the property, as stated in the report, may have changed.

**(d)** The person carrying out the Inspection and the company, partnership or sole trader that employs that person will have no liability to you for any damage or loss you may suffer as a result of your entering the contract to purchase the property or in connection with completing the purchase of the property as a result of your failure to heed the advice given in (a) and (b) and the warning contained in (c) above, and may use such failure in defense of any claim that you may later make against any of them.

# Compliance Report



## COMPLIANCE REPORT

This is a Compliance Report regarding any unapproved structures or alterations. ACT Property Inspections have accessed the attached Building File from ACT Planning and Land Authority (ACTPLA) and hold no responsibility for any inaccuracies in the Building File supplied by ACTPLA. The Compliance report is based solely upon the information available from the Building File which does not contain information regarding Plumbing or Electrical work that has taken place since the original construction. Information regarding the Plumbing and Electrical is available upon application from ACTPLA. Since we are not Plumbers or Electricians, we are unable to comment on those works. If structures have been noted as requiring approval, a Certifier should be engaged to assess if the structure will comply with the relevant ACT legislation. Owners must be aware that unapproved structures may not comply and may require significant repair, design change or possible removal.

**Property Address:** 5 Northcote Cres, Deakin ACT 2600  
**Block & Section:** Block 11 Section 9 DEAKIN  
**Inspection Date:** Wednesday, June 17<sup>th</sup> 2026

## APPROVAL STATUS

Description	Plan number	Certificate of occupancy date	Approval status
Demolition of Residence & Garage	B2022643/A	24/04/2025	Approved.
New Residence, Basement (Gym, Media, Laundry, Mud Room) New Garage, Retaining & Courtyard Walls, Water Tank & Alfresco	B20223622/A/B	05/05/2025	Approved.
New Swimming Pool, Safety Barrier & Associated Pool Structures (Cabana, Sauna WC, Storage)	B20224287/A/B	24/06/2025	Approved.
Front chain link fence	-	-	This structure is unapproved as it has been constructed forward of the front building line. Development approval is required.

## SURVEY REPORT

Survey Report completed by	Date Survey report was completed	Comments
M & M Surveys	Saturday, 1 July 2023	There are no apparent encroachments upon this land or by this property on adjoining lands or street.

# Conveyancing File



**CONVEYANCING BUILDING FILE INDEX**

SUBURB: **DEAKIN** SECTION: **9** BLOCK: **11** UNIT: **N/A** EX GOV: **NO**

COU ISSUED Y/N	PLAN NUMBER	FOLIO NO.	DESCRIPTION OF WORK	AMEND	DETAILS	PERMIT NUMBER	COU PLAN NO. & DATE
Y	B2022643/A	-	DEMOLITION OF RESIDENCE & GARAGE			B2022643/A	
		-					B2022643/A 24/04/2025
Y	B20223622/A	-	NEW RESIDENCE, BASEMENT (GYM, MEDIA, LAUNDRY, MUDROOM) NEW GARAGE, RETAINING & COURTYARD WALLS WATER TANK & ALFRESCO			B20223622/A	
Y	B20223622/B	-		Y			
		-					B20223622/A/B 05/05/2025
Y	B20224287/A	-	NEW SWIMMING POOL, SAFTEY BARRIER & ASSOCIATED POOL STRUCTURES (CABANA, SAUNA, WC, STORAGE)			B20224287/A	
Y	B20224287/B	-		Y			
		-					B20224287/A/B 24/06/2025
		-					
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For any incomplete approvals please email [acbuildingconveyance@act.gov.au](mailto:acbuildingconveyance@act.gov.au) for further information on how to complete.

Drainage Plan Number: 1794

Survey: Y (01)

Comments:

## CONVEYANCING PART 2

No information is provided in respect of electrical, drainage or sewer matters and or to the location of overhead power lines or underground cables in relation to the building.

	<u>Yes</u>	<u>No</u>
1. (a) Is this a government or ex government house?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) If yes, is there a building file with approvals on it?	<input type="checkbox"/>	<input type="checkbox"/>
2. Is there any record of incomplete building work on the building file? If yes - file copies attached	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Are there any records on the building file of current (within 5 years) housing Indemnity insurance policies for building work? If yes - file copies attached	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Are there any records on the building file showing building applications still being processed? (Current within 3 years) If yes - file copies attached	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Are there any records on the building file in relation to loose-fill asbestos insulation?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**If available, copies of the following documents are provided:**

• Certificate/s of Occupancy and Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>
• Survey Certificates	<input checked="" type="checkbox"/>	<input type="checkbox"/>
• Unit Plan/Unit Entitlements (if property is unit titled)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Approved Building Plans	<input checked="" type="checkbox"/>	<input type="checkbox"/>
• Ex- government Building Plans*	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**If requested:**

• Drainage Plan(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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### ASBESTOS

The ACT Government is not able to guarantee the accuracy of the information in this report.

You should make your own enquiries and obtain reports (from a licensed Asbestos Assessor) in relation to the presence of loose fill asbestos insulation (and other forms of asbestos) on the premises. For more information go to the Asbestos Awareness Website –

[www.asbestos.act.gov.au](http://www.asbestos.act.gov.au)

**Please note:** Development Approval plans will not be included in this report (We do not receive Development Approval Plans unless they are part of a Building Approval in which case they become Building Approval Plans), if development approval was granted you can request copies of the Development Approval plans from [ACEPDcustomerservices@act.gov.au](mailto:ACEPDcustomerservices@act.gov.au).

**Please Note:** Building approvals that have been generated via eDevelopment will be issued with a project number prefixed by the letter B. Initial building approval documentation will be identified with project number B20XXXX only but will be referenced as B20XXXX/A on the Certificate of Occupancy and Use. Any amendments to the original approval will be issued with the project number and an alphanumeric digit. The first amendment will be identified as B20XXXX/B, the second amendment B20XXXX/C etc. Not all eDevelopment plans will be stamped with the plan number.

**\*Ex Government plans:** Plans are typical and not specific to each residence. There may be slight changes to the layout or window locations that were not required to be approved.

Search officer comments (if any?)

Search officer initials: Tony

Status Living  
building@statusliving.com.au

**Re: 5 Northcote Crescent, Deakin**

Dear Sir or Madam

As instructed, we have surveyed the land at Deakin, in the Division of Deakin, District of Canberra Central, having a total frontage of frontage of 43.035 metres to Northcote Crescent, being **Block 11 Section 9 Deposited Plan No. 316** as shown in the sketch on Page 2.

Upon this land stand the concrete foundations buildings in the course of erection to be on completion a single residence and pool house.

The sketch shows the position of the concrete foundations relative to the boundaries and levels of the concrete slab on Australian Height Datum (A.H.D).

Other than as stated or referred to above, there are no apparent encroachments upon this land or by this property on adjoining lands or street.

Yours faithfully

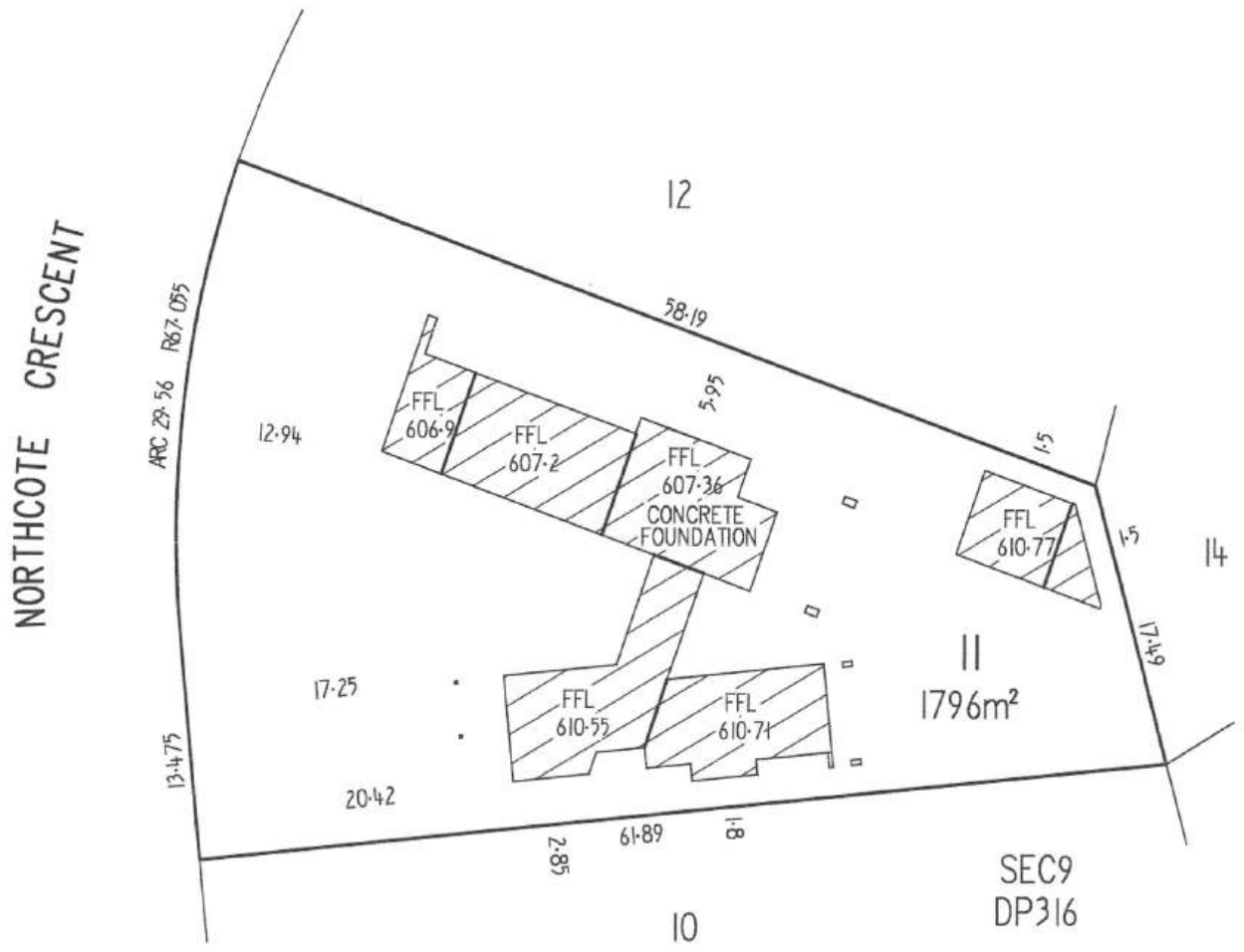



**Andrew Spain**  
**Registered Surveyor**



2/1 Fisher Square Fisher ACT 2611  
P.O. Box 3977 Weston Creek ACT 2611  
☎ 02 6287 3096 | 0413 522 293  
📠 02 6287 3590 | 🌐 [www.klevenspain.com](http://www.klevenspain.com)  
✉ [klevenspain@bigpond.com](mailto:klevenspain@bigpond.com)

Page 1



SCALE 1:400   
 LENGTHS ARE IN METRES



# Certificate of Completion of Demolition

Certificate No.: **B2022643C1**

**Access Canberra Land, Planning and  
Building Services**

ABN 16 479 763 216  
8 Darling Street Mitchell  
GPO Box 158 ACT 2601  
[www.act.gov.au/accesscbr](http://www.act.gov.au/accesscbr)

This Certificate is issued in accordance with Section 71 (2) of the Building Act 2004.

The demolition of the building works listed on this certificate has been completed in accordance with the prescribed requirements.

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	11	9	DEAKIN	CANBERRA CENTRAL	Australian Capital Territory

## Plans

B2022643/A

## Building Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Const.	Unit	BCN ID	Builder
1a(l)	Demolition	RESIDENCE		NA		B2022643N1	INDETAIL DESIGN & CONSTRUCTION PTY LTD
10a	Demolition	GARAGE		NA		B2022643N1	INDETAIL DESIGN & CONSTRUCTION PTY LTD

## Comments

## Important Note:

The issue, under this Part, of a certificate in respect of a building or portion of a building does not affect the liability of a person to comply with the provisions of a law of the territory (including this Act) relating to the building or portion of the building.

**Issued by:** Lee Liao

**Issued on:** 24/04/2025

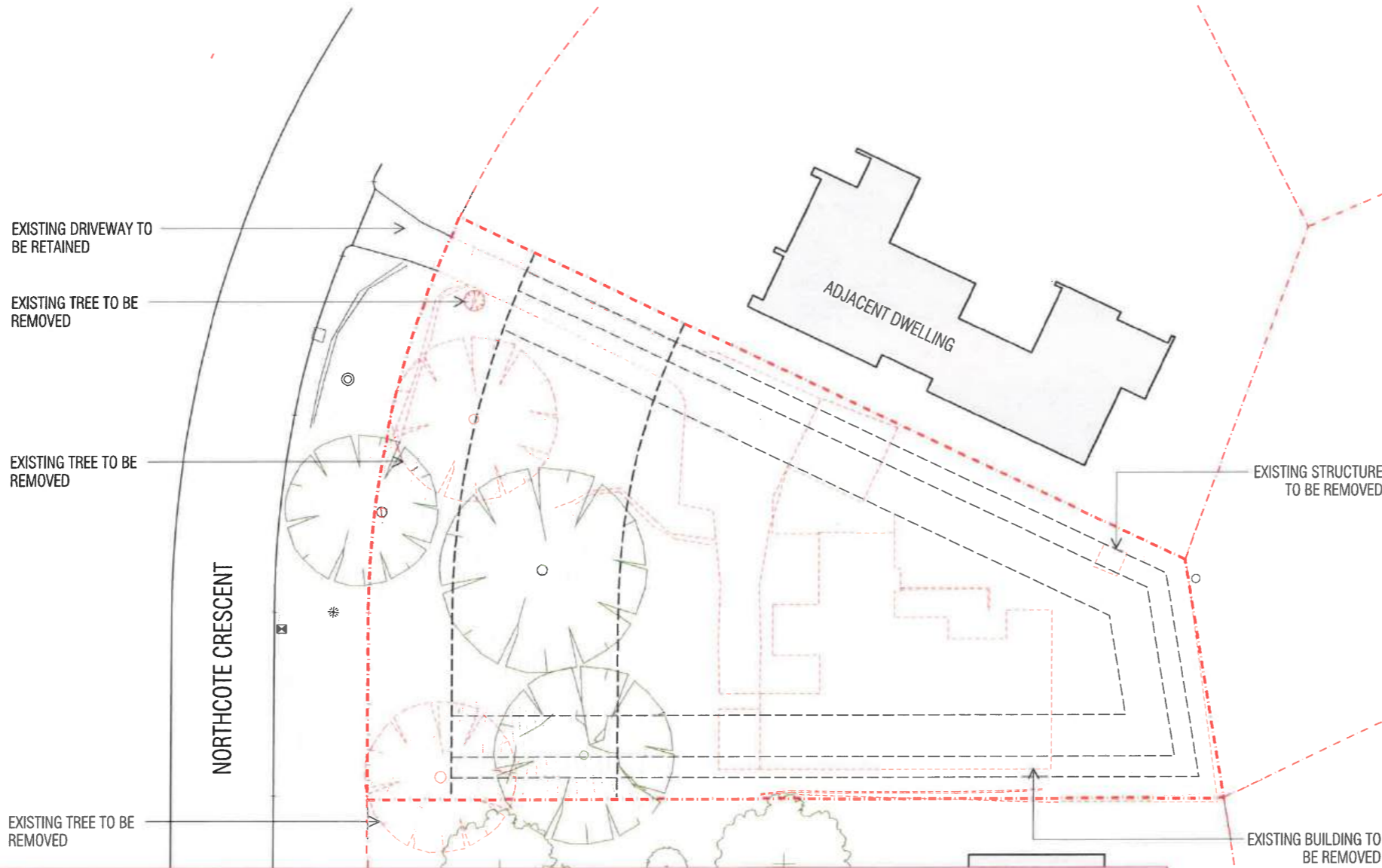
Delegate of the ACT Construction  
Occupations Registrar.

# Building Approval

Is issued under section 28 of the Building Act 2004  
CBS Residential Certifiers Pty Ltd

18/02/2022

Licence No: 2019937



PLANNING AND DEVELOPMENT ACT 2007  
**APPROVAL GRANTED**  
SUBJECT TO THE CONDITIONS SET OUT IN THE  
NOTICE OF DECISION  
PURSUANT TO SECTION 162

Delegate name THARA BORAIAH  
Date 2/12/2021

Verge trees are not approved for removal Urban Treescapes require an LMPP which indicates the methodology in writing & in plan which includes the following:

#### Prior to and during Construction period

- No works shall be undertaken without first undertaking Dial Before You Digs <https://www.1100.com.au/> to ensure any infrastructure is identified and protected during the works.
- No work, that includes but is not limited to, excavation (e.g. for services including gas, water, sewer, stormwater, electricity, telecommunications, footings and irrigation) or modification of existing ground levels and placement of site sheds, building materials, equipment, fill or vehicles shall occur within the fenced off tree protection zone (dripline + 2 metres) without prior permission from TCCS Urban Treescapes.
- Services that need to be installed within the tree protection zone of the tree shall be under bored unless otherwise agreed in writing by TCCS Urban Treescapes.
- No further excavation within the dripline of the retained tree is supported without consultation with TCCS Urban Treescapes.

#### Site Access

- Access onto site shall be through the main driveway only.

#### Protective Fencing

- Verge protection fencing shall be installed prior to any works commencing, including demolition and remains in place until construction works are completed and shall be:
  - continuous 1800 mm high chain wire protective fence, with concrete bases
  - around the TPZ (canopy +2m) of any tree which may be impacted by the construction works and no closer than a minimum distance of 3m from the trunk of the tree on all sides unless otherwise agreed to in writing by TCCS Urban Trees
  - 1.2m from back from the kerb
  - 600mm inset from driveway access

#### Tree Root Protection

- Any excavation works within the TPZ (canopy +2m) of Tree 1. is to be carried out in accordance with section 7.6.2 of TCCS AA-REF-04.
- As most tree roots are in the top 300mm of the soil profile, exploratory works to identify roots within proposed construction zone must be done by hand trenching or Hydro vac to a depth of 300mm along the line of the TPZ.
- Hydro excavation works must be carried out with no greater than 1500psi using a fan shaped nozzle and not by direct jet spray activities as these works must not remove the bark from the roots.
- Where tree roots > 30mm are uncovered and require trimming, they must be cut cleanly with equipment specifically designed for this purpose by suitably qualified arborist. THIS WOULD BE A HOLDING POINT WHERE URBAN TREESCAPES WOULD INSPECT THE SITE BEFORE ANY WORKS COMMENCE. The contact person is required to notify a TCCS officer on 62051574 or email [TCCS.UrbanTreesDDCoord@act.gov.au](mailto:TCCS.UrbanTreesDDCoord@act.gov.au)
- Maintain the good health of the trees that have had disturbance in their root zone by continual watering, at no time shall the disturbed area be allowed to dry out to the detriment of the trees health.
- Any uncovered tree roots shall be covered immediately with geotextile or hessian fabric and watered regularly to ensure roots don't dry out.
- Any wash down of tools or chemicals including concrete wash is not permitted within the tree protection zone (canopy +2 metres) or to run off into the verge.
- Any damage to the tree/ tree roots which causes the tree to decline, will require tree replacement at the developers expense.

If the driveway is to be replaced, then the following conditions also apply;

#### Tree root Protection and removal of existing driveway

- The existing driveway must stay in place until all other works are completed
- No machinery is to be allowed within the verge or TPZ without approval from TCCS Urban Trees. The contact person is required to notify a TCCS officer on 62051574 or email [TCCS.UrbanTreesDDCoord@act.gov.au](mailto:TCCS.UrbanTreesDDCoord@act.gov.au)
- Trenching shall be to the depth of the material to be removed.
- To ensure no root damage occurs, the removal of the existing driveway/path pavement shall be carefully done in small sections and only to the depth of the existing material. so as not to break up material and cause damage to tree roots.
- Care must be taken with the removal of pavement and subbase to ensure no roots are pulled away in the process.
- Protect exposed roots from desiccation by lightly watering or covering with hessian which must be kept moist.
- Any damage to the tree/ tree roots which causes the tree to decline, will require tree replacement at the developers expense.

#### Proposed driveway

- All construction work of the new driveway/crossover shall be the last is to be completed prior to excavation and removal of the existing driveway.
- The driveway excavation will not exceed 175mm.
- Any construction activities additional to those documented on the plan are prohibited without further approval from TCCS.
- As per Clause 6.2 in AA-REF-04 proposed service excavation on public land needs to be identified on the LMPP.

#### Verge Reinstatement

- Verge must be decompacted prior to reinstatement
- Excavation around tree root zone must be done by hand in a radial manner from the trunk outward to a MAX depth of 25mm
- Reinstate verge soil with a 50/50 mix of Type 2 & Type 3 TOPSOIL as per [MITS-09A-Topsoil-1-0 \(A28771472\).pdf](#) to match finished levels.
- Mulch shall be recommended by the arborist and irrigation is to be undertaken for a minimum of six months following any root damage.

WATER SUPPLY - DEMOLITION WORKS ACTEWAGL REQUIREMENTS FOR DEMOLITION WORK WHICH HAS THE POTENTIAL TO DAMAGE ACTEW ASSETS OR RESULT IN CONTAMINATION OF THE POTABLE WATER SUPPLY. THE PROPERTY OWNER (OR THEIR DESIGN OR CONSTRUCTION AGENT) IS RESPONSIBLE TO:

- WHERE AN ACTEW WATER MAIN TRAVERSES A PROPERTY (AND WHERE AN ACTEW WATER MAIN IS OUTSIDE THE PROPERTY BOUNDARY BUT PROPOSED DEMOLITION WORKS MAY IMPACT ON THE WATER MAINS PIPE-PROTECTION-ENVELOPE), OBTAIN ACCURATE WATER NETWORK SURVEY PLANS FROM ACTEWAGL OR FROM A SITE SURVEY BY A REGISTERED SURVEYOR.
- SHOW WATER ASSET LOCATIONS (INCLUDING MAINS, VALVES AND HYDRANTS) ON RELEVANT DEMOLITION PLANS (WITH OFF-SET DIMENSIONS TO SITE BOUNDARIES).
- IDENTIFY THE LOCATION OF THE ACTEW ISOLATION VALVE AND WATER METER ON THE SITE PLAN (WITH OFF-SET DIMENSIONS FROM SITE BOUNDARIES).
- RECORD THE CONDITION OF THE WATER CONNECTION PIPE, ISOLATION VALVE, WATER METER, VERGE HYDRANTS, VERGE NETWORK VALVES, ETC. CALL ACTEWAGL TO REPAIR DAMAGED COMPONENTS. PHONE 131 193. A FAILURE TO IDENTIFY ANY FAULTS BEFORE DEMOLITION WORKS COMMENCE MAY RESULT IN THE PROPERTY OWNER (OR THEIR CONTRACTORS) BEING HELD RESPONSIBLE TO PAY FOR THE REPAIR OF DAMAGE CAUSED BY A FAILURE TO ADEQUATELY PROTECT THOSE ASSETS DURING THE DEMOLITION OR BUILDING CONSTRUCTION WORKS.
- ENGAGE A LICENSED PLUMBER TO DISCONNECT THE INTERNAL PLUMBING SERVICE AT THE WATER METER BEFORE ANY DEMOLITION WORKS COMMENCE.
- WHERE FURTHER CONSTRUCTION WORKS IS PLANNED, INSTALL A TEMPORARY HOSE COCK ADJACENT TO THE METER. RETAIN THE METER, METER BOX AND HOSE COCK FOR THE DURATION OF ANY BUILDING WORKS. IDENTIFY, FLAG, BARRICADE AND PROTECT THE METER ASSEMBLY FROM DEMOLITION OPERATIONS AND ACCIDENTAL DAMAGE. TO AVOID ACCIDENTAL WASTAGE, TURN OFF THE ISOLATION VALVE UNTIL REQUIRED.
- WHERE FURTHER CONSTRUCTION WORKS IS NOT PROPOSED TO COMMENCE WITHIN 12 MONTHS FROM THE DATE DEMOLITION WORKS COMMENCE, PERMANENT DISCONNECTION AND REMOVAL OF THE METER MAY BE REQUIRED. PLEASE CONSULT WITH ACTEWAGL.
- FLAG AND PROTECT NETWORK ISOLATION VALVES AND HYDRANTS (ON THE VERGE) FROM DEMOLITION OPERATIONS AND ACCIDENTAL DAMAGE.
- ADVISE ACTEWAGL THAT THE DEMOLITION IS COMPLETE. (ACTEWAGL MAY TAKE THE OPPORTUNITY TO INSTALL A NEW ISOLATION VALVE AND METER ASSEMBLY TO THE CURRENT ACTEW STANDARD).

#### CONTACTS:

ALL WATER NETWORK ENQUIRIES SHOULD BE MADE TO THE WATER ENQUIRIES LINE: 6248 3555 (PRESS 2 FOR WATER) OR BY VISITING THE CUSTOMER SERVICE COUNTER AT 12 HOSKINS STREET MITCHELL DURING BUSINESS HOURS.

#### SEWER CONNECTIONS

DEMOLITION WORKS ACTEWAGL REQUIREMENTS FOR DEMOLITION WORK WHICH HAS THE POTENTIAL TO DAMAGE ACTEW ASSETS OR RESULT IN DISCHARGE OF STORMWATER OR OTHER UNAPPROVED WASTES (OTHER THAN DOMESTIC SEWAGE) TO THE ACTEW SEWERAGE NETWORK. THE PROPERTY OWNER (OR THEIR DESIGN OR CONSTRUCTION AGENT) IS RESPONSIBLE TO:

- WHERE AN ACTEW SEWER MAIN TRAVERSES A PROPERTY OR AN ACTEW SEWER MAIN IS OUTSIDE THE PROPERTY BOUNDARY (AND PROPOSED DEMOLITION WORKS MAY IMPACT ON THE SEWER MAINS PIPE-PROTECTION-ENVELOPE), OBTAIN ACCURATE SEWER NETWORK SURVEY PLANS FROM ACTEWAGL OR FROM A SITE SURVEY BY A REGISTERED SURVEYOR. SHOW SEWER ASSET LOCATIONS (INCLUDING MANHOLE, BOUNDARY RISER AND TIE LOCATION) ON RELEVANT DEMOLITION PLANS (WITH OFF-SET DIMENSIONS FROM SITE BOUNDARIES).
- RECORD THE CONDITION OF MANHOLE COVERS, ETC. CALL ACTEWAGL TO REPAIR DAMAGED COMPONENTS. PHONE 131 193. A FAILURE TO IDENTIFY ANY FAULTS BEFORE DEMOLITION WORKS COMMENCE MAY RESULT IN THE PROPERTY OWNER (OR THEIR CONTRACTORS) BEING HELD RESPONSIBLE TO PAY FOR THE REPAIR OF DAMAGE CAUSED BY A FAILURE TO ADEQUATELY PROTECT THOSE ASSETS DURING THE DEMOLITION OR BUILDING CONSTRUCTION WORKS.
- ENGAGE A LICENSED DRAINER TO DISCONNECT THE INTERNAL SANITARY DRAINS BEFORE ANY DEMOLITION WORKS COMMENCE. THE DISCHARGE OF DEBRIS, STORMWATER OR OTHER UNAPPROVED LIQUID WASTES (OTHER THAN DOMESTIC SEWAGE) IS AN OFFENCE UNDER THE UTILITIES ACT 2000.
- IDENTIFY, FLAG, BARRICADE AND PROTECT THE SANITARY DRAINAGE RISER (INSTALLED) AND MANHOLES FROM DEMOLITION OPERATIONS.
- WHERE FURTHER CONSTRUCTION WORKS IS PLANNED, SANITARY DRAINS ARE TO BE TEMPORARILY SEALED OFF BY CAPPING NO CLOSER THAN 3 METRES FROM THE ACTEW TIE. EXCAVATION AND CAPPING IS TO BE UNDERTAKEN BY LICENSED DRAINERS AT THE CUSTOMER EXPENSE. THE CAPPING POINT IS TO BE STAKED BEHIND THE CAP AND IDENTIFIED AT GROUND LEVEL.

NOTE: THE SUBSEQUENT BUILDING CONTRACTOR WILL BE REQUIRED TO MAKE A NEW SANITARY DRAINAGE CONNECTION AT THE DESIGNATED TIE (NOT AT THE TEMPORARY CAP).

THIS MAY REQUIRE THE REMOVAL OF OLD JUMP-UPS IN THE CUSTOMER SANITARY DRAINS.

WHEN THE TIE IS EXPOSED IT IS DESIRABLE TO ASK ACTEWAGL TO INSPECT THE BRANCH-LINE TO ENSURE IT IS IN GOOD CONDITION.

- WHERE FURTHER CONSTRUCTION WORKS IS NOT PROPOSED TO COMMENCE WITHIN 12 MONTHS FROM THE DATE DEMOLITION WORKS COMMENCE, PERMANENT DISCONNECTION MAY BE REQUIRED. PLEASE CONSULT WITH ACTEWAGL.
- ADVISE ACTEWAGL THAT THE DEMOLITION IS COMPLETE.

#### CONTACTS:

ALL WATER NETWORK ENQUIRIES SHOULD BE MADE TO THE WATER ENQUIRIES LINE: 6248 3555 (PRESS 2 FOR WATER) OR BY VISITING THE CUSTOMER SERVICE COUNTER AT 12 HOSKINS STREET MITCHELL DURING BUSINESS HOURS.

#### GENERAL NOTES:

- OWNER TO ENGAGE LICENCED CONTRACTOR TO ASSESS EXISTING STRUCTURES AND DETERMINE HAZARDOUS MATERIALS AND ASBESTOS PRIOR TO DEMOLITION.
- ANY HAZARDOUS MATERIALS AND ASBESTOS LOCATED ON THE EXISTING BUILDING TO BE DISPOSED OF BY A LICENSED CONTRACTOR.
- SERVICES DISCONNECTIONS IN ACCORDANCE WITH UTILITY REQUIREMENTS.
- ELECTRICITY TO BE DISCONNECTED IN ACCORDANCE WITH ACTEW REQUIREMENTS. MAINTAIN TEMPORARY SUPPLY FOR CONSTRUCTION.
- ALSO REFER CIVIL ENGINEERS DOCUMENTATION

[www.turcoassociates.com.au](http://www.turcoassociates.com.au)

turcoandassociates

**Residential Builders' Warranty Insurance  
Certificate of Insurance**

QBE Insurance (Australia) Ltd  
Level 18, 388 George St.  
Sydney Act 2000  
Phone: PHONE:8275 9999  
Fax: 02 8275 9330  
ABN: 78 003 191 035  
AFS License No: 239545



Policy Number 180025788BWI-14

ALEKSANDAR MILADINOVIC  
5 NORTHCOTE CRES  
DEAKIN  
2600

**Name of intermediary**  
AON HIA (NSW/ACT)  
GPO BOX 2188  
CANBERRA ACT 2601

**Account number**  
180006684  
**Date issued**  
15/08/2022

### Policy schedule details

**Certificate in respect of insurance**

Residential Building Work by Contractors

A contract of insurance complying with the Building Act 2004 and Regulations has been issued by QBE Insurance (Australia) Limited ABN 78 003 191 035, in respect of Residential Building Work as described in the Schedule herein.

**In respect of**

NEW SINGLE DWELLING CONSTRUCTION CONTRACT

**At**

BLOCK 11 SECTION 9  
5 NORTHCOTE CRESCENT  
DEAKIN ACT 2600

**Carried out by**

BUILDER  
MOMIR MILADINOVIC  
ABN: 40 722 835 705

**Declared contract price**

\$400,000.00

**Contract date**

05/08/2022

**Builders registration no.**

19894687

**Building owner / Beneficiary**

ALEKSANDAR MILADINOVIC

Subject to the Building Act 2004, Regulations and the conditions of the Insurance contract, cover will be provided to the Building Owner/ Beneficiary named in the domestic building contract and to the successors in title to the Building Owner/Beneficiary or the immediate successor in title to the builder or developer who did the work and subsequent successors in title.

**For and behalf of**

QBE Insurance (Australia) Limited.

**IMPORTANT NOTICE:**

This certificate must be read in conjunction with the Policy Wording and kept in a safe place. These documents are very important and must be retained by you and any successive owners of the property for the duration of the statutory period of cover.

**To confirm the registration of this document, please visit the QBE Certificate Register via <https://www.qbe.com/au/home-insurance/builders-insurance>. By matching the details on this certificate with the details included in the register, it confirms your Certificate of Insurance was issued by QBE.**



# Certificate of Occupancy and Use

Certificate No.: **B20223622C1**

**Access Canberra Land, Planning and Building Services**

ABN 16 479 763 216  
8 Darling Street Mitchell  
GPO Box 158 ACT 2601  
www.act.gov.au/accesscbr

This Certificate is issued in accordance with Section 69 (2) of the Building Act 2004.

The building work listed on this certificate has been completed substantially in accordance with the prescribed requirements and is considered fit for occupation and use.

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	11	9	DEAKIN	CANBERRA CENTRAL	Australian Capital Territory

Plans
B20223622/A
B20223622/B

## Building Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Const.	Unit	BCN ID	Builder
1a(l)	New	RESIDENCE	Residence	NA		B20223622N1	MOMIR MILADINOVIC
1a(l)	New	RESIDENCE	Basement (gym, media, laundry, mud room)	NA		B20223622N1	MOMIR MILADINOVIC
10a	New	GARAGE	Basement (garage)	NA		B20223622N1	MOMIR MILADINOVIC
10b	Other	SEE DESCRIPTION	Retaining and courtyard walls	NA		B20223622N1	MOMIR MILADINOVIC
10b	Other	SEE DESCRIPTION	Water tank	NA		B20223622N1	MOMIR MILADINOVIC
10a	Other	SEE DESCRIPTION	Alfresco	NA		B20223622N1	MOMIR MILADINOVIC

## Comments

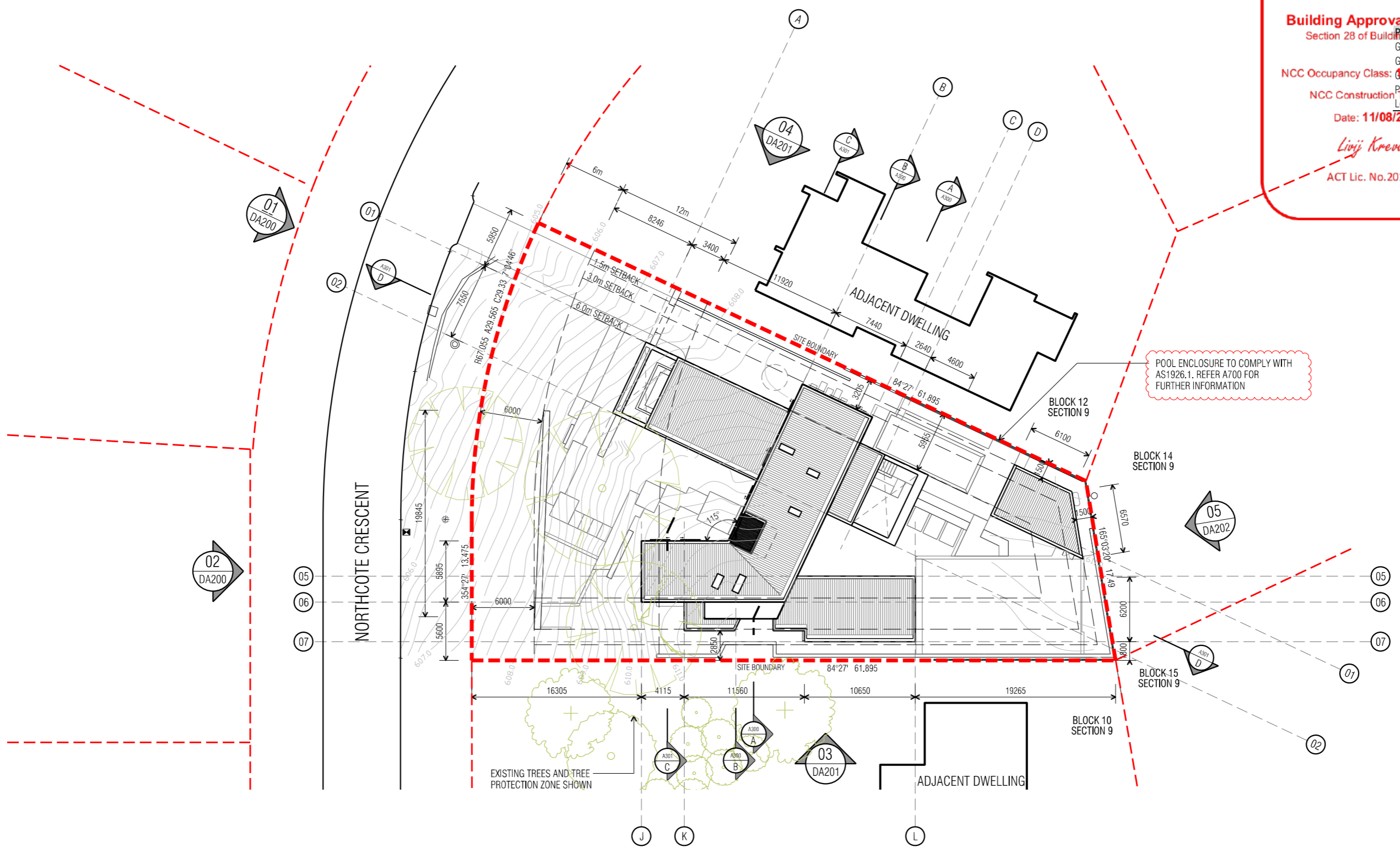
## Important Note:

The issue, under this Part, of a certificate in respect of a building or portion of a building does not affect the liability of a person to comply with the provisions of a law of the territory (including this Act) relating to the building or portion of the building.

**Issued by:** Sian OSullivan  
Delegate of the ACT Construction Occupations Registrar.

**Issued on:** 05/05/2025

AREA SCHEDULE	
Site Area	1,796
Plot Ratio	50%
<b>Developable Area</b>	<b>898.0</b>
<b>Building Approval issued under</b>	
Section 28 of Building Act 2004	
<b>PROPOSED AREAS</b>	
Garage	72.5
Gym, Media, Laundry, Mud Room	63.7
Ground Floor	271.6
Pool Cabana	20.4
Level 01	175.1
<b>Date: 11/08/2022</b>	<b>Total GFA</b>
<i>Lini Krevatin</i>	<b>467.1</b>
<b>ACT Lic. No. 2010979</b>	<b>Total Incl. Basement</b>
	<b>603.3</b>
	<b>Plot Ratio</b>
	<b>26.0%</b>



DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
22/07/22		REVISED POOL BARRIER FENCING	02				
29/07/22		ISSUED FOR BUILDING APPROVAL	03				

**CONSTRUCTION**  
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Location

Suite 30, 2 King Street Deakin  
Carberra ACT 2600  
+61 6 162 0735  
e: carberra@turcoassociates.com.au  
w: turcoassociates.com.au

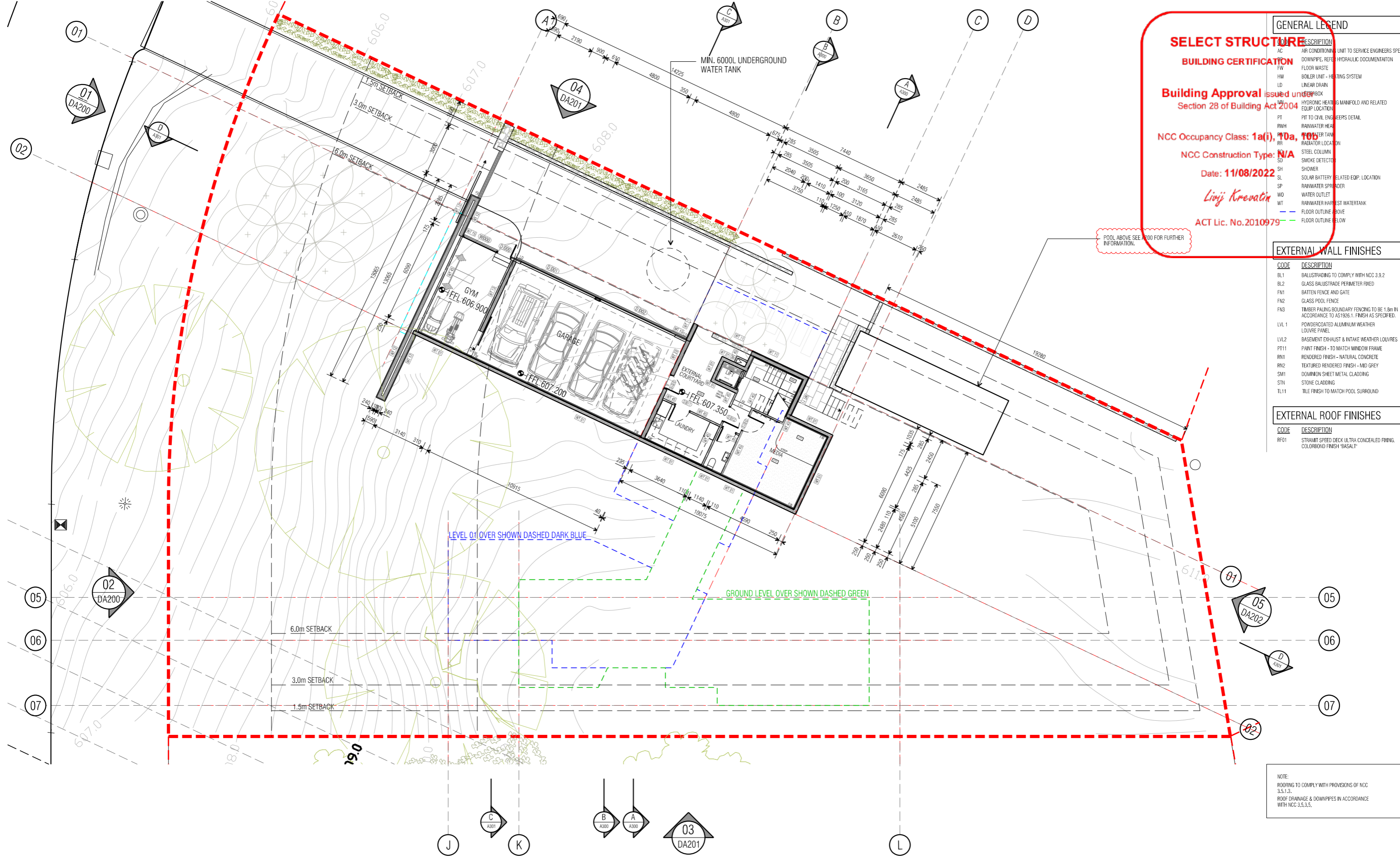
**turco and associates**

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

NOTE:  
ALL WORK IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REGULATIONS. GARY OUT ALL WORK IN THE BEST AND TRADESMAN LIKE MANNER AND TO THE SATISFACTION OF THE SUPERINTENDENT.  
ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED

PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN
GENERAL NOTES:		
DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF SHOP DRAWINGS OR CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECT/ENGINEER/DRAWN PRIOR TO THE COMMENCEMENT OF WORK.		

DRAWING TITLE		
SITE PLAN		
SCALE	DRAWN	CHECKED
1:200 @A1	MP	MT
1:400 @A3		
JOB NO.	DATE	
TA2056	29/07/2022	
STATUS	DRAWING NO.	REVISION
WD	A001	03



**GENERAL LEGEND**

**SELECT STRUCTURE DESCRIPTION**

**BUILDING CERTIFICATION**

**Building Approval issued under Section 28 of Building Act 2004**

**NCC Occupancy Class: 1a(i), 10a, 10b**

**NCC Construction Type: N/A**

**Date: 11/08/2022**

*Linj Krevatin*

**ACT Lic. No. 2010979**

POOL ABOVE SEE 100 FOR FURTHER INFORMATION.

**EXTERNAL WALL FINISHES**

CODE	DESCRIPTION
BL1	BALUSTADING TO COMPLY WITH NCC 3.9.2
BL2	GLASS BALUSTRADE PERIMETER FIXED
FN1	BATTEN FENCE AND GATE
FN2	GLASS POOL FENCE
FN3	TIMBER PALING BOUNDARY FENCING TO BE 1.8m IN ACCORDANCE TO AS1926.1. FINISH AS SPECIFIED.
LVL 1	POWDERCOATED ALUMINIUM WEATHER LOUVRE PANEL
LVL2	BASEMENT EXHAUST & INTAKE WEATHER LOUVRES
PT11	PAINT FINISH - TO MATCH WINDOW FRAME
RM1	RENDERED FINISH - NATURAL CONCRETE
RM2	TEXTURED RENDERED FINISH - MID GREY
SM1	DOWNHILL SHEET METAL CLADDING
STN	STONE CLADDING
TL11	TILE FINISH TO MATCH POOL SURROUND

**EXTERNAL ROOF FINISHES**

CODE	DESCRIPTION
RF01	STRAIT SPEED DECK ULTRA CONCEALED FINING. COLORBOND FINISH 'BASALT'

NOTE:  
 ROOFING TO COMPLY WITH PROVISIONS OF NCC 3.5.1.3.  
 ROOF DRAINAGE & DOWNPIPES IN ACCORDANCE WITH NCC 3.5.3.5.

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
11/07/22		REVISED POOL BARRIER FENCING	06				
29/07/22		ISSUED FOR BUILDING APPROVAL	07				

**CONSTRUCTION**  
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Location

03  
DA201

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 +61 6162 0735  
 e: carberria@turcoassociates.com.au  
 w: turcoassociates.com.au

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-

NOTE:  
 ALL WORK IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REGULATIONS. CARRY OUT ALL WORK IN THE BEST AND TRADESMAN LIKE MANNER AND TO THE SATISFACTION OF THE SUPERINTENDENT.  
 ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED

**PROJECT**

**NORTHCOTE HOUSE**

**CLIENT**

**ALEKSANDAR**

BLOCK	SECTION	DIVISION
11	09	DEAKIN

GENERAL NOTES:  
 DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF SHOP DRAWINGS OR CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECT/ENGINEER/DESIGNER PRIOR TO THE COMMENCEMENT OF WORK.

**DRAWING TITLE**

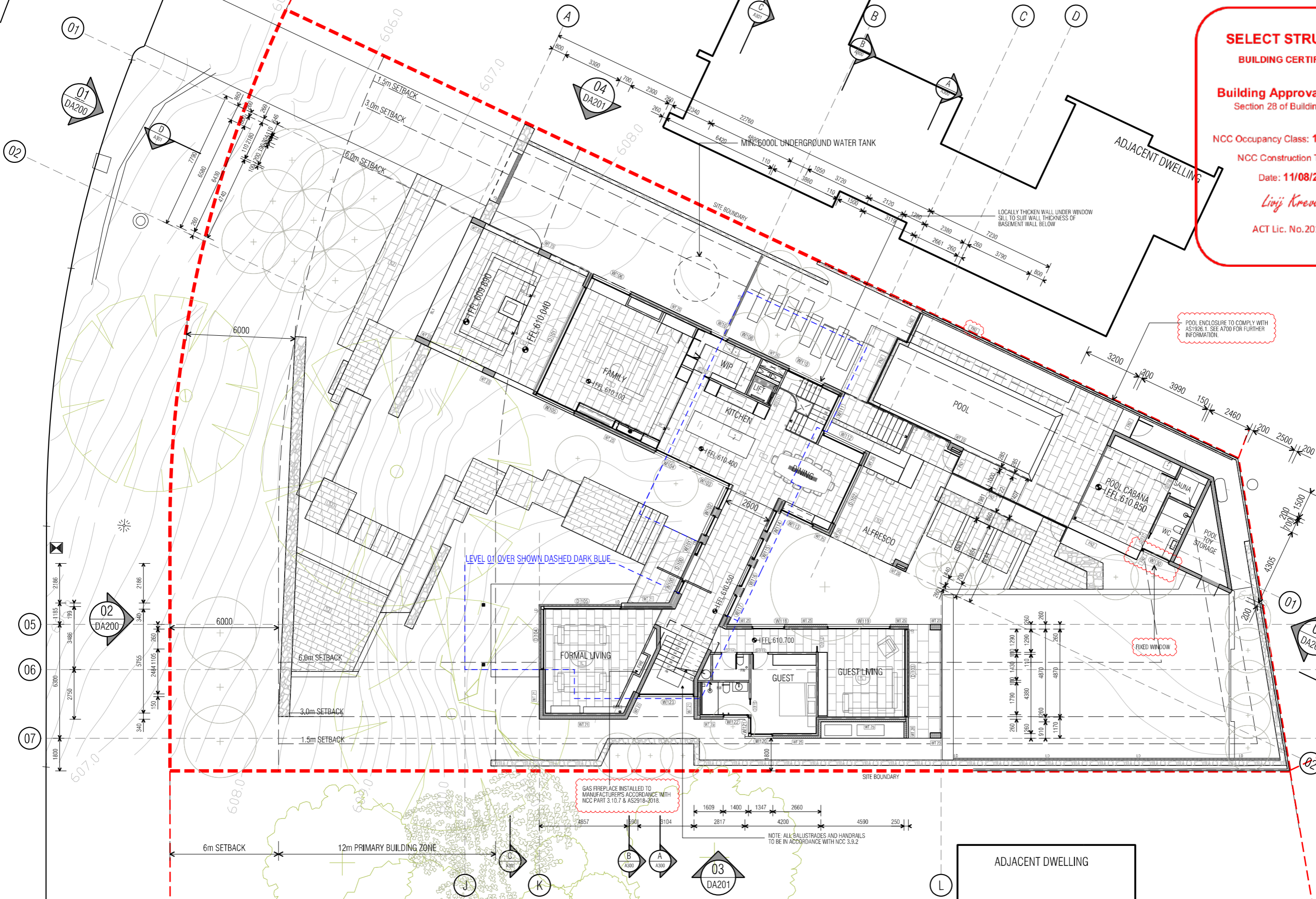
**FLOOR PLANS**

**BASEMENT**

SCALE	DRAWN	CHECKED
1:100 @A1	MP	MT
1:200 @A3		

JOB NO.	DATE
TA2056	29/07/2022

STATUS	DRAWING NO.	REVISION
WD	A100	07



**GENERAL LEGEND**

**SELECT STRUCTURE**

**BUILDING CERTIFICATION**

**Building Approval issued under Section 28 of Building Act 2004**

**NCC Occupancy Class: 1a(i), 10a, 10b**

**NCC Construction Type: N/A**

**Date: 11/08/2022**

*Linj Krevatin*

**ACT Lic. No. 2010979**

**DESCRIPTION**

- AC AIR CONDITIONING UNIT TO SERVICE ENGINEERS SPEC.
- DP DOWNPIPE, REFER TO HYDRAULIC DOCUMENTATION
- FW FLOOR WASTE
- HW BOILER UNIT - HEATING SYSTEM
- LD LINEAR DRAIN
- MB METER BOX
- MA HYDRONIC HEATING MANIFOLD AND RELATED EQUIP LOCATION
- PT PIT TO CIVIL ENGINEERS DETAIL
- RWH RAINWATER HEATER
- RR RADIATOR LOCATION
- SC STEEL COLUMN
- SD SMOKE DETECTOR
- SH SHOWER
- SL SOLAR BATTERY RELATED EQIP. LOCATION
- SP RAINWATER SPREADER
- WO WATER OUTLET
- WT RAINWATER HARVEST WATERTANK
- FLOOR OUTLINE ABOVE
- FLOOR OUTLINE BELOW

**EXTERNAL WALL FINISHES**

CODE	DESCRIPTION
BL1	BALUSTADING TO COMPLY WITH NCC 3.9.2
BL2	GLASS BALUSTRADE PERIMETER FIXED
FN1	BATTEN FENCE AND GATE
FP2	GLASS POOL FENCE
FN3	TIMBER PALING BOUNDARY FENCING TO BE 1.8m IN ACCORDANCE TO AS1926.1. FINISH AS SPECIFIED.
LVL 1	POWDERCOATED ALUMINIUM WEATHER LOUVRE PANEL
LVL2	BASEMENT EXHAUST & INTAKE WEATHER LOUVRES
PT11	PAINT FINISH - TO MATCH WINDOW FRAME
RN1	RENDERED FINISH - NATURAL CONCRETE
RN2	TEXTURED RENDERED FINISH - MID GREY
SM1	DOWNHOLE SHEET METAL CLADDING
ST1	STONE CLADDING
TL1	TILE FINISH TO MATCH POOL SURROUND

**EXTERNAL ROOF FINISHES**

CODE	DESCRIPTION
RF01	STRAIGHT SPEED DECK ULTRA CONCEALED FINING. COLORBOND FINISH 'BASALT'

**NOTE:**

- ROOFING TO COMPLY WITH PROVISIONS OF NCC 3.5.1.3.
- ROOF DRAINAGE & DOWNPIPES IN ACCORDANCE WITH NCC 3.5.3.5.
- ALL POOL FENCING TO COMPLY WITH AS 1926.1 SWIMMING POOL FENCING REQUIREMENTS

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
11/07/22		REVISED POOL BARRIER FENCING	06				
29/07/22		REVISED NOTES AND POOL HOUSE WINDOW	07				
29/07/22		ISSUED FOR BUILDING APPROVAL	07				

**CONSTRUCTION**

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Location

**03**  
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w: turcoassociates.com.au

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STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER

**PROJECT**  
NORTHCOTE HOUSE

**CLIENT**  
ALEKSANDAR

**BLOCK** 11    **SECTION** 09    **DIMSION** DEAKIN

**GENERAL NOTES:**

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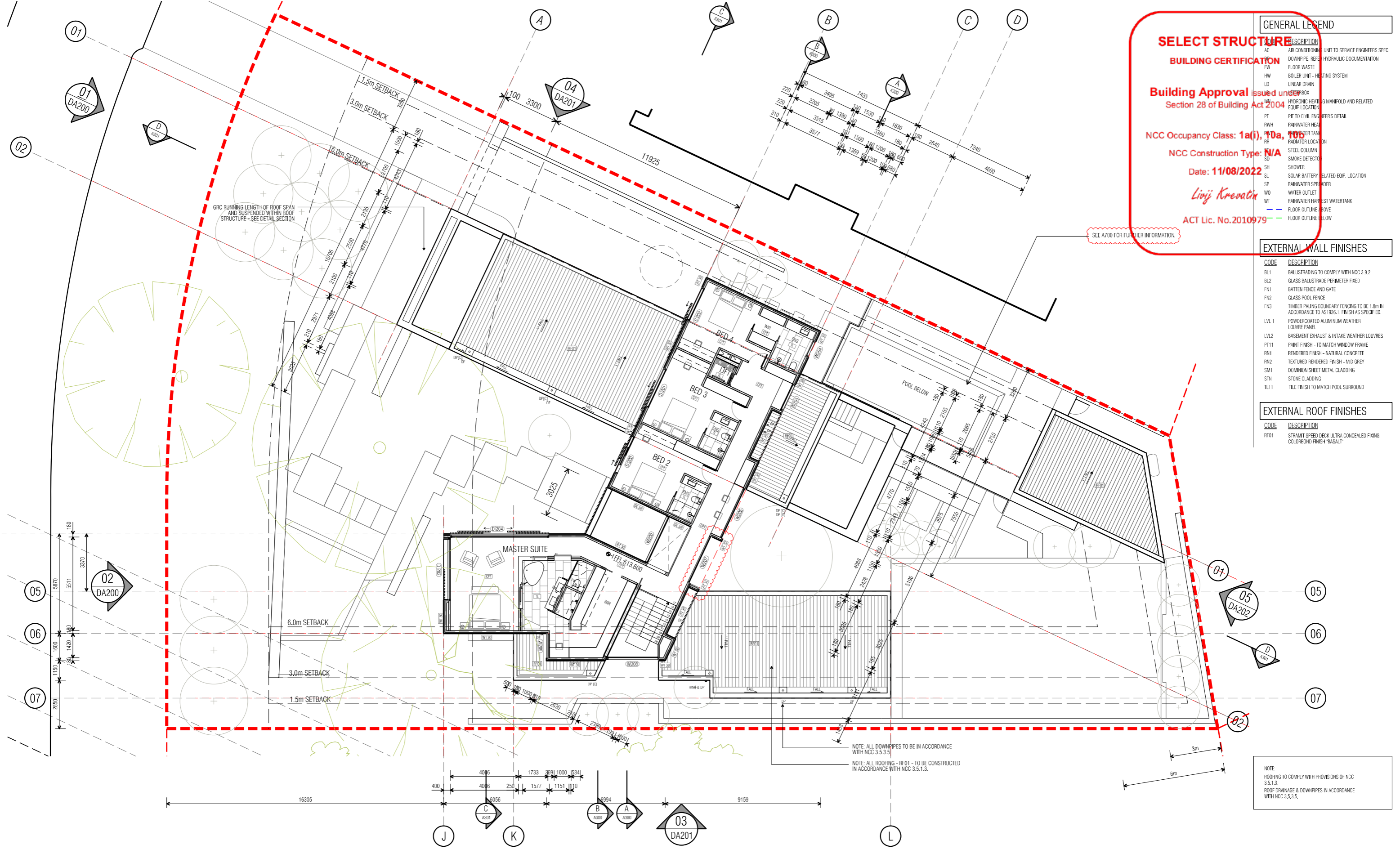
ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED

SCALE	DRAWN	CHECKED
1:100 @A1	MP	MT
1:200 @A3		

**DRAWING TITLE**  
FLOOR PLANS  
GROUND PLAN

**JOB NO.** TA2056    **DATE** 29/07/2022

**STATUS** WD    **DRAWING NO.** A101    **REVISION** 07



**GENERAL LEGEND**

**SELECT STRUCTURE DESCRIPTION**

**BUILDING CERTIFICATION**

**Building Approval issued under**  
Section 28 of Building Act 2004

**NCC Occupancy Class: 1(a), 10a, 10b**

**NCC Construction Type: N/A**

**Date: 11/08/2022**

*Linj Krevatin*

**ACT Lic. No. 2010979**

**EXTERNAL WALL FINISHES**

CODE	DESCRIPTION
BL1	BALUSTADING TO COMPLY WITH NCC 3.9.2
BL2	GLASS BALUSTRADE PERIMETER FIXED
FN1	BATTEN FENCE AND GATE
FN2	GLASS POOL FENCE
FN3	TIMBER PALING BOUNDARY FENCING TO BE 1.8m IN ACCORDANCE TO AS1926.1. FINISH AS SPECIFIED.
LVL 1	POWDERCOATED ALUMINIUM WEATHER LOUVRE PANEL
LVL2	BASEMENT EXHAUST & INTAKE WEATHER LOUVRES
PT11	PAINT FINISH - TO MATCH WINDOW FRAME
RM1	RENDERED FINISH - NATURAL CONCRETE
RM2	TEXTURED RENDERED FINISH - MID GREY
SM1	DOWNHOLE SHEET METAL CLADDING
STN	STONE CLADDING
TL11	TILE FINISH TO MATCH POOL SURROUND

**EXTERNAL ROOF FINISHES**

CODE	DESCRIPTION
RF01	STRAMIT SPEED DECK ULTRA CONCEALED FINING. COLORBOND FINISH BASALT

NOTE:  
ROOFING TO COMPLY WITH PROVISIONS OF NCC 3.5.1.3.  
ROOF DRAINAGE & DOWNPIPES IN ACCORDANCE WITH NCC 3.5.3.5.

NOTE: ALL DOWNPIPES TO BE IN ACCORDANCE WITH NCC 3.5.3.5.  
NOTE: ALL ROOFING - RF01 - TO BE CONSTRUCTED IN ACCORDANCE WITH NCC 3.5.1.3.

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
11/07/22		REVISED POOL BARRIER FENCING	07				
29/07/22		ISSUED FOR BUILDING APPROVAL	08				

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Location

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w: turcoassociates.com.au

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

NOTE:  
ALL WORK IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REGULATIONS. CARRY OUT ALL WORK IN THE BEST AND MOST ADVISORIAL MANNER AND TO THE SATISFACTION OF THE SUPERINTENDENT.  
ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED

**PROJECT**  
NORTHCOTE HOUSE

**CLIENT**  
ALEKSANDAR

BLOCK	SECTION	DIVISION
11	09	DEAKIN

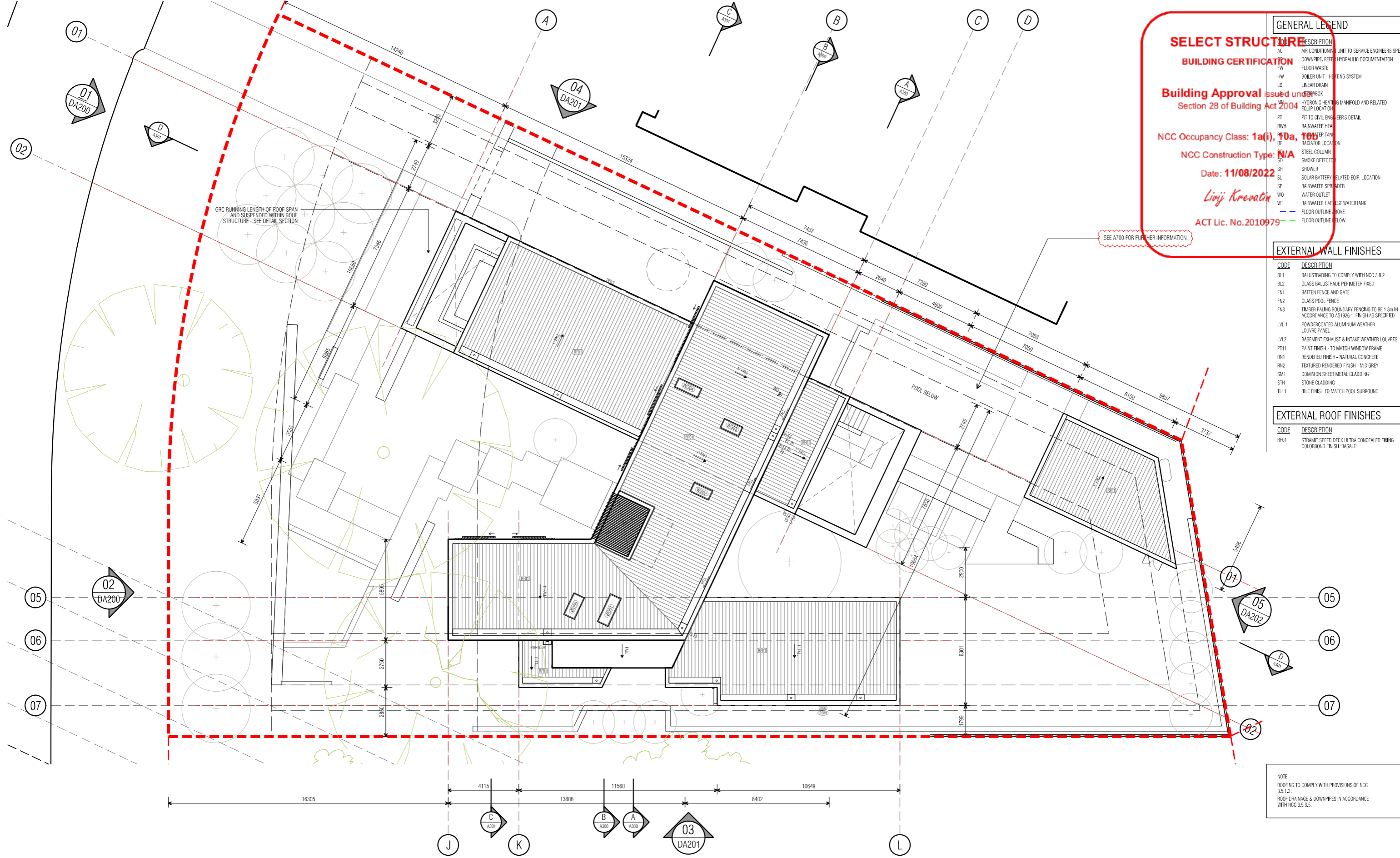
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**DRAWING TITLE**  
FLOOR PLANS  
FIRST FLOOR

SCALE	DRAWN	CHECKED
1:100 @A1	MP	MT
1:200 @A3		

JOB NO.	DATE
TA2056	29/07/2022

STATUS	DRAWING NO.	REVISION
WD	A102	08



**GENERAL LEGEND**

**SELECT STRUCTURE BUILDING CERTIFICATION**

**Building Approval issued under Section 28 of Building Act 2004**

**NCC Occupancy Class: 1a(i), 10a, 10b**

**NCC Construction Type: N/A**

**Date: 11/08/2022**

*Linj Krevatin*

**ACT Lic. No. 2010979**

SEE A700 FOR FURTHER INFORMATION.

**EXTERNAL WALL FINISHES**

CODE	DESCRIPTION
BL1	BALUSTRADING TO COMPLY WITH NCC 3.9.2
BL2	GLASS BALUSTRADE PERIMETER FIXED
FN1	BATTEN FENCE AND GATE
FN2	GLASS POOL FENCE
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STN	STONE CLADDING
TL11	TILE FINISH TO MATCH POOL SURROUND

**EXTERNAL ROOF FINISHES**

CODE	DESCRIPTION
RF01	STRAMIT SPEED DECK ULTRA CONCEALED FINING. COLORBOND FINISH 'BASALT'

NOTE:  
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 ROOF DRAINAGE & DOWNPIPES IN ACCORDANCE WITH NCC 3.5.3.5.

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
11/07/22		REVISED POOL BARRIER FENCING	06				
29/07/22		ISSUED FOR BUILDING APPROVAL	07				

**CONSTRUCTION**

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Location

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DA201

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Page 32 of 133

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-

NOTE:  
 ALL WORK IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REGULATIONS. CARRY OUT ALL WORK IN THE BEST AND PRACTISEMAN MANNER AND TO THE SATISFACTION OF THE SUPERINTENDENT.  
 ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED

**PROJECT**  
NORTHCOTE HOUSE

**CLIENT**  
ALEKSANDAR

BLOCK	SECTION	DIVISION
11	09	DEAKIN

**GENERAL NOTES:**  
 DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF SHOP DRAWINGS OR FABRICATION. ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECT/ENGINEER/DESIGNER PRIOR TO THE COMMENCEMENT OF WORK.

**DRAWING TITLE**  
FLOOR PLANS  
ROOF

SCALE	DRAWN	CHECKED
1:100 @A1	MP	MT
1:200 @A3		

JOB NO.	DATE
TA2056	29/07/2022

STATUS	DRAWING NO.	REVISION
WD	A103	07

CONSTRUCTION WASTE MANAGEMENT TABLE				REUSE / RECYCLING OF CONSTRUCTION WASTE						DISPOSAL AT LANDFILL	
TYPE OF MATERIALS	ESTIMATED		ON-SITE		OFF-SITE		ESTIMATED		NAME OF LANDFILL	ESTIMATED	
	VOL (M <sup>3</sup> )	WT (T)	PROPOSED REUSE AND RECYCLING ON SITE	ESTIMATED VOL (M <sup>3</sup> )	ESTIMATED WT (T)	NAME OF RECEIVING RECYCLING OUTLET AND/OR REUSE SITES	VOL (M <sup>3</sup> )	WT (T)		VOL (M <sup>3</sup> )	WT (T)
EXCAVATION MATERIAL											
GREEN WASTE											
BRICKS											
CONCRETE											
TIMBER (SPECIFY)											
PLASTERBOARD											
CARDBOARD											
PLASTICS											
MIXED WASTE											
OTHER (SPECIFY)											
TOTAL											
PERCENTAGE OF TOTAL											

**SELECT STRUCTURE BUILDING CERTIFICATION**

**Building Approval issued under Section 28 of Building Act 2004**

**NCC Occupancy Class: 1a(i), 10a**

**NCC Construction Type: N/A**

Date: 11/08/2022

*Linj Krevatin*

ACT Lic. No. 2010979

**MAINTENANCE SCHEDULE**

MONTHLY  
OVER STABILISED CONSTRUCTION ENTRY MATERIAL AND TOP UP AS REQUIRED.

WEEKLY  
CHECK AND REINSTATE SILT CONTROL FENCES.

DAILY  
SWEEP AND REMOVE ANY DIRT TRACKED ONTO PUBLIC ROADS BY VEHICLES. ALL NECESSARY STEPS SHOULD BE TAKEN TO MINIMISE DUST POLLUTION ON LAND DEVELOPMENT AND CONSTRUCTION SITE.

DURING / AFTER WET WEATHER  
LIMIT VEHICLE CONSTRUCTION ACCESS TO SITE DURING AND IMMEDIATELY FOLLOWING WET WEATHER.

**DUST MANAGEMENT**

A WATER CART OR SUFFICIENT WATER SPRAYS SHALL BE MADE AVAILABLE IN DRY AND WINDY CONDITIONS TO MAINTAIN DUST SUPPRESSION. WATER SHALL BE APPLIED TO SUPPRESS DUST FROM OPEN EARTHWORKS AS WELL AS UNPROTECTED STOCKPILES. STOCKPILES SHALL BE EITHER COVERED OR SEEDED TO PREVENT DUST. AREAS OF COMPLETED EARTHWORKS SHALL BE PROGRESSIVELY REHABILITATED WITH DRYLAND GRASS AND FENCED OFF AS SOON AS PRACTICABLE TO PREVENT FURTHER EROSION. THE CONTRACTOR SHALL CONTACT WATER UTILITY TO OBTAIN AN EXEMPTION TO USE WATER ON THE SITE.

ALL PROPOSED SERVICE CONNECTIONS / DISCONNECTIONS IF ANY IN THE VERGE MUST BE DESIGNED AND UNDERTAKEN WITHOUT DAMAGE TO THE STREET TREES.

THE VERGE AND STREET TREES ARE TO BE PROTECTED WITH TEMPORARY FENCING TO PREVENT ANY USE DURING CONSTRUCTION. THE FENCING MUST BE PLACED SO THAT THE VERGE IS PROTECTED BUT ACCESS TO THE PEDESTRIAN NETWORK IS PROVIDED AT ALL TIMES.

NO CONSTRUCTION MATERIALS TO BE STORED ON VERGES  
NO CARPARKING OR EQUIPMENT PARKING PERMITTED ON VERGES  
NO SITE SHEDS, STORAGE SHEDS, SITE AMENITIES OR BELLSHEDS TO BE ERRECTED ON VERGES.

FENCE OF ANY EXISTING VERGE TREE FENCING TO BE ERRECTED BEFORE THE COMMENCEMENT OF ANY SITE WORK AND REMOVED AT COMPLETION OF ALL CONSTRUCTION AND COMMENCEMENT OF VERGE RESTORATION. THE FENCE IS TO REMAIN CONTINUOUS THROUGHOUT THE PROJECT. FENCING MUST NOT BE REMOVED FOR SERVICE INSTALLATION ACROSS THE VERGE UNLESS APPROVED BY TAMS.

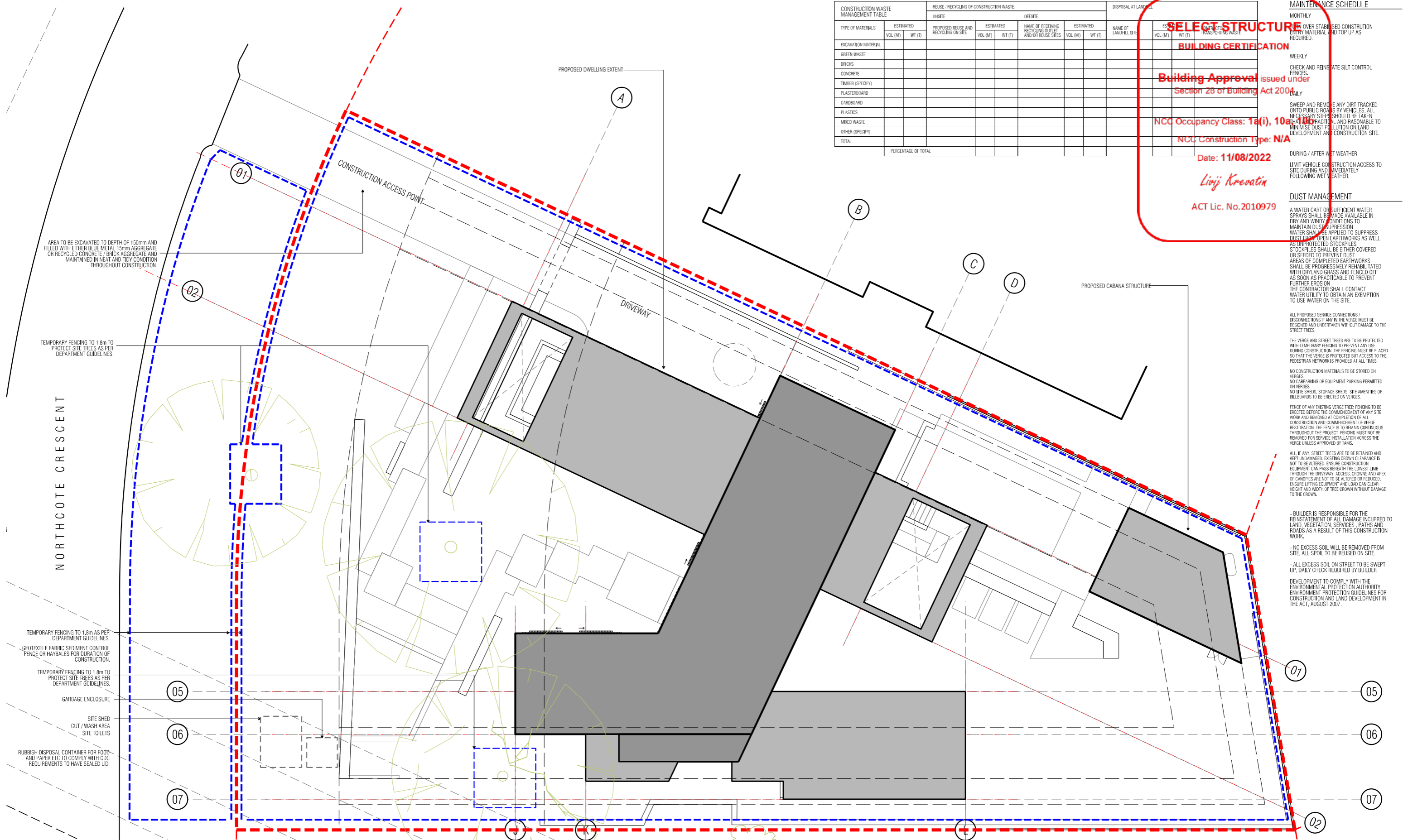
ALL IF ANY STREET TREES ARE TO BE RETAINED AND KEPT UNLAMEDED. EXISTING CROWN CLEARANCE IS NOT TO BE ALTERED. ENSURE CONSTRUCTION EQUIPMENT CAN PASS BENEATH THE LOWEST LIMB THROUGH THE DRIVEWAY ACCESS. CROWNS AND APEX OF CANOPIES ARE NOT TO BE ALTERED OR REDUCED. ENSURE LIMBS EQUIPMENT AND LOAD CAN CLEAR HEIGHT AND WIDTH OF TREE CROWN WITHOUT DAMAGE TO THE CROWN.

- BUILDER IS RESPONSIBLE FOR THE REINSTATEMENT OF ALL DAMAGE INCURRED TO LAND, VEGETATION, SERVICES, PATHS AND ROADS AS A RESULT OF THIS CONSTRUCTION WORK.

- NO EXCESS SOIL WILL BE REMOVED FROM SITE, ALL SPOIL TO BE REUSED ON SITE.

- ALL EXCESS SOIL ON STREET TO BE SWEEPED UP, DAILY CHECK REQUIRED BY BUILDER

DEVELOPMENT TO COMPLY WITH THE ENVIRONMENTAL PROTECTION AUTHORITY ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, AUGUST 2007.



DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
29/11/22		ISSUED FOR BUILDING APPROVAL					

**CONSTRUCTION**

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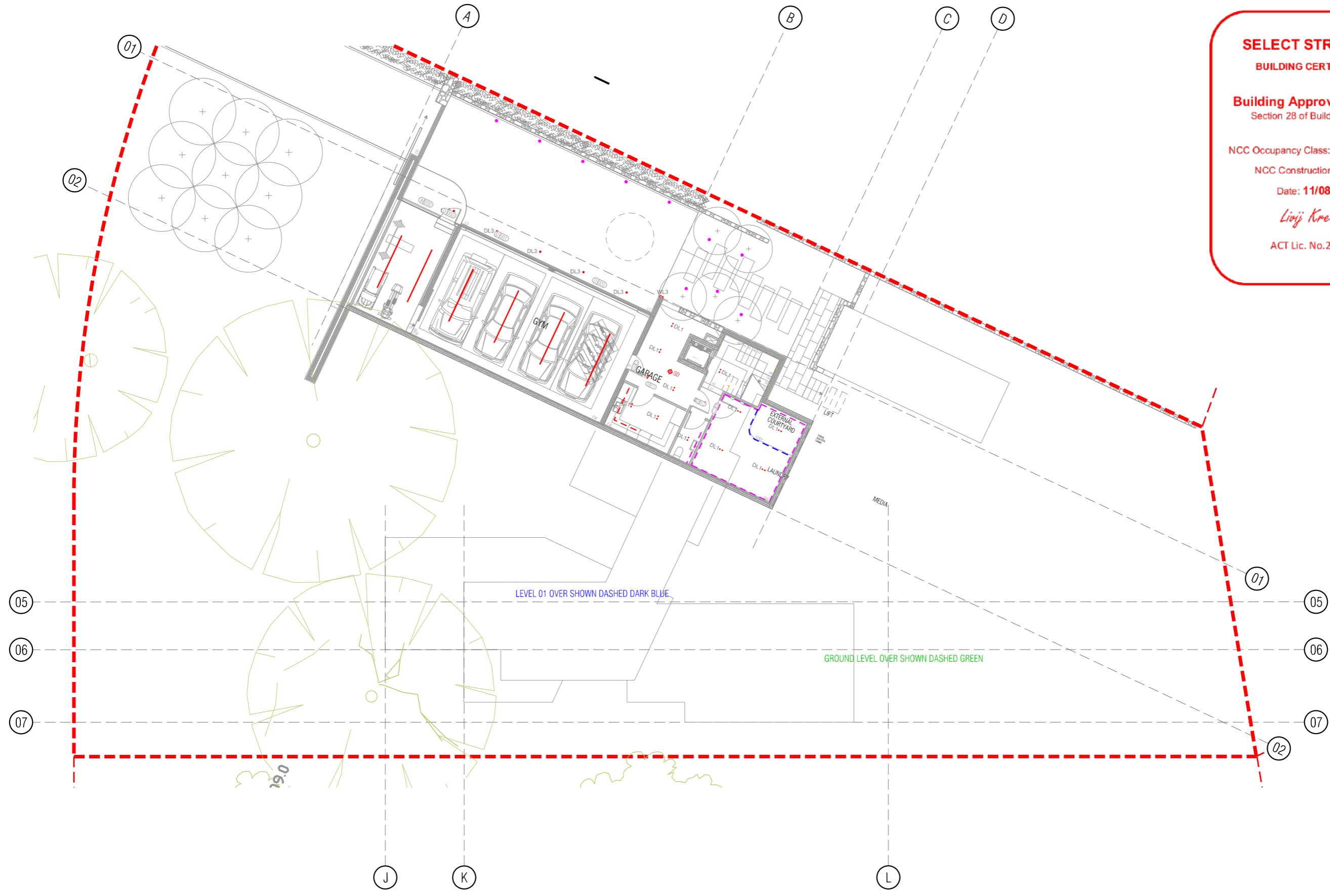
STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-

PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIMSION
11	09	DEAKIN

DRAWING TITLE		
LMPP PLAN		
SCALE	DRAWN	CHECKED
1:100 @A1	MP	MT
1:200 @A3		
JOB NO.	DATE	
TA2056	29/07/2022	
STATUS	DRAWING NO.	REVISION
WD	A105	03

NOTE:  
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**SELECT STRUCTURE  
BUILDING CERTIFICATION**

**Building Approval** issued under  
Section 28 of Building Act 2004

NCC Occupancy Class: **103, 103.10b**

NCC Construction Type: **N1**

Date: **11/08/2022**

*Lirij Krevatin*

ACT Lic. No. **2010979**

**LIGHTING LEGEND**

- DL1 DOWNLIGHT TYPE 1
- DL2 DOWNLIGHT TYPE 2
- DL3 DOWNLIGHT TYPE 3 (EXTERNAL)
- DL4 LED STRIP LIGHT IN JOINERY - REFER TO JOINERY DETAILS
- DL5 LED STRIP LIGHT IN CEILING
- DL6 LED STRIP LIGHT IN FLOOR
- PL1 PENDANT LIGHT TYPE 1
- PL2 PENDANT LIGHT TYPE 2
- WL1 WALL LIGHT TYPE 1
- WL2 WALL LIGHT TYPE 2 (EXTERNAL)
- WL3 WALL LIGHT TYPE 3 (EXTERNAL)
- SD SUGGESTED LOCATION FOR LAMP
- s WALL SWITCH
- sd WALL SWITCH WITH DIMMER
- ss WALL SWITCH WITH SENSOR
- zss ZETR WALL SWITCH WITH DIMMER
- zss SENSOR LOCATION (TBC)

**ELECTRICAL LEGEND**

- CODE DESCRIPTION
  - DOUBLE GPO - GENERAL USE
  - GPO - BUILT IN EQUIPMENT APPLIANCE/TV
  - TRIP GPO - GENERAL USE
  - SA SMOKE ALARM ASSTR0 DOMESTIC TYPE-TO COMPLY WITH NCC 3.7.5
- REFER TO JOINERY AND INTERNAL ELEVATION DRAWINGS FOR FURTHER INFORMATION RELATING TO LIGHTING  
 -REFER TO SERVICES ENGINEER REGARDING REQUIREMENTS OF ALL CONCEALED SERVICES  
 -REFER TO ELEC ENGINEER DOCUMENTATION REGARDING ELEC COMMS REQUIREMENTS, PRODUCT SELECTION, SWITCHING  
 -ALL LIGHT GLASSES TO BE WARM WHITE WHERE POSSIBLE  
 -EXTERNAL LIGHTING AND ELECTRICAL INSTALLATIONS INSTALLED TO AUSTRALIAN STANDARDS  
 -FUSES TO HAVE REQUIRED WATER AND GPOs  
 -OVENS TO HAVE REQUIRED GAS AND GPOs

**LANDSCAPE LIGHTING LEGEND**

- CODE DESCRIPTION
  - ACCENT UP LIGHT
  - PATH LIGHT LINEAR
  - STRIP LIGHTS UNDER STEPEDE
  - EXTERNAL WALL LIGHTS
- ALL LANDSCAPE LIGHTING IS ON SUNSET SENSOR / TIMER

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
29/07/22		ISSUED FOR BUILDING APPROVAL	04				

**CONSTRUCTION**  
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STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

NOTE:  
 ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REGULATIONS. CARRY OUT ALL WORK IN THE BEST AND TRADESMAN LIKE MANNER AND TO THE SATISFACTION OF THE SUPERINTENDENT.  
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PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIMSION
11	09	DEAKIN

GENERAL NOTES:  
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DRAWING TITLE		
REFLECTED CEILING PLAN BASEMENT		
SCALE	DRAWN	CHECKED
1:100 @A1	MP	MT
1:200 @A3		
JOB NO.	DATE	
TA2056	29/07/2022	
STATUS	DRAWING NO.	REVISION
WD	A120	04



**SELECT STRUCTURE  
BUILDING CERTIFICATION**

Building Approval issued under  
Section 28 of Building Act 2004

NCC Occupancy Class: **100, 100.100**  
NCC Construction Type: **N1**

Date: **11/08/2022**

*Livij Krevatic*

ACT Lic. No. **2010979**

**LIGHTING LEGEND**

- DL1 DOWNLIGHT TYPE 1
- DL2 DOWNLIGHT TYPE 2
- DL3 DOWNLIGHT TYPE 3 (EXTERNAL - REFER TO JOINERY DETAILS)
- LED STRIP LIGHT IN JOINERY - REFER TO JOINERY DETAILS
- LED STRIP LIGHT IN CEILING
- LED STRIP LIGHT IN FLOOR
- PL1 PENDANT LIGHT TYPE 1
- PL2 PENDANT LIGHT TYPE 2
- WL1 WALL LIGHT TYPE 1
- WL2 WALL LIGHT TYPE 2 (EXTERNAL - REFER TO JOINERY DETAILS)
- WL3 WALL LIGHT TYPE 3 (EXTERNAL - REFER TO JOINERY DETAILS)
- SUGGESTED LOCATION FOR LAMP
- S WALL SWITCH
- SD WALL SWITCH WITH DIMMER
- SS WALL SWITCH WITH SENSOR
- ZS ZETA WALL SWITCH WITH DIMMER
- SENSOR LOCATION (TBC)

**ELECTRICAL LEGEND**

- DOUBLE GPO - GENERAL USE
- GPO - BUILT IN EQUIPMENT/APPLIANCE/TV
- 3P/4P GPO - GENERAL USE
- SA SMOKE ALARM AS3785 DOMESTIC TYPE - TO COMPLY WITH MCC 3.7.5
- REFER TO JOINERY AND INTERNAL ELEVATION DRAWINGS FOR FURTHER INFORMATION RELATING TO LIGHTING
- REFER TO SERVICES ENGINEER REGARDING REQUIREMENTS OF ALL CONSULTED SERVICES
- REFER TO E/EC ENGINEER DOCUMENTATION REGARDING ELECTRICALS REQUIREMENTS, PRODUCT SELECTION, SWITCHING
- ALL LIGHT FIXTURES TO BE WARM WHITE WHERE POSSIBLE
- EXTERNAL LIGHTING AND ELECTRICAL INSTALLATIONS INSTALLED TO AUSTRALIAN STANDARDS
- FROSTES TO HAVE REQUIRED WATER AND GPOs
- Ovens TO HAVE REQUIRED GAS AND GPOs

**LANDSCAPE LIGHTING LEGEND**

- ACCENT UP LIGHT
- PATH LIGHT LINEAR
- STRIP LIGHTS UNDER STEPPEDGE
- EXTERNAL WALL LIGHTS

- ALL LANDSCAPE LIGHTING IS ON SUNSET SENSOR / TIMER

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
29/07/22		ISSUED FOR BUILDING APPROVAL	04				

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STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER

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PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN

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DRAWING TITLE		
REFLECTED CEILING PLAN GROUND PLAN		
SCALE	DRAWN	CHECKED
1:100 @A1	MP	MT
1:200 @A3		
JOB NO.	DATE	
TA2056	29/07/2022	
STATUS	DRAWING NO.	REVISION
WD	A121	04





L1 ROOF  
RL:616.850

FCL:616.150

FIRST FLOOR  
FEL:613.600

FCL:616.100

GROUND KITCHEN  
FEL:610.400

LAUNDRY  
FEL:607.350

**SELECT STRUCTURAL MATERIAL WALL FINISHES**

CODE	DESCRIPTION
BL1	BALUSTRADING TO COMPLY WITH NCC 3.9.2
BL2	GLASS BALUSTRADING PERIMETER FRIED
FN1	BATTEN FENCE AND GATE
FN2	GLASS POOL FENCE
FN3	TIMBER PALING BOUNDARY FENCING TO BE 1.8m IN ACCORDANCE TO AS1926.1. FINISH AS SPECIFIED.
LVL 1	POWDERCOATED ALUMINIUM WEATHER LOUVER PANEL
LVL 2	BASINMENT EXHAUST & INTAKE WEATHER LOUVRES
PU1	PAINT FINISH - TO MATCH WINDOW FRAME
PU2	RENDERED FINISH - NATURAL CONCRETE
PU3	TEXTURED RENDERED FINISH - MID GREY
SM1	DOMINION SHEET METAL CLADDING
STN	STONE CLADDING
TL11	TILE FINISH TO MATCH POOL SURROUND

**Building Approval issued under Section 28 of Building Act 2004**

**NCC Occupancy Class: 1a(i), 10a, 10b**

**NCC Construction Type: N/A**

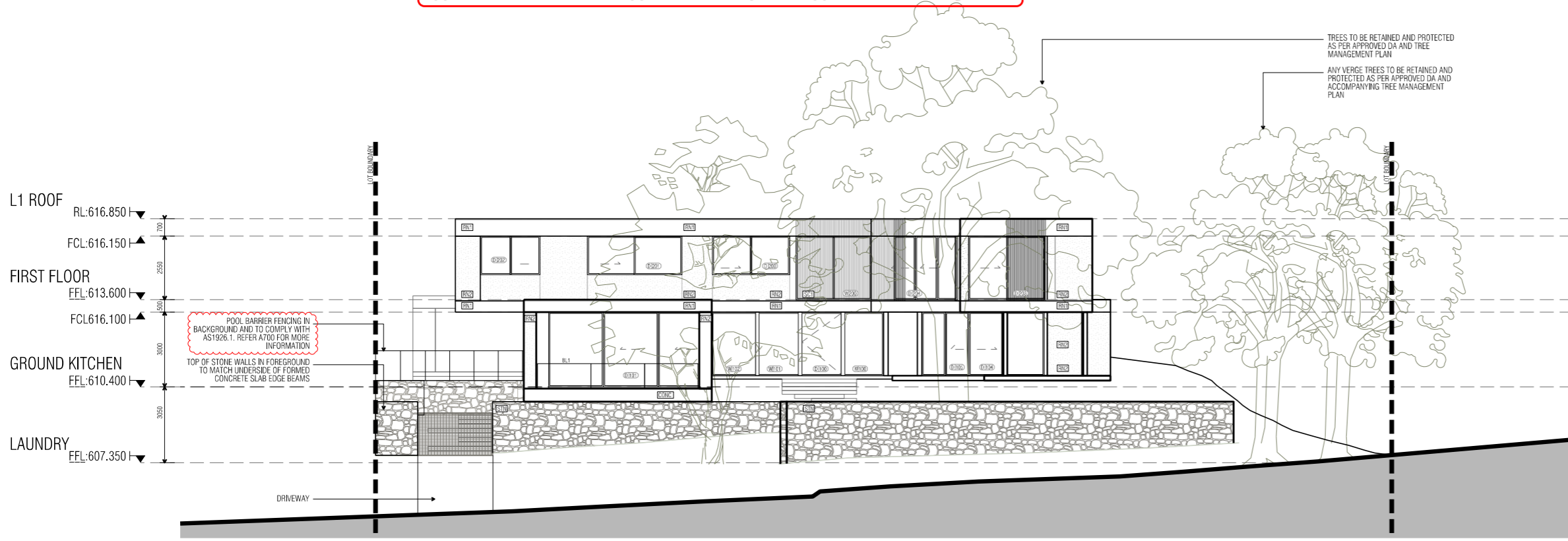
Date: 11/08/2022

*Linj Krevatin*

ACT Lic. No.2010979

**EXTERNAL WALL CLADDING SYSTEM**  
Cladding system to be compliant and installed with all relevant provisions of:  
\*The National Construction Code;  
\*The Building Code of Australia;  
\*The Australian Standards;  
approved condition of use application, or any other application law or regulation.

02 STREET ELEVATION  
1:100 @ A1



POOL BARRIER FENCING IN BACKGROUND AND TO COMPLY WITH AS1926.1. REFER A701 FOR MORE INFORMATION

TOP OF STONE WALLS IN FOREGROUND TO MATCH UNDERSIDE OF FORMED CONCRETE SLAB EDGE BEAMS

TRES TO BE RETAINED AND PROTECTED AS PER APPROVED DA AND TREE MANAGEMENT PLAN

ANY VERGE TREES TO BE RETAINED AND PROTECTED AS PER APPROVED DA AND ACCOMPANYING TREE MANAGEMENT PLAN

01 STREET ELEVATION  
1:100 @ A1

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
11/07/22		REVISED POOL BARRIER FENCING	02				
29/07/22		ISSUED FOR BUILDING APPROVAL	03				

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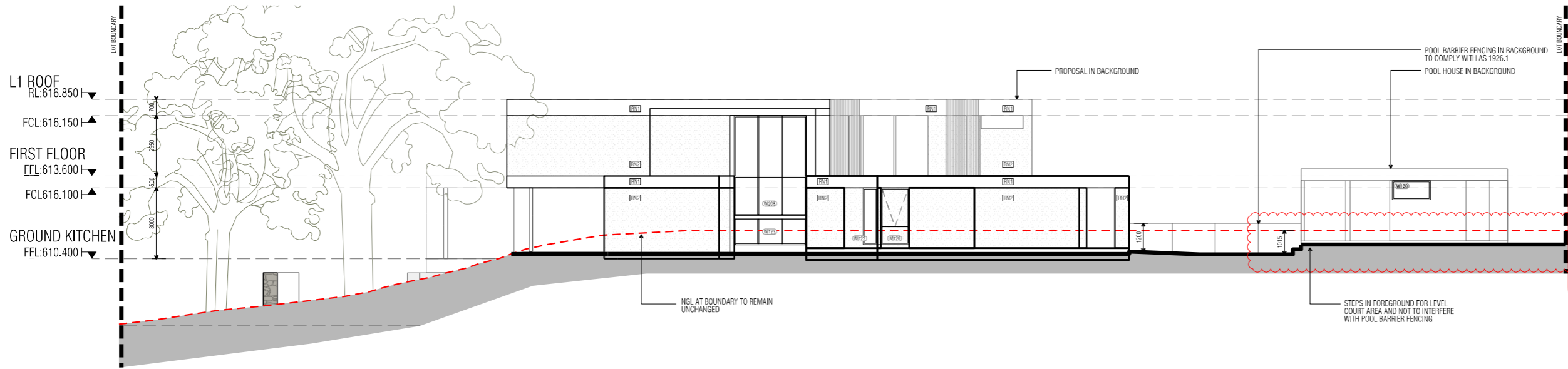
STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

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PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN

GENERAL NOTES:  
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DRAWING TITLE		
ELEVATIONS SHEET 01		
SCALE	DRAWN	CHECKED
1:100 @A1	MP	MT
1:200 @A3		
JOB NO.	DATE	
TA2056	29/07/2022	
STATUS	DRAWING NO.	REVISION
WD	A200	03



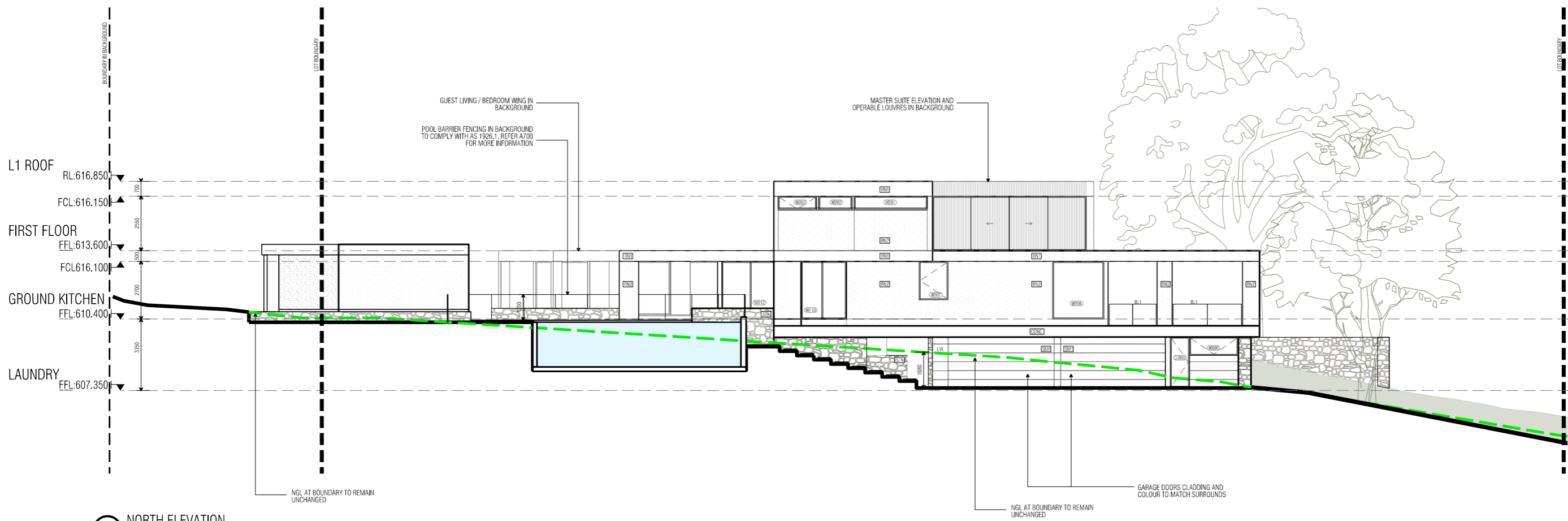
**SELECT STRUCTURAL MATERIAL WALL FINISHES**

CODE	DESCRIPTION
BL1	BALUSTRADING TO COMPLY WITH NCC 3.9.2
BL2	GLASS BALUSTRADE PERIMETER FRIED
FN1	BATTEN FENCE AND GATE
FN2	GLASS POOL FENCE
FN3	TIMBER PALING BOUNDARY FENCING TO BE 1.8m IN ACCORDANCE TO AS 1926.1. FINISH AS SPECIFIED.
LVL 1	POWDERCOATED ALUMINIUM WEATHER LOUVRE PANEL
LVL 2	BASINMENT EXHAUST & INTAKE WEATHER LOUVRES
PH1	PAINT FINISH - TO MATCH WINDOW FRAME
RNF	RENDERED FINISH - NATURAL CONCRETE
RF	TEXTURED RENDERED FINISH - MID GREY
SM1	DOMINION SHEET METAL CLADDING
STN	STONE CLADDING
TL1	TILE FINISH TO MATCH POOL SURROUND

**Building Certification**  
**Building Approval issued under Section 28 of Building Act 2004**  
**NCC Occupancy Class: 1a(i), 10a, 10b**  
**NCC Construction Type: WA**  
**Date: 11/08/2022**  
*Lirij Krovatin*  
**ACT Lic. No. 2010979**

**03 SOUTH ELEVATION**  
1:100 @ A1

**EXTERNAL WALL CLADDING SYSTEM**  
 Cladding system to be compliant and installed with all relevant provisions of:  
 \*The National Construction Code;  
 \*The Building Code of Australia;  
 \*The Australian Standards;  
 approved condition of use application, or any other application law or regulation.



**04 NORTH ELEVATION**  
1:100 @ A1

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
11/07/22		REVISED POOL BARRIER FENCING	02				
29/07/22		REVISED POOL HOUSE WINDOW	03				
29/07/22		RESUBMITTED FOR BUILDING APPROVAL	03				
08/08/22		REVISED NOTES	04				

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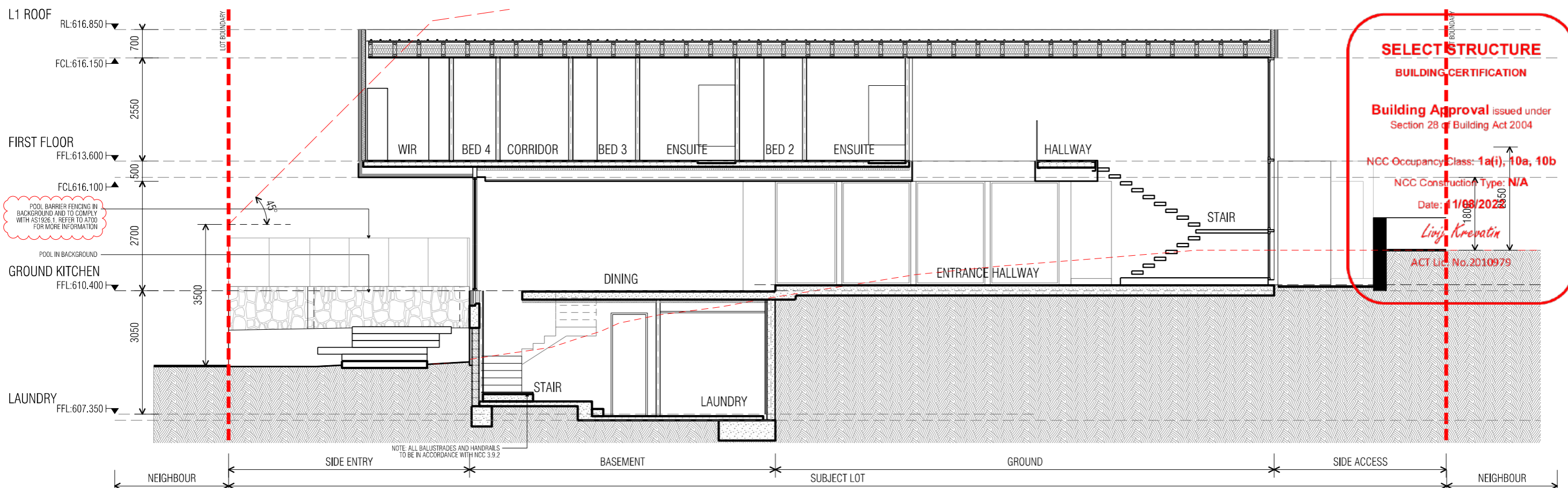
STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-

**NOTE:**  
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 ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED

PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN

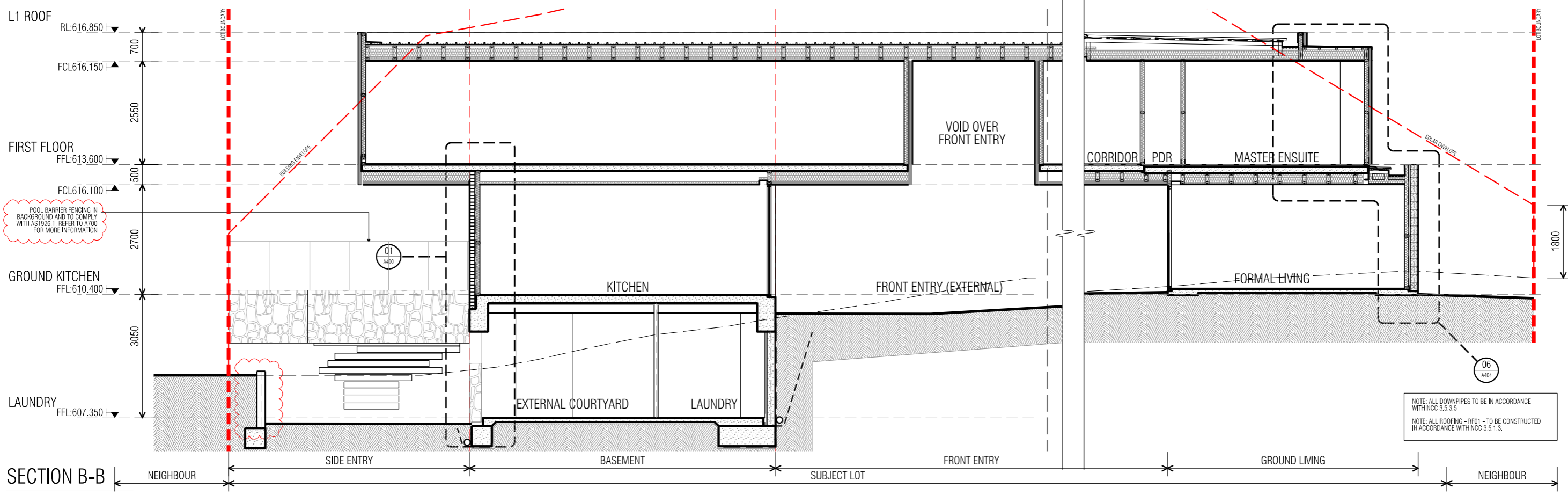
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DRAWING TITLE		
ELEVATIONS SHEET 02		
SCALE	DRAWN	CHECKED
1:100 @A1	MP	MT
1:200 @A3		
JOB NO.	DATE	
TA2056	08/08/2022	
STATUS	DRAWING NO.	REVISION
WD	A201	04



**SELECT STRUCTURE**  
**BUILDING CERTIFICATION**  
 Building Approval issued under  
 Section 28 of Building Act 2004  
 NCC Occupancy Class: **1a(i), 10a, 10b**  
 NCC Construction Type: **N/A**  
 Date: **1/08/2023**  
*Ling Krevatin*  
 ACT Lic. No. 2010979

SECTION A-A NEIGHBOUR SIDE ENTRY BASEMENT SUBJECT LOT GROUND SIDE ACCESS NEIGHBOUR



NOTE: ALL DOWNPIPES TO BE IN ACCORDANCE WITH NCC 3.5.3.5  
 NOTE: ALL ROOFING - RFO1 - TO BE CONSTRUCTED IN ACCORDANCE WITH NCC 3.5.1.3.

SECTION B-B NEIGHBOUR SIDE ENTRY BASEMENT SUBJECT LOT FRONT ENTRY GROUND LIVING NEIGHBOUR

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
11/07/2022		REVISED POOL BARRIER FENCING	06				
29/07/2022		REVISED RETAINING WALL	07				
29/07/2022		ISSUED FOR BUILDING APPROVAL	07				

**CONSTRUCTION**  
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 Page 39 of 133

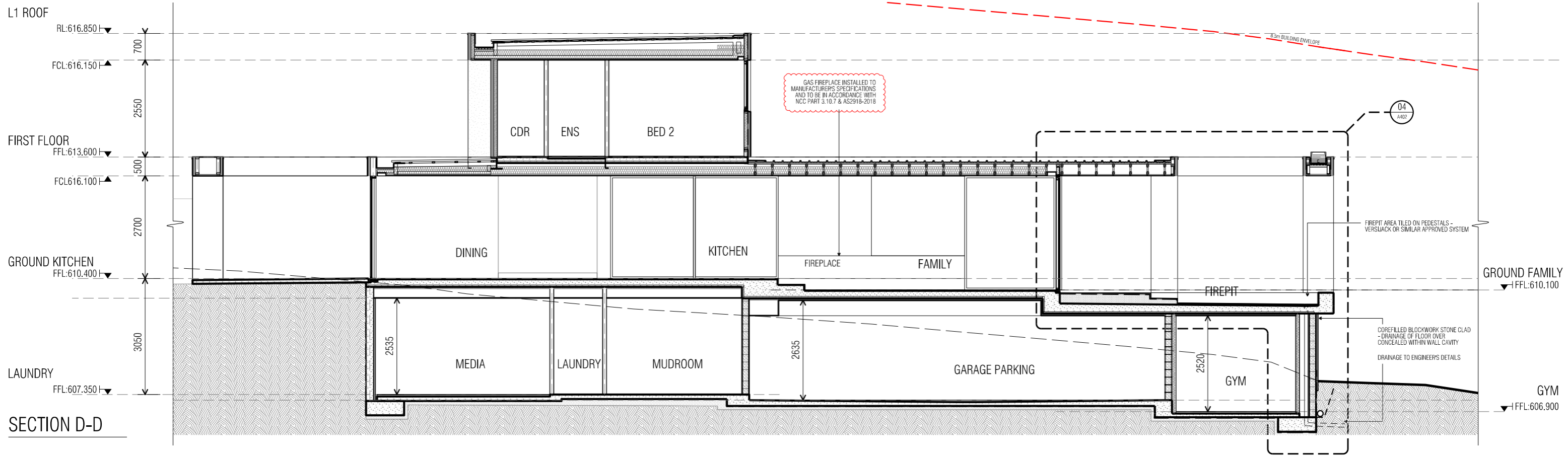
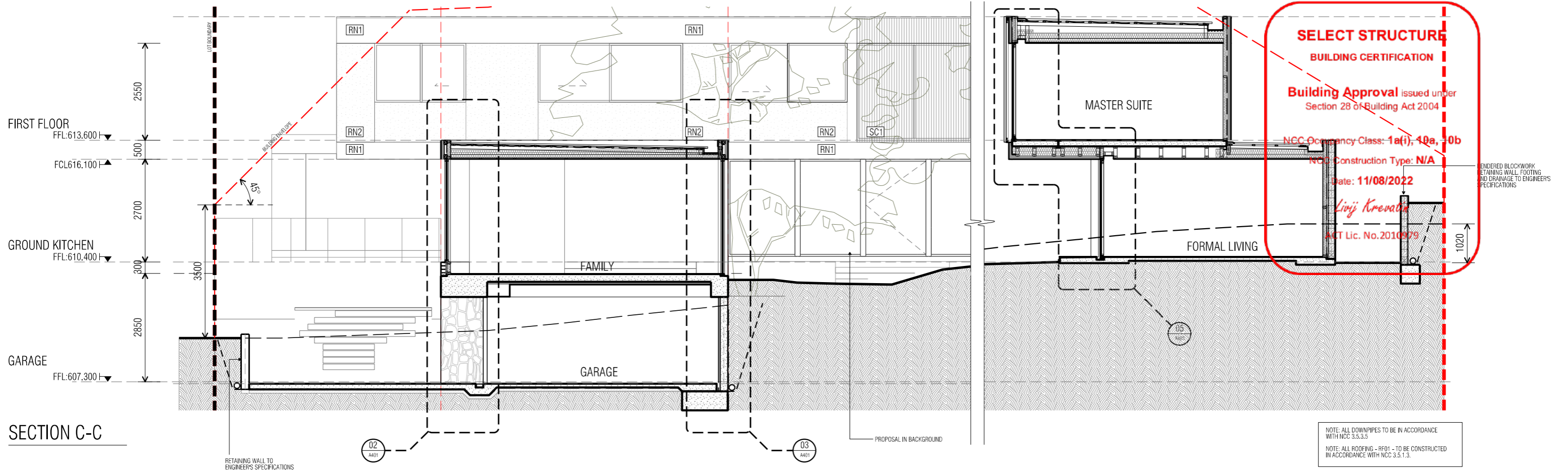
Suite 30, 2 King Street Deakin  
 Carberria ACT 2600  
 +61 6162 0735  
 e: carberria@turcoassociates.com.au  
 w: turcoassociates.com.au

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-

NOTE:  
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PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN
GENERAL NOTES:		
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DRAWING TITLE		
SECTIONS SECTION SHEET 01		
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JOB NO.	DATE	
TA2056	29/07/2022	
STATUS	DRAWING NO.	REVISION
WD	A300	07



DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
29/07/2022		REVISED NOTES	06				
29/07/2022		ISSUED FOR BUILDING APPROVAL	06				

**CONSTRUCTION**

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STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-

PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN

DRAWING TITLE		
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1:100 @A3		
JOB NO.	DATE	
TA2056	29/07/2022	
STATUS	DRAWING NO.	REVISION
WD	A301	06

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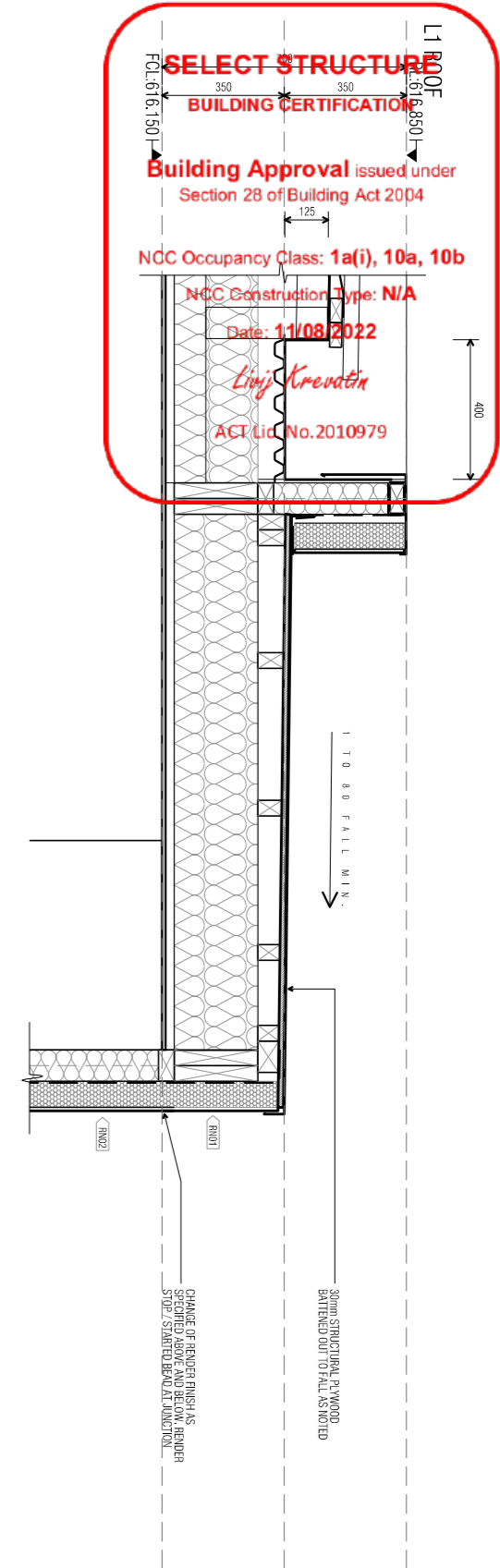
GENERAL NOTES:  
 DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS ONLY.  
 CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF  
 SHOP DRAWINGS OR FIXING. ANY DISCREPANCIES ARE TO BE  
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 COMMENCEMENT OF WORK.



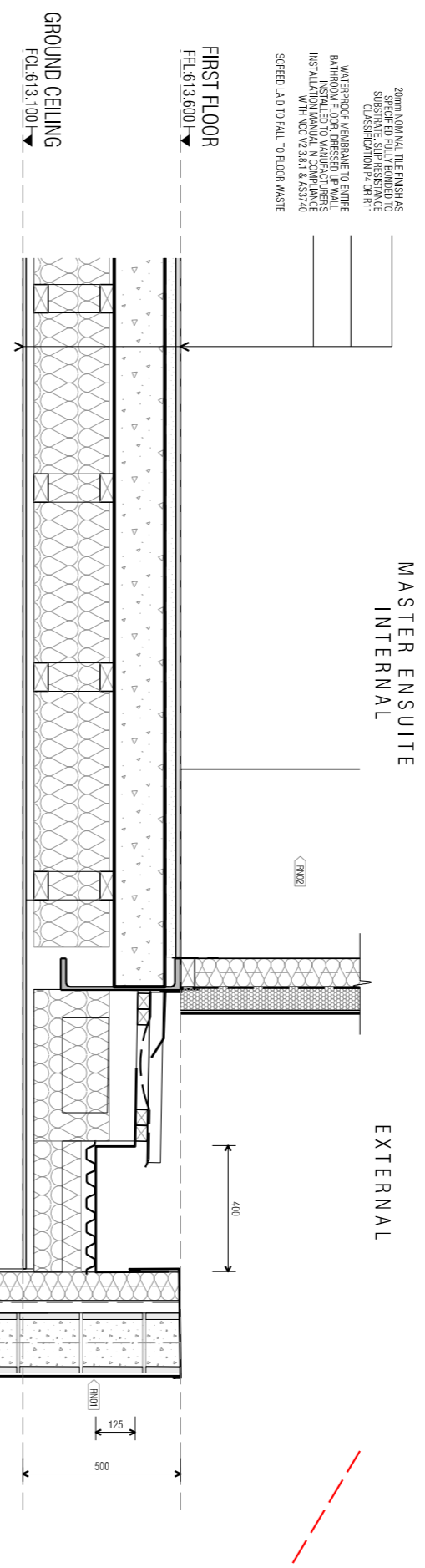




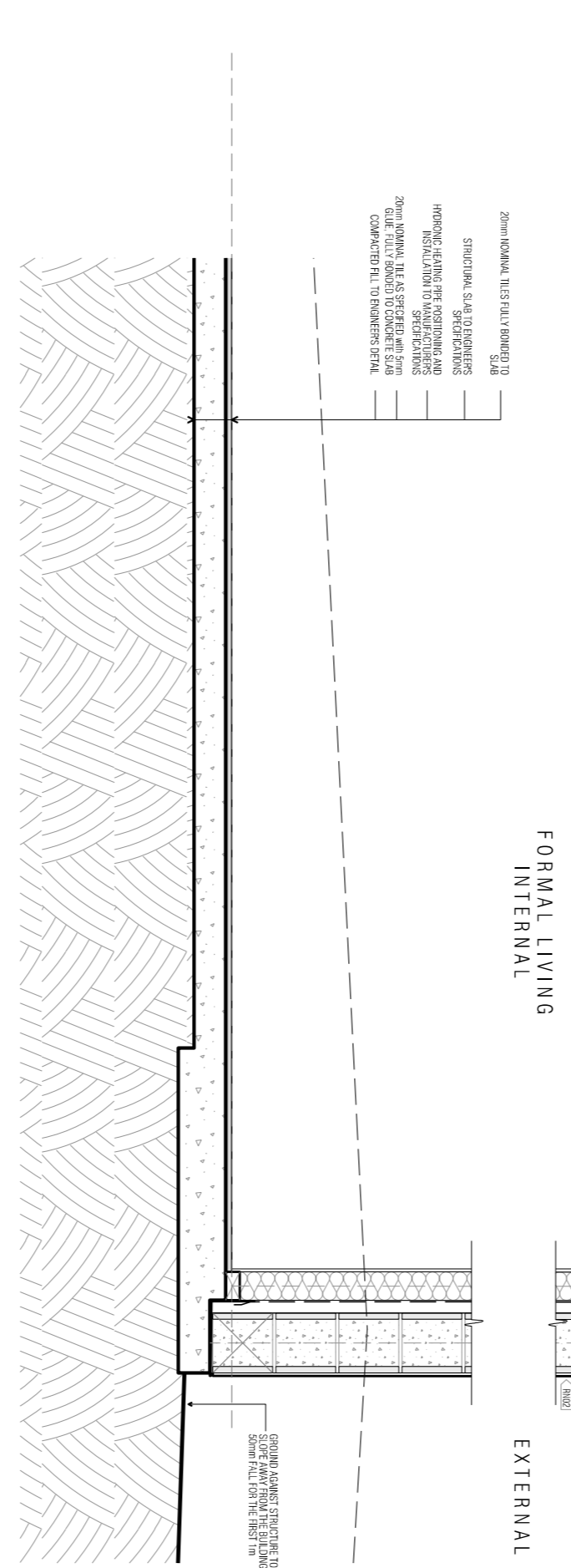
**SELECT STRUCTURE**  
**BUILDING CERTIFICATION**  
 Building Approval issued under  
 Section 28 of Building Act 2004  
 NCC Occupancy Class: **1a(i), 10a, 10b**  
 NCC Construction Type: **N/A**  
 Date: **11/08/2022**  
*Ling Krovatin*  
 ACT Lic No. 2010979



20mm NOMINAL TILE FINISH AS SPECIFIED IN RESISTANCE CLASSIFICATION P4 OR R11  
 WATERPROOF MEMBRANE TO ENTIRE BATHROOM FLOOR  
 INSTALLED TO MANUFACTURERS INSTALLATION MANUAL IN COMPLIANCE WITH NCC V2.9A.1.8 & S9.1.40  
 SCORED LAD TO FALL TO FLOOR WASTE



20mm NOMINAL TILES FULLY BONDED TO SLAB  
 STRUCTURAL SLAB TO ENGINEERS SPECIFICATIONS  
 HYDROBIC HEATING PIPE POSITIONING AND INSTALLATION TO MANUFACTURERS SPECIFICATIONS  
 20mm NOMINAL TILES SPECIFIED WITH 5mm GROUT FULLY BONDED TO CONCRETE SLAB COMPACTED FILL TO ENGINEERS DETAIL



**GENERAL NOTES:**  
 ALL GUNNING DOORS WITHIN 1200mm OF TOILET PAN TO HAVE LEFT OFF HANDS.  
 ALL LINEN CLOSETS TO HAVE A MINIMUM WATER HOLDING CAPACITY OF 30mm WHERE A 30mm STEP DOWN HAS NOT BEEN PROVIDED.  
 ALL SINKS / RAINWATER HEADS ARE TO BE PROVIDED WITH AN OVERFLOW PROVISION.  
 ROOFING TO COMPLY WITH PROVISIONS OF NCC 3.5.1.3.  
 ROOF DRAINAGE & DOWNPIPES IN ACCORDANCE WITH NCC 3.5.3.5.  
 ALL STAIRS TO HAVE ANON-SLIP RATINGS OF R9 OR R10 MINIMUM.  
 GLAZING TO AS1288 & 2047.  
 STAIRS TO BE BUILT IN ACCORDANCE WITH NCC 2019 PART 3.9.1.2.  
 WET AREAS TO BE BUILT IN ACCORDANCE WITH NCC 2019 PART 3.5.1 - WET AREAS AND EXTERNAL WATERPROOFING. ALL EXHAUST FANS ARE TO BE DUCTED DIRECTLY TO THE OUTSIDE AIR VIA DUCTS.  
 ALL TIMBER FRAMING TO COMPLY WITH THE PROVISIONS OF NCC 3.4.3.

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
29/07/22		ISSUED FOR BUILDING APPROVAL	02				

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Location

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 Page 64 of 133

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STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
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**NOTE:**  
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 ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED

PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN
GENERAL NOTES:		
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DRAWING TITLE		
SECTION DETAILS		
SHEET 03		
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1:20 @A3		
JOB NO.	DATE	
TA2056	08.06.2022	
STATUS	DRAWING NO.	REVISION
WD	A403	02



# BLOCK: 11 SECTION 09, DEAKIN

## GENERAL NOTES

- G1 These drawings shall be read in conjunction with other consultants' drawings and specifications and with other such written instructions as may be issued during the course of the Contract. Any discrepancy shall be referred to the Engineer before proceeding with the work.
- G2 All dimensions are in millimetres, U.N.O. (unless noted otherwise).
- G3 No dimension shall be obtained by scaling the drawings.
- G4 All levels and setting out dimensions shown on the drawings shall be checked on site prior to the commencement of the work.
- G5 During construction the structure shall be maintained in a stable condition and no part shall be overstressed.
- G6 Damp-proofing & sealing details shall be in accordance with Architect's details. All joints in concrete elements shall be suitably sealed or damp-proofed.

## FOUNDATIONS

- F1 Refer Slab Design Criteria for classification of site.
- F2 All foundations must be stable and uniform throughout.
- F3 Footings shall be placed centrally under walls and columns, U.N.O.

## LOADING

- L1 Superimposed floor loads are generally in accordance with AS 1170.1 or as noted in Table L4.
- L2 Wind loads are in accordance with AS/NZS 1170.2 as follows:  
Region : A Terrain category 3 wind classification N2
- L3 Earthquake loads are in accordance with AS 1170.4 as follows:  
a = 0.08 S = 1.0 I = 1.0, U.N.O.
- L4 Live loads & additional dead loads: (to AS/NZS 1170.1)

Area subject to loading	Live Load		Add. Dead Load
	Uniform	Point	
Floors - Internal	1.50 kPa	1.80 kN	0.50 kPa
Floors - External & Garage	3.00 kPa	1.80 kN	1.00 kPa
Roof Areas	0.25 kPa	1.40 kN	0.15 kPa

## MASONRY

- M1 All workmanship and materials shall be in accordance with AS 3700.
- M2 Characteristic compressive strength of masonry ( $f_{uc}$ ) = 24 MPa

Durability Requirements			
Mortar	Salt Attack Resistance Grade	Built In Component	Min. Cover to Reinforcement & Tendons in Grouted Cavities
M2	Protected	R1 (Galv'd 300 g/m <sup>2</sup> each side)	5
M3	General Purpose	R3 (Galv'd 470 g/m <sup>2</sup> each side)	15
M4	Exposure	R4 (Stainless)	30

- M3 All masonry walls supporting slabs and beams shall have a pre-greased two layer galvanised steel slip joint between concrete and masonry.
- M4 All masonry walls supporting or supported by concrete floors shall be provided with vertical joints to match any control joints in the concrete.
- M5 Non load bearing walls shall be separated from concrete above by 12 mm thick closed cell polyethylene strip.
- M6 Provide vertical control joints at 8 metres maximum centres, and 4 metres maximum from corners in masonry walls, and between new & existing brickwork.
- M7 Masonry retaining walls are to be backfilled with either of the following material:  
- Coarse grained soil with low silt content  
- Residual soil containing stones  
- Fine silty sand  
- Granular materials with low clay content

## REINFORCED CONCRETE

- C1 All workmanship and materials shall be in accordance with AS 3600 current edition, except where varied by the contract documents.
- C2 Concrete quality shall be as follows (subject to note C4 being satisfied):

Element	Slump mm	Max. Agg. Size mm	Cement Type	f'c at 28 Days MPa
Footings	80	20	Normal	20
Slabs on Ground	80	20	Portland	25
Suspended Floors	80	20	Type A	32

- C3 Engineer to approve any admixtures used in concrete mix.
- C4 Cover to reinforcement shall be obtained by the use of approved bar chairs. All chairs to be placed at 750 maximum centres.
- C5 Minimum clear concrete cover to reinforcement including ties and stirrups (other than residential slabs on ground or footings) shall be as follows uno.

Exposure Classification	Minimum Cover (mm)				
	Concrete Strength (f'c)				
	20 MPa	25 MPa	32 MPa	40 MPa	>50 MPa
A1	20	20	20	20	20
A2	(50)	30	25	20	20
B1	-	(60)	40	30	25
B2	-	-	(65)	45	35
C	-	-	-	(70)	50

For bracketed figures refer to AS 3600 current edition table 4.10.3.2

- C6 Residential slab on ground and footings cover requirements: (Minimum concrete grade N20)  
- Unprotected ground: 40 mm  
- External exposure: 40 mm  
- Membrane in contact with ground: 30 mm  
- Internal surface: 20 mm  
- Strip & pad footing: 40 mm
- C7 All concrete shall be mechanically vibrated. Vibrators shall not be used to spread concrete.
- C8 Sizes of concrete elements do not include thickness of applied finishes.
- C9 No holes or chases other than those shown on the structural drawings shall be made in concrete members without the prior approval of the Engineer.
- C10 Construction joints where not shown shall be located to the approval of the Engineer.
- C11 Curing of all concrete is to be achieved by keeping surfaces continuously wet for a period of 3 days, and prevention of loss of moisture for a total of 7 days followed by gradual drying out. Approved sprayed on compounds may be used where no floor finishes are proposed. Polythene sheeting or wet hessian may be used if protected from wind and traffic.
- C12 Construction support propping is to be left in place where needed to avoid over stressing the structure due to construction loading. No masonry or partition walls are to be constructed on suspended levels until all propping is removed and the slab has absorbed its dead load deflection.
- C13 Conduits, pipes, etc. shall only be placed in the middle one third of slab depth and spread at not less than 3 diameters.
- C14 Reinforcement symbols :  
N - Denotes deformed grade 500 normal ductility reinforcing bars to AS/NZS 4671.  
R - Denotes plain round grade 250 normal ductility reinforcing bars to AS/NZS 4671.  
SL - Denotes deformed grade 500 low ductility reinforcing mesh to AS/NZS 4671.  
RL - Denotes deformed grade 500 low ductility reinforcing mesh to AS/NZS 4671.  
L-TM - Denotes deformed grade 500 low ductility trench mesh to AS/NZS 4671.
- C15 Reinforcement is represented diagrammatically; it is not necessarily shown in true projection.
- C16 Splices in reinforcement shall be made only in positions shown or otherwise approved by the Engineer.
- C17 Fabric reinforcement shall have splices made so that the overlap, measured between the outermost transverse wires of each sheet of fabric, is not less than the spacing of those wires plus 25 mm.
- C18 Welding of reinforcement shall not be permitted unless shown on the structural drawings or approved by the Engineer.
- ### STRUCTURAL STEEL
- S1 All workmanship and materials shall be in accordance with AS 4100, AS 1163, AS 1554.1 and AS/NZS 4600.
- S2 The structural design has been based on the following steel grades, U.N.O.:  
Hot rolled universal beams, columns, channels & angles: 300PLUS  
Circular, square & rectangular hollow sections: C350/C450L0  
Cold formed open DuraGal profiles: C400/C450L0  
Cold formed lipped Cee & Zed purlins: G550/G500/G450
- S3 The structural design has been based on MBPMA nominal size Cee & Zed lipped purlins. All purlin profiles shall be in accordance with the MBPMA specifications.
- S4 Qualifications of welding procedures and personnel shall conform to Section 4 of AS 1554.1. Non destructive testing of welds shall include 100% visual inspection and additional testing as shown on the drawings.  
All welds shall be 6 mm continuous fillet type SP, U.N.O. All butt welds shall be complete penetration in accordance with AS 1554.1, U.N.O.  
Commercial bolts to AS 1111, snug tightened  
High strength structural bolts to AS 1562, snug tightened  
High strength structural bolts to AS 1562, fully tensioned bearing joint to AS 1511  
High strength structural bolts to AS 1562, fully tensioned friction joint to AS 1511  
All bolts shall be M16 8.8/S, with a minimum of 2 bolts per connection, U.N.O.
- S7 High strength TF & TB bolts shall be installed using approved load indicator washers, or in accordance with the part turn method nominated in AS 4100.
- S8 Gusset plates shall be 10 mm thick, grade 300PLUS steel, U.N.O.
- S9 Concrete encased steelwork shall be wrapped with SL41 fabric and shall have a minimum of 50 mm cover, U.N.O.
- S10 Steelwork not encased shall have the following surface treatment :

Exposure Classification	Steelwork Protection Required
A1 / A2	Power tool clean to AS1627 Class 1 1 Coat Alkyd Primer (Zinc Phosphate)
B1	Abrasive blast to AS1627 Class 2.5 1 Coat Inorganic Zinc Silicate
B2	Hot Dipped Galvanised to AS4680

- S11 Where sealed tube members are hot dip galvanised, the fabricator shall provide drill holes as necessary.
- S12 All transport and erection damage, site welds etc., shall be reinstated to an equivalent finish to adjacent steelwork

## SITE PREPARATION FOR SLABS ON GROUND

- P1 Strip topsoil containing organic matter. Proof roll fill sub grade and remove any soft zones.
- P2 Where additional fill is required to the underside of slabs on ground, non cohesive materials such as sand and gravel dust shall be placed by "controlled" compaction in horizontal layers of 200 mm (loose) maximum depth. This fill shall be compacted to at least 95% of Standard Maximum Dry Density (SMDD).
- P3 For slabs on ground, sand 50 mm approximate thickness is to be spread as a levelling layer and well watered down.
- P4 Damp-proofing membrane unpunctured and taped at laps, is to be placed over the sand, sufficient membrane being provided at edges to return under brickwork. Where no brickwork, tape membrane to side of footing below ground.

## FOUNDATION MAINTENANCE

FOUNDATION SOILS : All soils are affected by water. Silts are weakened by water and some sands can settle if heavily watered, but most problems arise on clay foundations. Clays swell and shrink due to changes in moisture content and the potential amount of the movement is implied in the site classification in Australian Standard AS2870, which is specified as follows:

- A Stable (Non-reactive).  
S Slightly Reactive.  
M Moderately Reactive.  
H Highly Reactive.  
E Extremely Reactive.

CLASS A & S SITES : Sands, silts and clays shall be protected from becoming extremely wet by adequate attention to site drainage and prompt repair of plumbing leaks.

CLASS M, H & E SITES : Sites classified as M, H, or E shall be maintained at essentially stable moisture conditions and extremes of wetting and drying prevented. This will require attention to the following :

Drainage of the site : The site shall be graded or drained so that water cannot pond against or near the house. The ground immediately adjacent to the house shall be graded to a uniform fall of 50 mm minimum away from the house over the first metre. The sub floor space for houses with suspended floors shall be graded or drained to prevent ponding where this may affect the performance of the footing system. The site drainage requirements shall be maintained for the economic life of the building.

Limitations on gardens : The development of the gardens shall not interfere with the drainage requirements or the sub floor ventilation and weep hole drainage systems. Garden beds adjacent to the house should be avoided. Care should be taken to avoid over watering of gardens close to the house footings.

Restrictions on trees and shrubs : Planting of trees should be avoided near the foundation of a house or neighbouring house on reactive sites as they can cause damage due to drying of the clay at substantial distances. To reduce, but not eliminate, the possibility of damage, tree planting should be restricted to a distance from the house of :

- 1.50 x mature height for Class E sites  
1.00 x mature height for Class M sites  
0.75 x mature height for Class H sites

Where rows or groups of trees are involved, the distance from the building should be increased. Removal of trees from the site can also cause similar problems.

Repair of leaks : Leaks in plumbing, including storm water and sewerage drainage should be repaired promptly.

The level to which these measures are implemented depends on the reactivity of the site. The measures apply mainly to masonry houses and masonry veneer houses. For frame houses clad with timber or sheeting, lesser precautions may be appropriate.

## BONDEK/CONDECK FORMWORK

- B1 U.N.O. BONDEK/CONDECK PANELS SHALL BE 1.00Mmm BMT
- B2 PANELS ARE TO BE SECURELY FIXED OR HELD DOWN TO PREVENT DISPLACEMENT DUE TO CONSTRUCTION LOADING OR WIND UPLIFT PRIOR TO CONCRETING
- B3 FIX PANELS TO STEELWORK BY PUDDLE WELDING DRIVE PINS OR OTHER SUITABLE METHODS. SLIP JOINTS SHALL BE LOCATED AS SHOWN
- B4 FIXING TO MASONRY IS NOT NECESSARY PROVIDED CONCRETE IS PLACED IMMEDIATELY AFTER PANELS ARE LAID. TOP COURSE OF BRICKWORK IS TO BE STRAIGHT AND LEVEL. IF REQUIRED, PROVIDE LAYER OF SMOOTH HARD MORTAR SLIP JOINTS SHALL BE PROVIDED AT ALL MASONRY U.N.O.

- B5 BEFORE CONCRETE IS PLACED, ANY ACCUMULATED DEBRIS, GREASE OR ANY OTHER SUBSTANCE WILL NEED TO BE REMOVED TO ENSURE CLEAN BONDING SURFACE. ANY PONDED RAINWATER SHOULD BE REMOVED BY BLOWING OR SWEEPING
- B6 FASTENING OF SIDE LAP JOINTS SHALL BE IN ACCORDANCE WITH LYSAGHT PUBLICATIONS, AND GENERALLY ONE No. 10-24x16mm SELF-DRILLING TAPPING SCREW IS REQUIRED MID-SPAN FOR SUPPORT SPACING OF 2750mm OR GREATER. FOR POINT LOADS RATINGS OR EXPOSED SOFFITS ADDITIONAL FIXING MAY BE REQUIRED
- B7 U.N.O PROPPING SHALL BE IN ACCORDANCE WITH LYSAGHT PUBLICATIONS
- B8 PROPS SHALL NOT BE REMOVED UNTIL CONCRETE HAS REACHED SUFFICIENT STRENGTH

## LEGEND

- DENOTES LOAD BEARING BRICK WALL OVER
- DENOTES CORE FILLED BLOCK WALL OVER
- DENOTES NON LOAD BEARING WALL OVER
- DENOTES NON LOAD BEARING WALL UNDER
- DENOTES LOAD BEARING MASONRY WALL UNDER
- DENOTES LOAD BEARING 190 DINCEL WALL
- DENOTES LOAD BEARING STUD WALL OVER
- DENOTES SLAB PENETRATION
- DENOTES SLAB STEP DEPTH
- DENOTES MINIMUM SLAB DEPTH
- DENOTES SLAB DATUM
- DENOTES STEEL BEAM 150mm BELOW SLAB DATUM
- DENOTES SAWN JOINT. REFER TO DETAILS.
- DENOTES KEY JOINT. REFER TO DETAILS.
- DENOTES DOUBLE STUD
- DENOTES TRIPLE STUD
- DENOTES F11x4.5 THICK PLYWOOD SHEET STRUCTURAL BRACING. REFER TO TIMBER FRAMING CODE FOR FIXING.
- DENOTES 30x0.8 METAL STRAP CROSS BRACING. REFER TO TIMBER FRAMING CODE AS1684 FOR FIXING.
- DENOTES CONTINUOUS STEEL COLUMN
- DENOTES STEEL COLUMN OVER
- DENOTES STEEL COLUMN UNDER
- DENOTES STEEL COLUMN UNDER & OVER

REINFORCEMENT COVERS			
SLAB ON GROUND		INTERIOR	EXTERIOR
SLAB	TOP	20mm	45mm
	BTM	30mm	30mm
	SIDES	45mm	45mm

ELEMENT	STRENGTH f <sub>c</sub>	MAX SIZE AGG. mm	SLUMP mm	CEMENT TYPE	ADMIXTURE
CONCRETE QUALITY					
FOOTINGS	20	20	80	GP	-
PIERS	20	20	80	GP	-
SLAB ON GROUND	25	20	80	GP	-

REFER TO GENERAL NOTES FOR REINFORCEMENT COVER

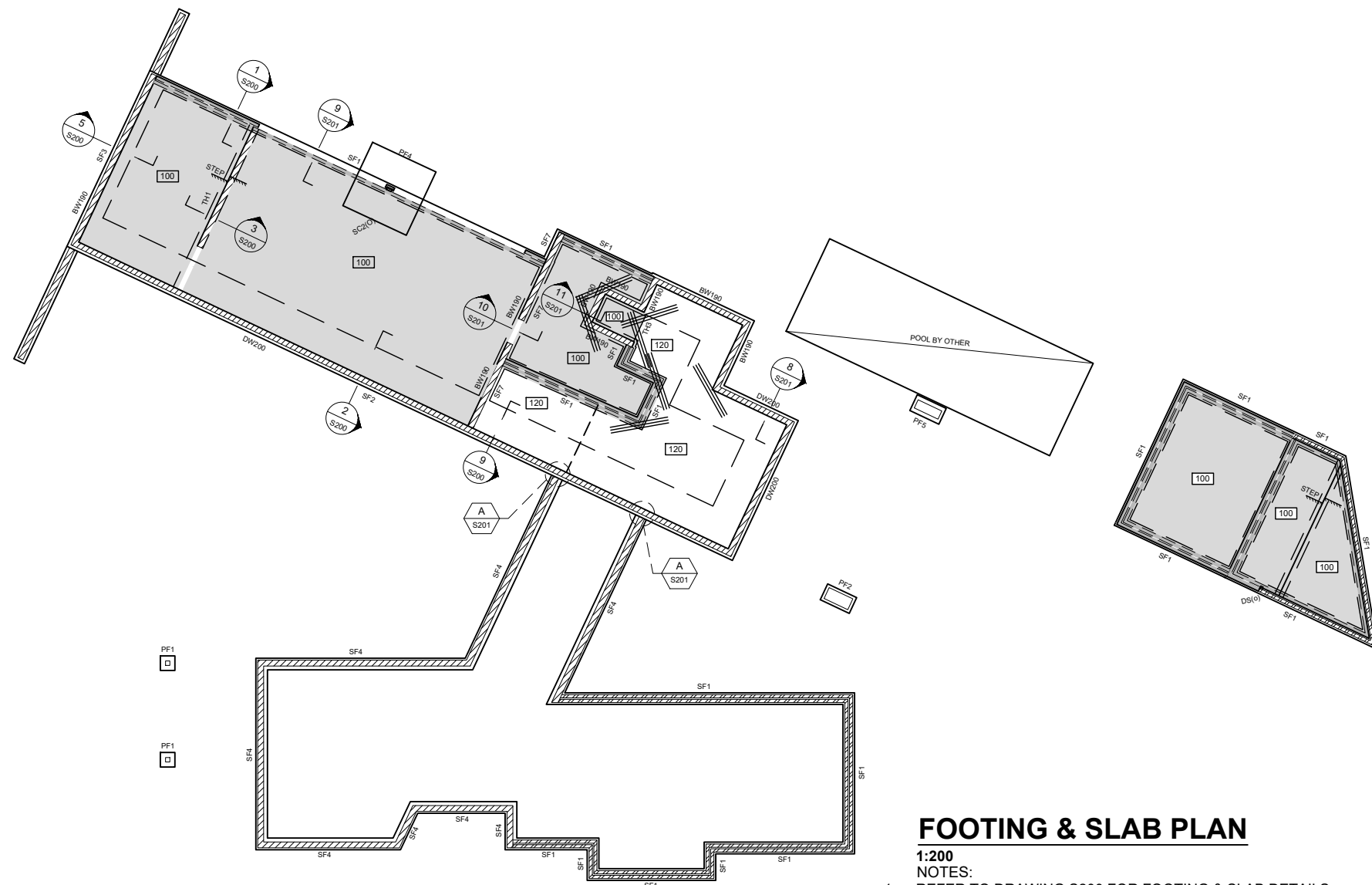
FOOTING SCHEDULE			
MARK	DESCRIPTION	SIZE	COMMENTS
PF1	PAD FOOTING	500 D x 500 x 500 W	MASS CONCRETE
PF2	PAD FOOTING	500 D x 600 x 1100 W	MASS CONCRETE
PF3	PAD FOOTING	500 D x 500 x 600 W	MASS CONCRETE
PF4	PAD FOOTING	500 D x 2400 x 2400 W	N16-200 TOP & BTM DIRECTIONS
PF5	PAD FOOTING	600 x 1100 W TO POOL DEPTH	MASS CONCRETE
SF1	STRIP FOOTING	500 D x 300 W	L11TM-200 TOP & BTM + 400mm L11TM CLIP SPACER
SF2	STRIP FOOTING	300 D x 1400 W	SL82 TOP & BTM + L11TM-200 TOP & BTM
SF3	STRIP FOOTING	300 D x 700 W	SL82 TOP & BTM
SF4	STRIP FOOTING	300 D x 400 W	SL82 TOP & BTM
SF5	STRIP FOOTING	300 D x 1400 W	SL82 TOP & BTM + L11TM-200 TOP & BTM
SF6	STRIP FOOTING	500 D x 600 W	2/L11TM-200 TOP & BTM + 400mm L11TM CLIP SPACER
SF7	STRIP FOOTING	500 D x 400 W	L11TM-300 TOP & BTM + 400mm L11TM CLIP SPACER
TH1	THICKENING	300 D x 300 W	L11TM-200 BTM
TH2	THICKENING	300 D x 300 W	L11TM-200 BTM
TH3	THICKENING	300 D x 1470 x 1230	N12-200 TOP & BTM BOTH DIRECTIONS
RW	RETAINING WALL	REFER DETAIL	REFER DETAIL

**NOTE:**  
 SITE CLASSIFICATION WAS NOT PROVIDED AT THE TIME OF ISSUING THOSE PLAN. FOOTING ARE DESIGNED FOR CLASS 'M'.  
 BUILDER OR OWNER NEED TO ENGAGE A GEOTECHNICAL ENGINEER TO PREPARE A SITE CLASSIFICATION IF IT IS NOT AVAILABLE THROUGH LAND DEVELOPER. NOTIFY OUR OFFICE IF SITE CLASS IS DIFFERENT FROM 'M' BEFORE COMMENCEMENT OF WORK ON SITE.

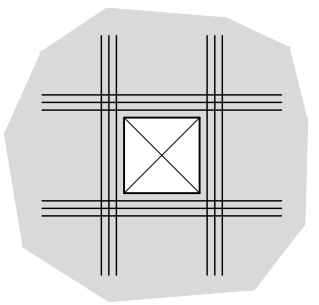
**NOTE:**  
 TRUSS LAYOUT TO BE FORWARDED TO ANH CONSULTING ENGINEERS BEFORE COMMENCEMENT OF WORK ON SITE  
 DO NOT LOAD INTERNAL WALLS WITHOUT PERMISSION OF A STRUCTURAL ENGINEER  
 TIMBER TRUSSES, ROOF BRACING, WALL FRAMING, LINTELS  
 WALL BRACING AND EXISTING ROOF SUPPORT TRUSSES BY FRAMING COMPANY.

### FOOTING & SLAB PLAN

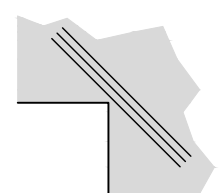
- 1:200**  
**NOTES:**
- REFER TO DRAWING S200 FOR FOOTING & SLAB DETAILS
  - ALL FOOTINGS TO BEAR ON SAME STRATA & ON NATURAL SOLID GROUND OTHERWISE BORED PIERS MAY BE REQUIRED UNDER.
  - ALL EXTERNAL SLABS TO BE 100 THICK WITH SL82 FABRIC IN TOP, 30 COVER
  - PROVIDE CONTINUOUS VAPOR BARRIER OR DAMP-PROOFING MEMBRANE OVER 50mm SAND UNDER ALL SLABS ACCORDING TO THE BCA FIG 3.2.2.3
  - ARTICULATE ALL BRICKWORK & DRAINAGE TO BCA
  - BUILDER TO REPORT SITE CONDITION TO STRUCTURAL ENGINEER AFTER THE SITE CUT & FILL IS COMPLETE
  - EXTENT OF SLAB ON FILL IS INDICATIVE AND TO BE CONFIRMED ON SITE  
 PIERS ARE NOT REQUIRED UNDER SLAB IF FILL DOES NOT EXCEED 400mm.



### TYPICAL SLAB TRIMMER DETAILS



PROVIDE 3 N12 BARS TOP EXTEND 600 MIN. PAST EACH EDGE OF THE PENETRATION. APPLY TO LARGER THAN 150 x 150 PENETRATION.



3 N12-2000 LONG (75 SPACING) TRIMMERS BARS AT ALL RE-ENTRANT CORNERS, TIED TO UNDERSIDE OF TOP REINFORCEMENT.

### SLAB PENETRATION TRIMMER

### SLAB RE-ENTRANT CORNER TRIMMER

### WALL LEGEND

- BW190 - 190 BLOCKWORK
- DW200 - 200 DINCEL WALL

100

### SLAB ON GROUND NOTES

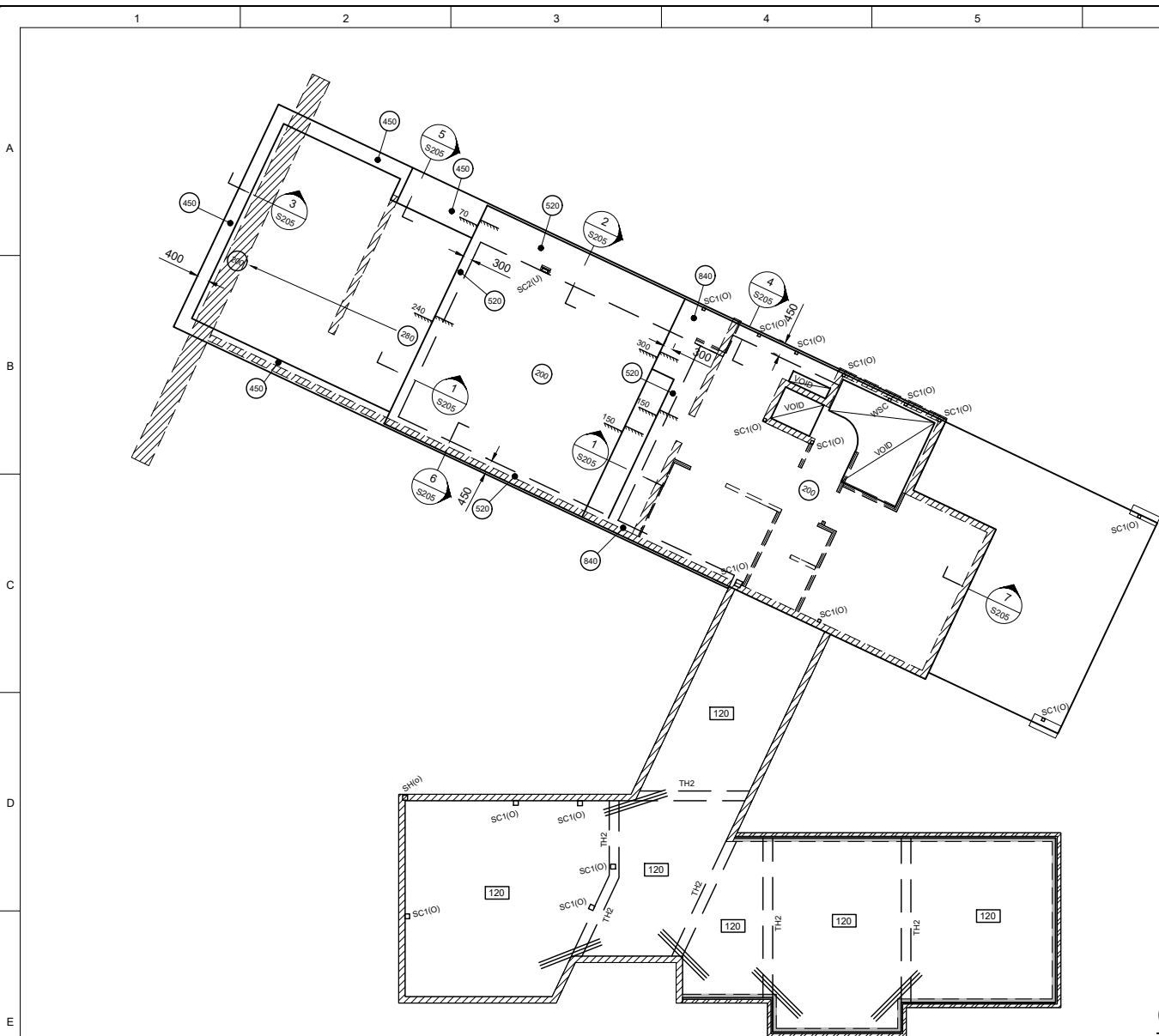
DENOTES EXTENT OF 100 THICK SLAB ON 400mm MAXIMUM COMPACTED FILL REINFORCED WITH SL82 MESH TOP CONTINUOUS THROUGHOUT PLUS ANY EXTRAS AS NOTED ON PLAN AND IN DETAILS. REFER TO TABLE BELOW FOR CONCRETE COVERS  
 NOTES TO BE READ IN CONJUNCTION WITH PLANS AND TYPICAL DETAILS

**ACT CONSULTING ENGINEERS**  
 UNIT 14 / 160 LYSAGHT STREET MITCHELL ACT 2911  
 WWW.ACTCE.COM.AU - OFFICE@ACTCE.COM.AU - 02 8103 0671

0m 0.5 1 1.5 2 2.5  
 1:50 @A1 1:100 @A3  
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REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED
A	FOR CC	10.10.2021	A.N	U.H	XX
B	FOR CC	26.11.2021	A.N	U.H	XX
C	FOR CC	18.05.2022	A.N	U.H	XX

CLIENT: ALEKSANDAR MILADINOVIC - TURCO PROJECT: NEW RESIDENCE SITE ADDRESS: BLOCK: 11 SECTION 09, DEAKIN SCALE: 1:200 DATE: 18.05.2022 DWG No.: S100 PROJECT No.: 21-944 REVISION: X DRAWING TITLE: FOOTING & SLAB PLAN



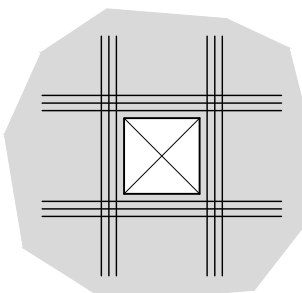
### GROUND FLOOR SLAB PLAN

1:200

NOTES:

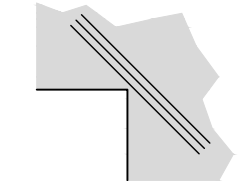
- REFER TO DRAWING S200 FOR FOOTING & SLAB DETAILS
- ALL FOOTINGS TO BEAR ON SAME STRATA & ON NATURAL SOLID GROUND OTHERWISE BORED PIERS MAY BE REQUIRED UNDER.
- ALL EXTERNAL SLABS TO BE 100 THICK WITH SL82 FABRIC IN TOP, 30 COVER
- PROVIDE CONTINUOUS VAPOR BARRIER OR DAMP-PROOFING MEMBRANE OVER 50mm SAND UNDER ALL SLABS ACCORDING TO THE BCA FIG 3.2.2.3
- ARTICULATE ALL BRICKWORK & DRAINAGE TO BCA
- BUILDER TO REPORT SITE CONDITION TO STRUCTURAL ENGINEER AFTER THE SITE CUT & FILL IS COMPLETE
- EXTENT OF SLAB ON FILL IS INDICATIVE AND TO BE CONFIRMED ON SITE PIERS ARE NOT REQUIRED UNDER SLAB IF FILL DOES NOT EXCEED 400mm.

#### TYPICAL SLAB TRIMMER DETAILS



PROVIDE 3 N12 BARS TOP  
EXTEND 600 MIN. PAST EACH  
EDGE OF THE PENETRATION.  
APPLY TO LARGER THAN  
150 x 150 PENETRATION.

#### SLAB PENETRATION TRIMMER



3 N12-2000 LONG (75 SPACING)  
TRIMMERS BARS AT ALL RE-ENTRANT  
CORNERS, TIED TO UNDERSIDE OF  
TOP REINFORCEMENT.

#### SLAB RE-ENTRANT CORNER TRIMMER

#### BONDEK NOTES

- 200** ALL SLABS TO BE 200 THICK WITH SL81 MESH TOP THROUGHOUT LAID LAST WITH 20 COVER PLUS EXTRA REINFORCEMENT AS NOTED ON PLAN
- 250** ALL SLABS TO BE 250 THICK WITH SL81 MESH TOP THROUGHOUT LAID LAST WITH 20 COVER PLUS EXTRA REINFORCEMENT AS NOTED ON PLAN

ELEMENT	STRENGTH f <sub>c</sub>	MAX SIZE AGG. mm	SLUMP mm	CEMENT TYPE	ADMIXTURE
CONCRETE QUALITY					
FOOTINGS	20	20	80	GP	-
PIERS	20	20	80	GP	-
SUSPENDED SLAB	32	20	80	GP	-
SLAB ON GROUND	32	20	80	GP	-

REFER TO GENERAL NOTES FOR REINFORCEMENT COVER

#### FOOTING SCHEDULE

MARK	DESCRIPTION	SIZE	COMMENTS
TH2	THICKENING	300 D x 300 W	L11TM-200 BTM

#### NOTE:

TRUSS LAYOUT TO BE FORWARDED TO ANH CONSULTING ENGINEERS BEFORE COMMENCEMENT OF WORK ON SITE  
DO NOT LOAD INTERNAL WALLS WITHOUT PERMISSION OF A STRUCTURAL ENGINEER  
TIMBER TRUSSES, ROOF BRACING, WALL FRAMING, LINTELS  
WALL BRACING AND EXISTING ROOF SUPPORT TRUSSES BY FRAMING COMPANY.

#### SLAB ON GROUND NOTES

- 100** DENOTES EXTENT OF 100 THICK SLAB ON 400mm MAXIMUM COMPACTED FILL REINFORCED WITH SL81 MESH TOP CONTINUOUS THROUGHOUT PLUS ANY EXTRAS AS NOTED ON PLAN AND IN DETAILS.
- 120** DENOTES EXTENT OF 120 THICK SLAB REINFORCED WITH SL82 MESH TOP & SL72 MESH BTM CONTINUOUS THROUGHOUT PLUS ANY EXTRAS AS NOTED ON PLAN AND IN DETAILS.

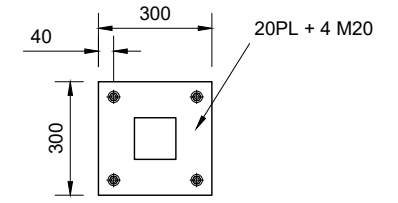
REFER TO TABLE BELOW FOR CONCRETE COVERS

NOTES TO BE READ IN CONJUNCTION WITH PLANS AND TYPICAL DETAILS

REINFORCEMENT COVERS			
SLAB ON GROUND		INTERIOR	EXTERIOR
SLAB	TOP	20mm	45mm
	BTM	30mm	30mm
	SIDES	45mm	45mm

#### STEEL & TIMBER MEMBER SCHEDULE

MARK	DESCRIPTION	SIZE	COMMENTS
SC2	STEEL COLUMN	250 x 150 x 9 SHS	
WSC	WALL STIFFENER COLUMN	100 x 100 x 10 SHS	



#### BASE PLATE DETAIL

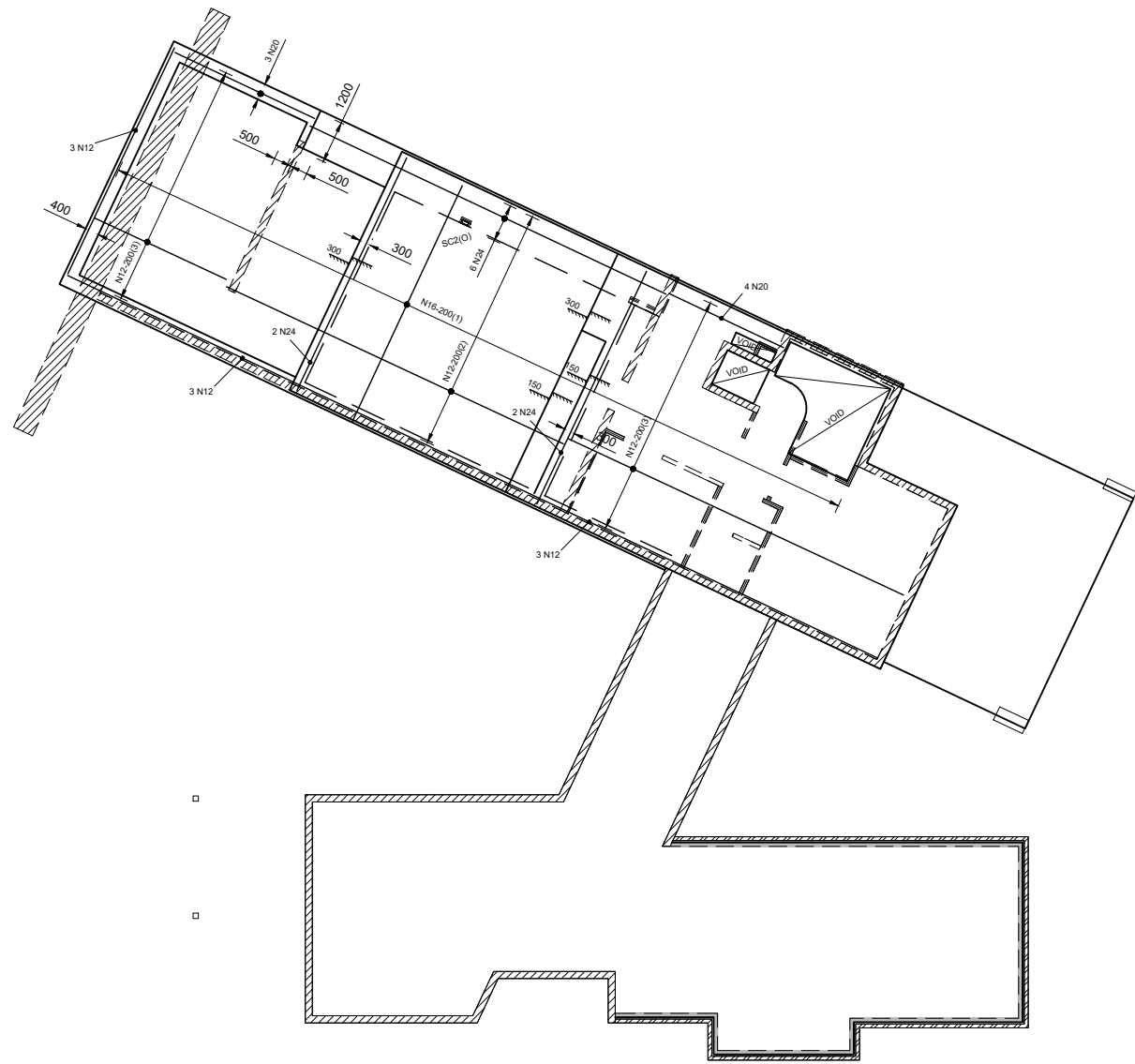
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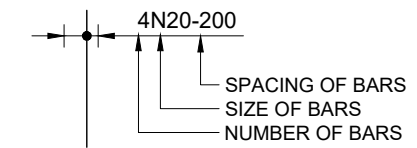
REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED
A	FOR CC	10.10.2021	A.N	U.H	XX
B	FOR CC	26.11.2021	A.N	U.H	XX
C	FOR CC	18.05.2022	A.N	U.H	XX

CLIENT:	ALEKSANDAR MILADINOVIC - TURCO	PROJECT:	NEW RESIDENCE	SITE ADDRESS:	BLOCK: 11 SECTION 09, DEAKIN	SCALE:	1:200	DATE:	18.05.2022	DWG No.:	S101
						PROJECT No.:	21-944	REVISION:	X		
DRAWING TITLE: GROUND FLOOR SLAB PLAN & LOWER TIMBER MARKING PLAN											



**REINFORCEMENT NOTES**

- R1. ALL SLABS TO BE REINFORCED AS NOTED ON PLAN U.N.O. IN DETAILS.
- R2. FOR REINFORCEMENT TO HOBS, STAIRS, ETC REFER TO DETAILS.
- R3. REINFORCEMENT CROSSING PENETRATIONS IS TO BE DISPLACED, NOT CUT.
- R4. BAR TAG NOTATION:

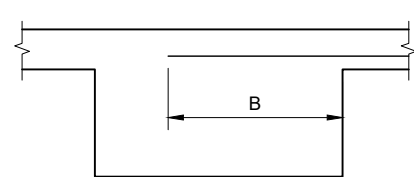


ALL SLAB REINFORCEMENT TO BE LAID IN SEQUENCE INDICATED BELOW:

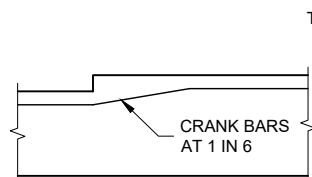
- LAID FIRST N12-250(1)
- LAID SECOND N12-250(2)
- LAID THIRD N12-250(3)
- LAID FOURTH N12-250(4)

REINFORCEMENT COVERS		INTERNAL	EXTERNAL
SLAB	TOP	20mm	45mm
	BTM	30mm	30mm
	SIDES	45mm	45mm

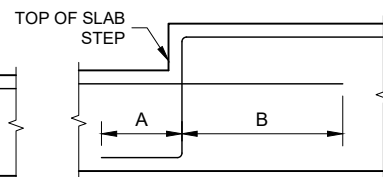
**BOTTOM REINFORCEMENT PLAN**  
1:200



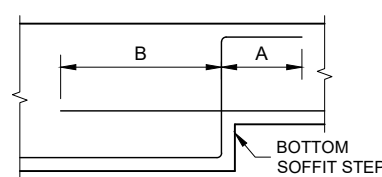
SLAB REO EXTENDING INTO BEAM



WET AREA SETDOWN



TOP OF SLAB STEP

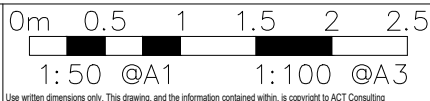


BOTTOM OF SLAB STEP

TYPICAL REINFORCEMENT BAR LAP AT STEPS			
BAR DIA.	A	B	
N12	200	600	
N16	300	800	
N20	400	1000	
N24	500	1200	
N28	600	1400	
N32	700	1600	
N36	800	1800	

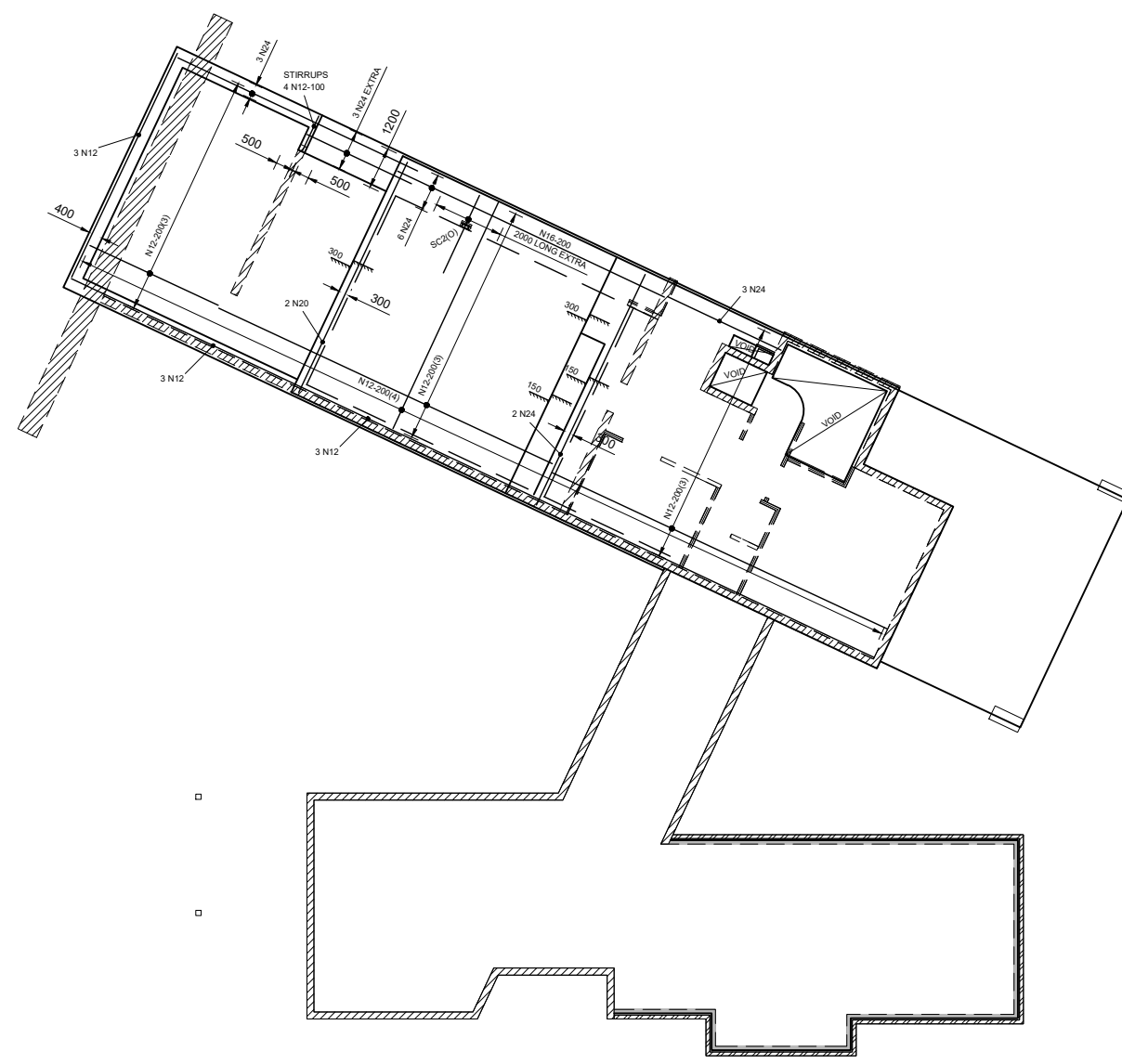
SLAB REINFORCEMENT MIN. SPLICE SCHEDULE	
BAR	LAP (mm)
UP TO N12	480
N16	640
N20	800
N24	960
N28	1120
N32	1280
N36	1440

STANDARD COG SCHEDULE	
BAR	COG (mm)
UP TO N12	200
N16	200
N20	245
N24	295
N28	340
N32	390
N36	440

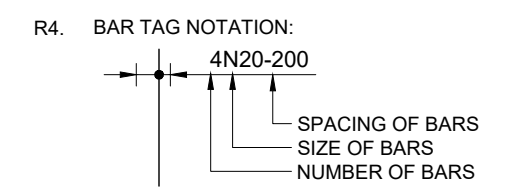


REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED
A	FOR CC	25.09.2021	A.N	U.H	XX
B	FOR CC	16.10.2021	A.N	U.H	XX
C	FOR CC	18.05.2022	A.N	U.H	XX

CLIENT: <b>ALEKSANDAR MILADINOVIC - TURCO</b>	PROJECT: <b>NEW RESIDENCE</b>	SITE ADDRESS: <b>BLOCK: 11 SECTION 09, DEAKIN</b>	SCALE: 1:200	DATE: 18.05.2022	DWG No.: <b>S102</b>
DRAWING TITLE: <b>BOTTOM REINFORCEMENT PLAN</b>			PROJECT No.: 21-944	REVISION: X	



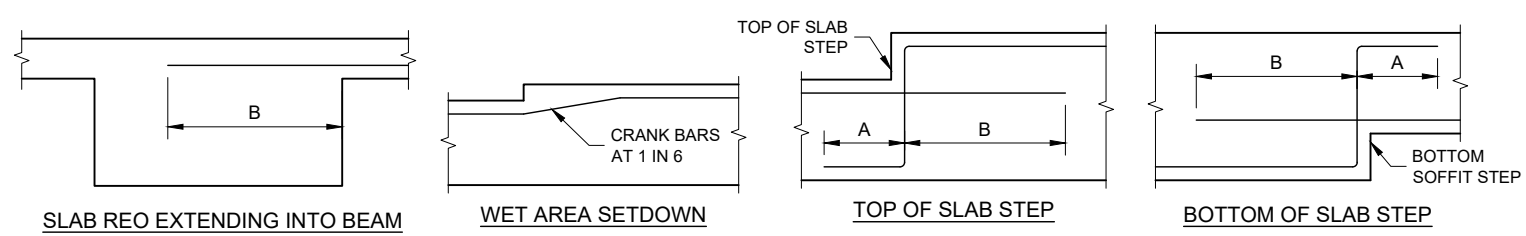
- REINFORCEMENT NOTES**
- R1. ALL SLABS TO BE REINFORCED AS NOTED ON PLAN U.N.O. IN DETAILS.
  - R2. FOR REINFORCEMENT TO HOBBS, STAIRS, ETC REFER TO DETAILS.
  - R3. REINFORCEMENT CROSSING PENETRATIONS IS TO BE DISPLACED, NOT CUT.



- ALL SLAB REINFORCEMENT TO BE LAID IN SEQUENCE INDICATED BELOW:
- LAID FIRST N12-250(1)
  - LAID SECOND N12-250(2)
  - LAID THIRD N12-250(3)
  - LAID FOURTH N12-250(4)

REINFORCEMENT COVERS			
SLAB		INTERNAL	EXTERNAL
		TOP	20mm
BTM		30mm	30mm
SIDES		45mm	45mm

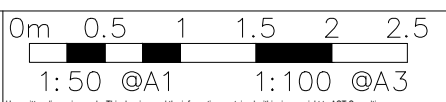
**TOP REINFORCEMENT PLAN**  
1:200



TYPICAL REINFORCEMENT BAR LAP AT STEPS		
BAR DIA.	A	B
N12	200	600
N16	300	800
N20	400	1000
N24	500	1200
N28	600	1400
N32	700	1600
N36	800	1800

SLAB REINFORCEMENT MIN. SPLICE SCHEDULE	
BAR	LAP (mm)
UP TO N12	480
N16	640
N20	800
N24	960
N28	1120
N32	1280
N36	1440

STANDARD COG SCHEDULE	
BAR	COG (mm)
UP TO N12	200
N16	200
N20	245
N24	295
N28	340
N32	390
N36	440

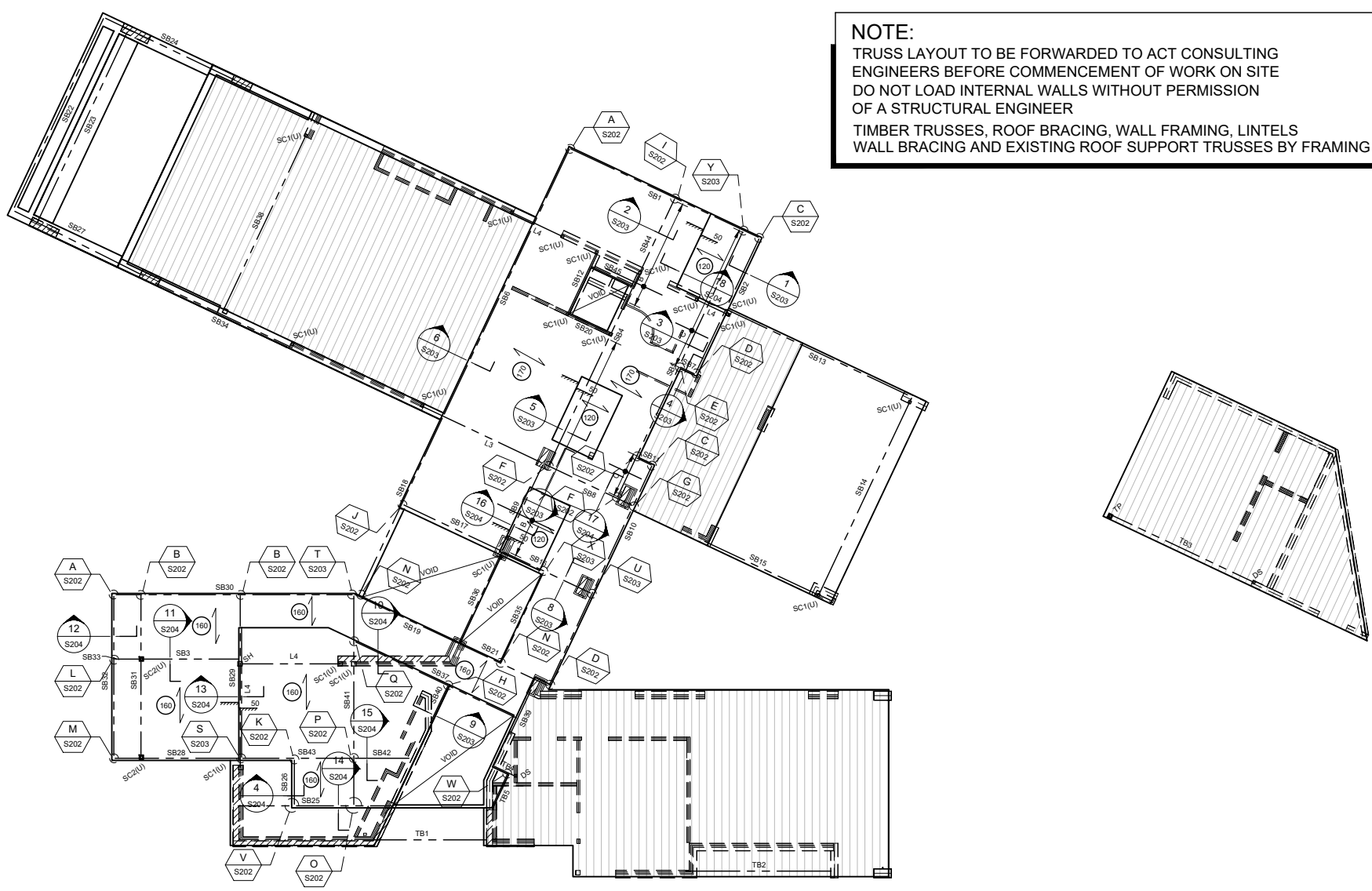


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A	FOR CC	25.09.2021	A.N	U.H	XX
B	FOR CC	16.10.2021	A.N	U.H	XX
C	FOR CC	18.05.2022	A.N	U.H	XX

CLIENT: ALEKSANDAR MILADINOVIC - TURCO PROJECT: NEW RESIDENCE SITE ADDRESS: BLOCK: 11 SECTION 09, DEAKIN

SCALE: 1:200 DATE: 18.05.2022 DWG No.: S103  
PROJECT No.: 21-944 REVISION: X  
DRAWING TITLE: TOP REINFORCEMENT PLAN

**NOTE:**  
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 DO NOT LOAD INTERNAL WALLS WITHOUT PERMISSION OF A STRUCTURAL ENGINEER  
 TIMBER TRUSSES, ROOF BRACING, WALL FRAMING, LINTELS  
 WALL BRACING AND EXISTING ROOF SUPPORT TRUSSES BY FRAMING COMPANY.



STEEL & TIMBER MEMBER SCHEDULE			
MARK	DESCRIPTION	SIZE	COMMENTS
DS	DOUBLE STUD	2/90 x 45 MGP10	
SC1	STEEL COLUMN	89 x 89 x 3.5 SHS	
SC2	STEEL COLUMN	89 x 89 x 5 SHS	GROUT FILLED CAVITY
SH	STEEL HANGER	75 x 75 x 5 SHS	
TP	TIMBER POST	90 x 90	
TB1	TIMBER BEAM	2/150 x 45 LVL	
TB2	TIMBER BEAM	2/200 x 45 LVL	
TB3	TIMBER BEAM	2/300 x 45 LVL	
TB4	TIMBER BEAM	2/300 x 45 LVL	
TB5	TIMBER BEAM	2/300 x 45 LVL	
SB1	STEEL BEAM	380 PFC	SAME LEVEL AS SB6
SB2	STEEL BEAM	380 PFC	
SB3	STEEL BEAM	200UB29	
SB4	STEEL BEAM	310UB40	
SB5	STEEL BEAM	310UC137	
SB6	STEEL BEAM	380 PFC	
SB7	STEEL BEAM	180 PFC	
SB8	STEEL BEAM	250UB37	
SB9	STEEL BEAM	250UB37	SAME LEVEL AS SB8
SB10	STEEL BEAM	180 PFC	SAME LEVEL AS SB7
SB11	STEEL BEAM	180 PFC	SAME LEVEL AS SB7
SB12	STEEL BEAM	180 PFC	SAME LEVEL AS SB7
SB13	STEEL BEAM	250 PFC	
SB14	STEEL BEAM	250 PFC	
SB15	STEEL BEAM	250 PFC	
SB16	STEEL BEAM	200 PFC	
SB17	STEEL BEAM	180 PFC	SAME LEVEL AS SB7
SB18	STEEL BEAM	380 PFC	SAME LEVEL AS SB6
SB19	STEEL BEAM	180 PFC	SAME LEVEL AS SB7
SB20	STEEL BEAM	180 PFC	SAME LEVEL AS SB7
SB21	STEEL BEAM	180 PFC	SAME LEVEL AS SB7
SB22	STEEL BEAM	250 PFC	
SB23	STEEL BEAM	250 PFC	
SB24	STEEL BEAM	250 PFC	
SB25	STEEL BEAM	250 PFC	
SB26	STEEL BEAM	180 PFC	
SB27	STEEL BEAM	250 PFC	
SB28	STEEL BEAM	250 PFC	SAME LEVEL AS SB32
SB29	STEEL BEAM	310UC96	
SB30	STEEL BEAM	380 PFC (PRECAMBER 16mm)	SAME LEVEL AS SB6
SB31	STEEL BEAM	310UC158	
SB32	STEEL BEAM	250 PFC	
SB33	STEEL BEAM	200UB29	SAME LEVEL AS SB3
SB34	STEEL BEAM	180 PFC	
SB35	STEEL BEAM	180 PFC	SAME LEVEL AS SB7
SB36	STEEL BEAM	150 PFC	
SB37	STEEL BEAM	250 PFC	

**UPPER FLOOR BONDEK SLAB PLAN**  
 1:200

STEEL & TIMBER MEMBER SCHEDULE			
MARK	DESCRIPTION	SIZE	COMMENTS
SB38	STEEL BEAM	180 PFC	
SB39	STEEL BEAM	180 PFC	
SB40	STEEL BEAM	180 PFC	
SB41	STEEL BEAM	310UC158	PRECAMBER 9mm
SB42	STEEL BEAM	250UB25	
SB43	STEEL BEAM	250UB25	SAME LEVEL AS SB42
SB44	STEEL BEAM	200UB22	
SB45	STEEL BEAM	180 PFC	SAME LEVEL AS SB7
L1	STEEL LINTEL	200 PFC	
L2	STEEL LINTEL	200 PFC	
L3	STEEL LINTEL	300 PFC	
L4	STEEL LINTEL	250 PFC	
A	N12@300, 2600 LONG TOP EXTRA TIED UNDER TOP FABRIC		
B	N12@400, 2100 LONG TOP EXTRA TIED UNDER TOP FABRIC		
C	N12@400, 1200 LONG TOP EXTRA TIED UNDER TOP FABRIC		

**BONDEK NOTES**

← DENOTES 1.00 BMT BONDEK SLAB SPAN DIRECTION (BY LYSAGHTS OR APPROVED EQUIVALENT)

120 ALL SLABS TO BE 120 THICK WITH SL82 MESH TOP THROUGHOUT LAID LAST WITH 20 COVER PLUS EXTRA REINFORCEMENT AS NOTED ON PLAN

160 ALL SLABS TO BE 160 THICK WITH SL82 MESH TOP THROUGHOUT LAID LAST WITH 20 COVER PLUS EXTRA REINFORCEMENT AS NOTED ON PLAN

170 ALL SLABS TO BE 170 THICK WITH SL82 MESH TOP THROUGHOUT LAID LAST WITH 20 COVER PLUS EXTRA REINFORCEMENT AS NOTED ON PLAN

ELEMENT	STRENGTH	MAX SIZE	SLUMP	CEMENT	ADMIXTURE
CONCRETE QUALITY	f <sub>c</sub>	AGG. mm	mm	TYPE	
SLAB ON BONDEK	32	20	80	GP	



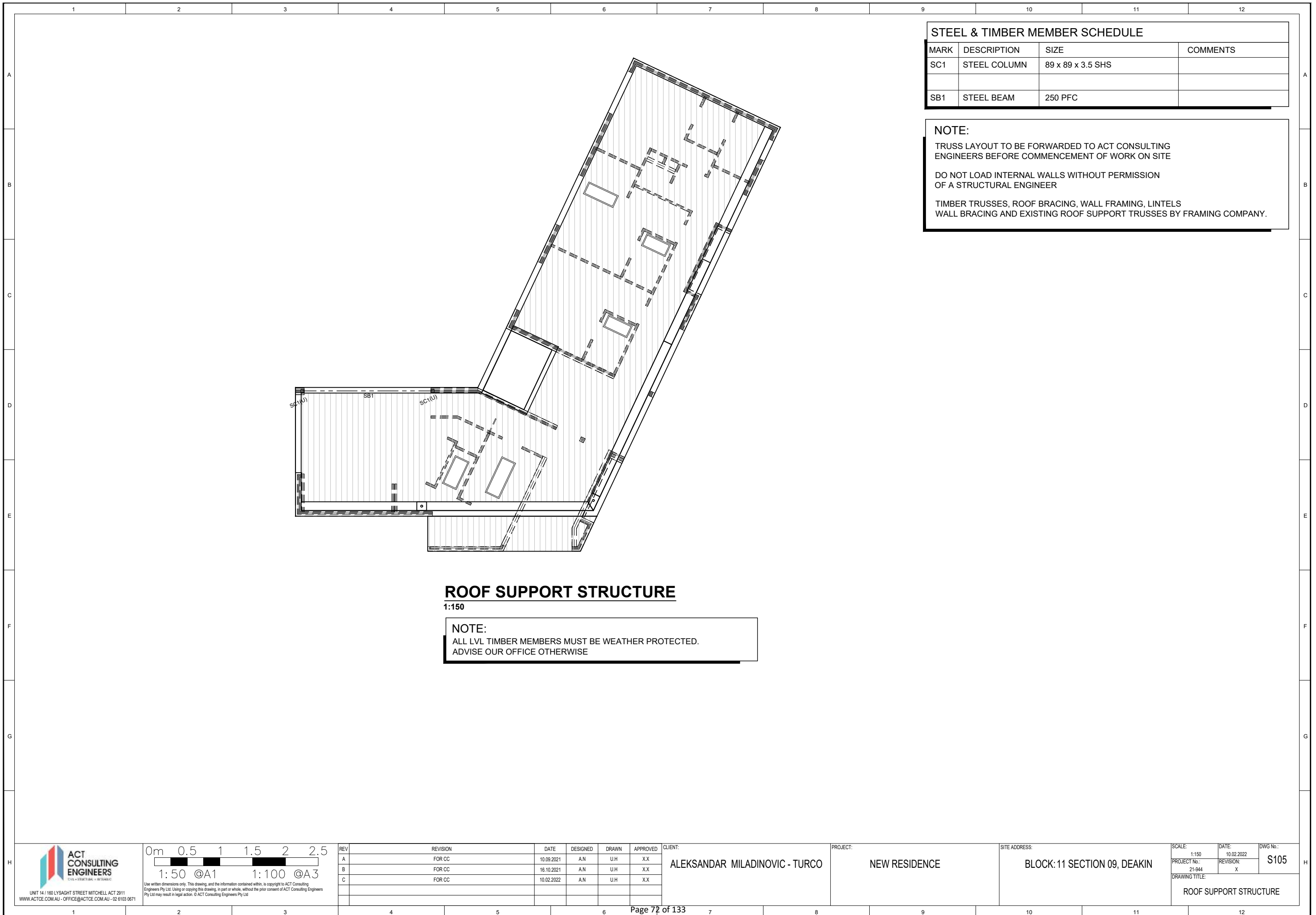
REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED
A	FOR CC	10.10.2021	A.N	U.H	XX
B	FOR CC	26.11.2021	A.N	U.H	XX
C	FOR CC	18.05.2022	A.N	U.H	XX

CLIENT: ALEKSANDAR MILADINOVIC - TURCO  
 PROJECT: NEW RESIDENCE

SITE ADDRESS: BLOCK: 11 SECTION 09, DEAKIN

SCALE: 1:200  
 PROJECT No.: 21-944  
 DATE: 18.05.2022  
 REVISION: X  
 DWG No.: S104

DRAWING TITLE: UPPER FLOOR BONDEK SLAB PLAN



**STEEL & TIMBER MEMBER SCHEDULE**

MARK	DESCRIPTION	SIZE	COMMENTS
SC1	STEEL COLUMN	89 x 89 x 3.5 SHS	
SB1	STEEL BEAM	250 PFC	

**NOTE:**  
 TRUSS LAYOUT TO BE FORWARDED TO ACT CONSULTING ENGINEERS BEFORE COMMENCEMENT OF WORK ON SITE  
 DO NOT LOAD INTERNAL WALLS WITHOUT PERMISSION OF A STRUCTURAL ENGINEER  
 TIMBER TRUSSES, ROOF BRACING, WALL FRAMING, LINTELS WALL BRACING AND EXISTING ROOF SUPPORT TRUSSES BY FRAMING COMPANY.

**ROOF SUPPORT STRUCTURE**

1:150

**NOTE:**  
 ALL LVL TIMBER MEMBERS MUST BE WEATHER PROTECTED. ADVISE OUR OFFICE OTHERWISE



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REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED
A	FOR CC	10.09.2021	A.N	U.H	XX
B	FOR CC	16.10.2021	A.N	U.H	XX
C	FOR CC	10.02.2022	A.N	U.H	XX

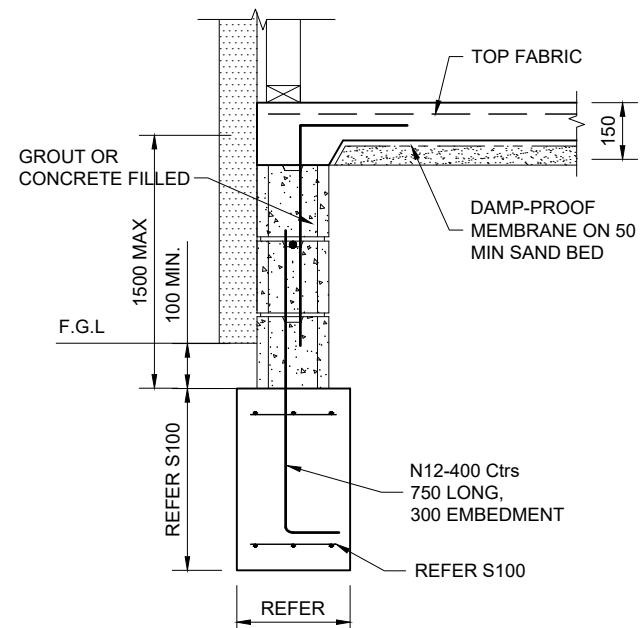
CLIENT: ALEKSANDAR MILADINOVIC - TURCO

PROJECT: NEW RESIDENCE

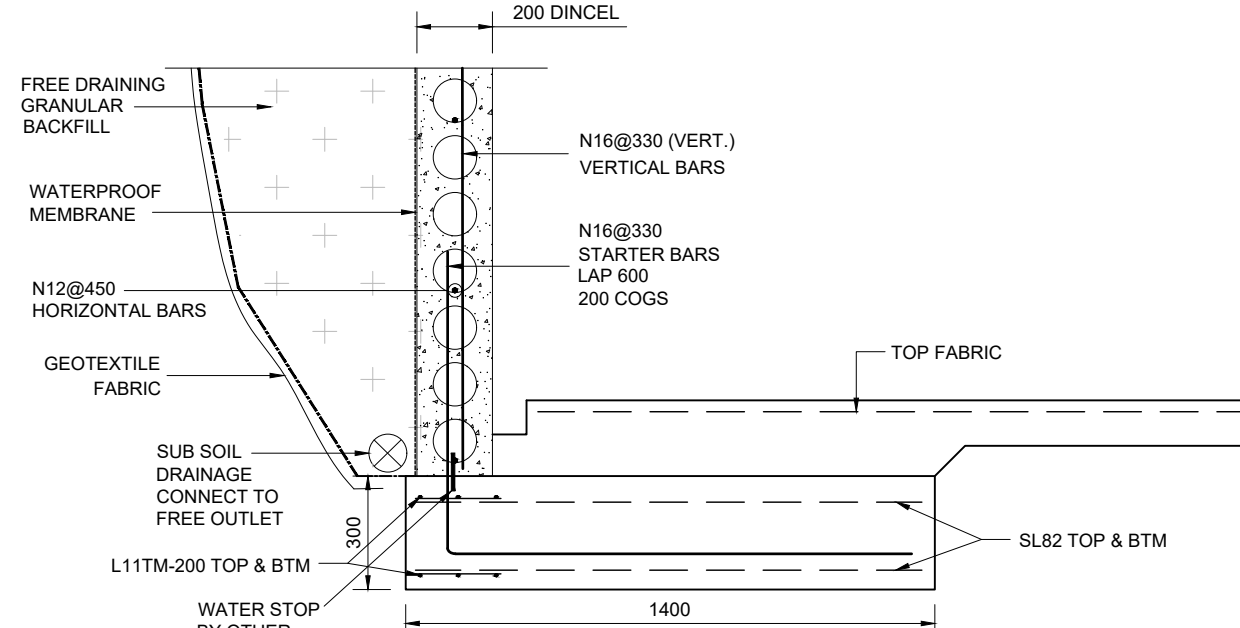
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SCALE: 1:150	DATE: 10.02.2022	DWG No.: S105
PROJECT No.: 21-944	REVISION: X	

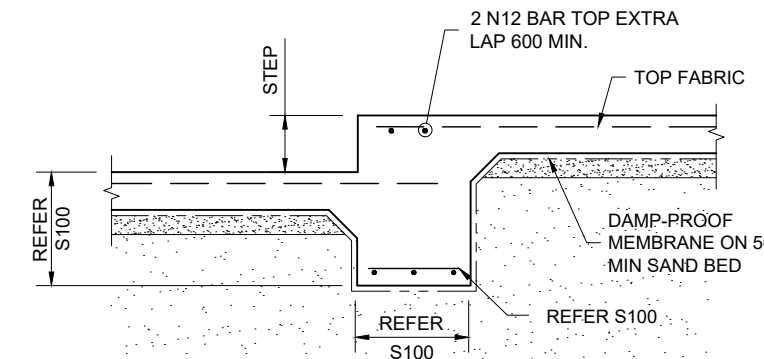
DRAWING TITLE: ROOF SUPPORT STRUCTURE



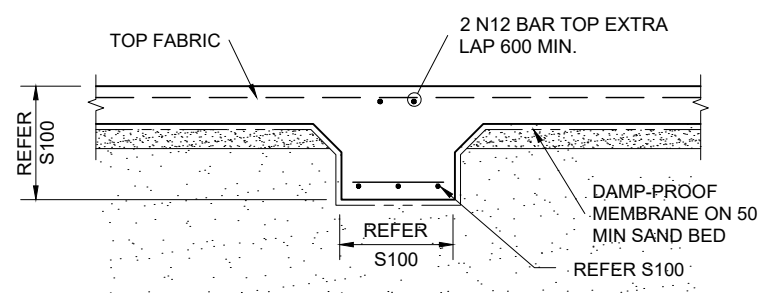
**TYPICAL STRIP FOOTING - 'SF1'**  
SECTION 1  
1:20



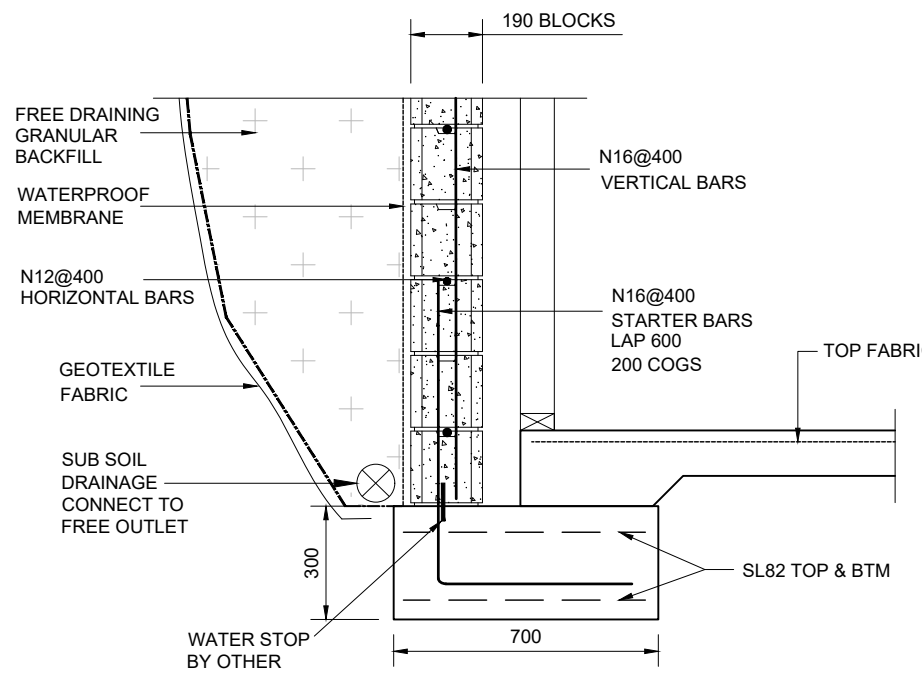
**STRIP FOOTING - 'SF2'**  
SECTION 2  
1:20



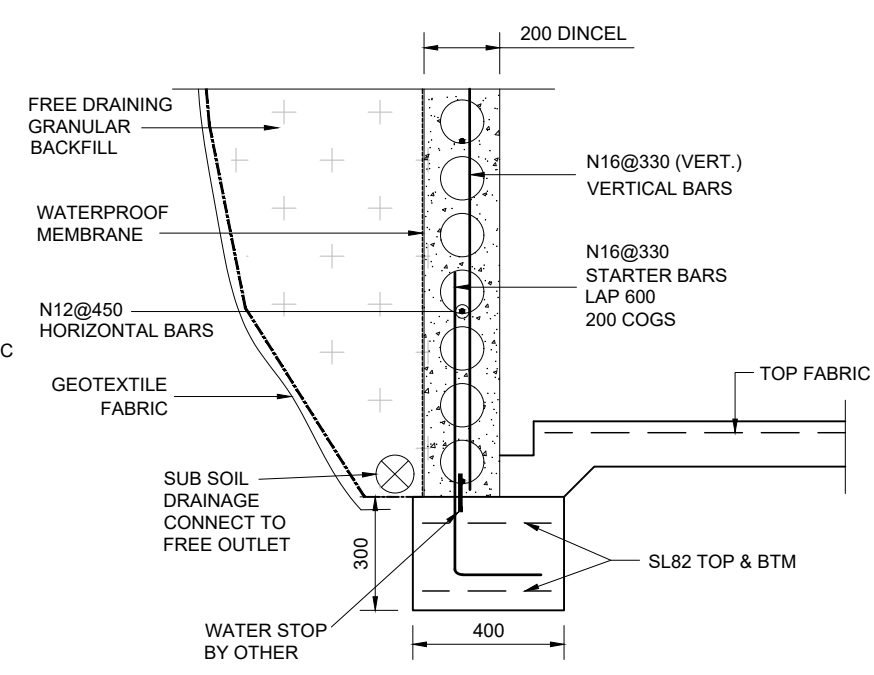
**SECTION 3**  
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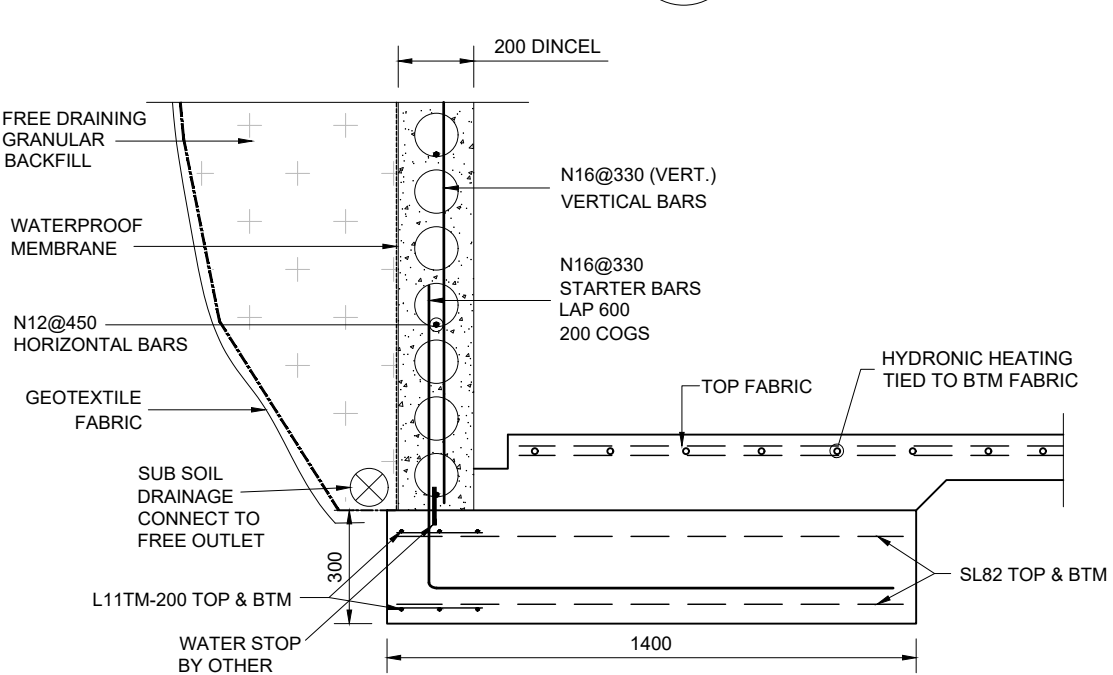
**SECTION 4**  
1:20



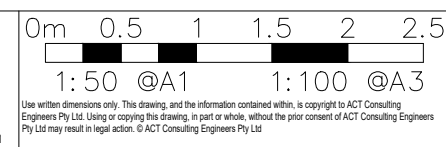
**TYPICAL STRIP FOOTING - 'SF3'**  
SECTION 5  
1:20



**TYPICAL STRIP FOOTING - 'SF4'**  
SECTION 6  
1:20

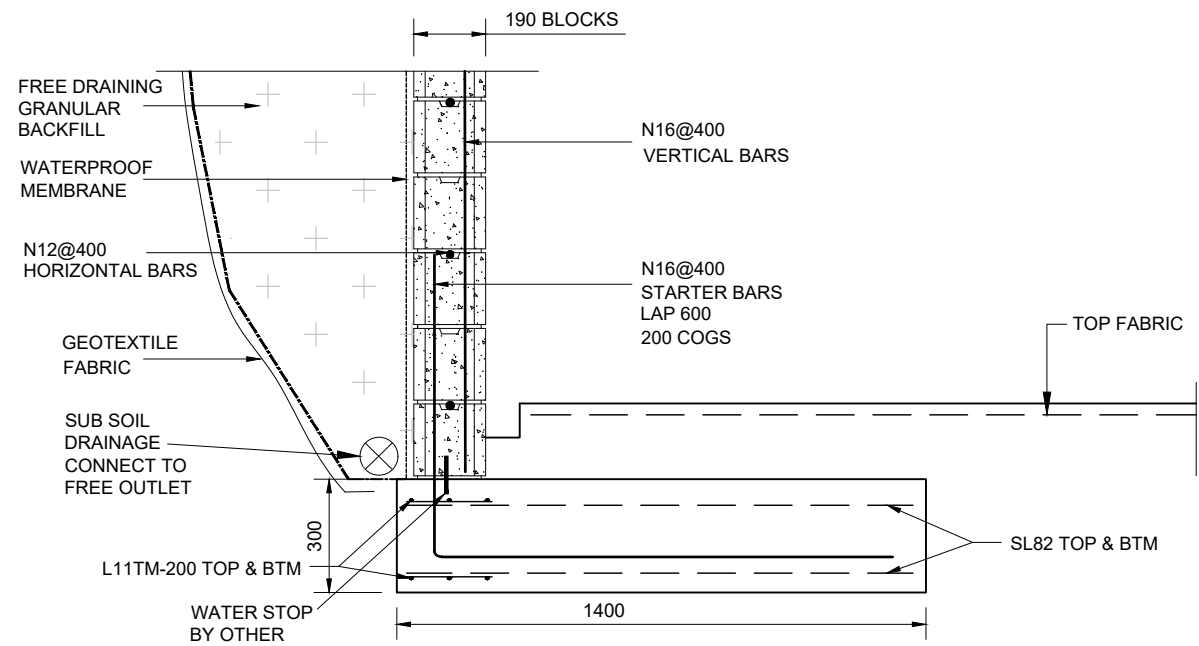


**STRIP FOOTING - 'SF2'**  
SECTION 9  
1:20



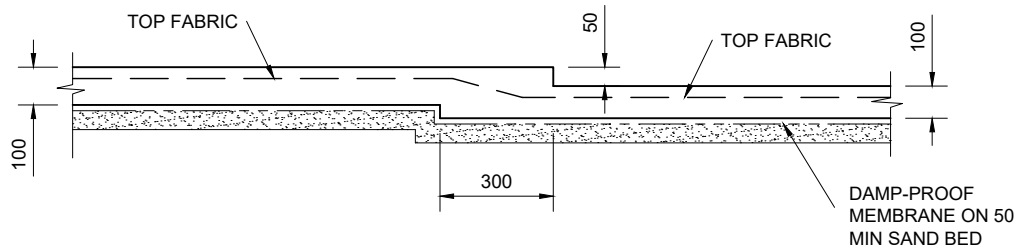
REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED
A	FOR CC	10.10.2021	A.N	U.H	XX
B	FOR CC	26.11.2021	A.N	U.H	XX
C	FOR CC	18.05.2022	A.N	U.H	XX

CLIENT:	PROJECT:	SITE ADDRESS:	SCALE:	DATE:	DWG No.:
ALEKSANDAR MILADINOVIC - TURCO	NEW RESIDENCE	BLOCK: 11 SECTION 09, DEAKIN	1:100	18.05.2022	S200
DRAWING TITLE:			PROJECT No.:	REVISION:	
FOOTING & SLAB DETAILS			21-944	X	



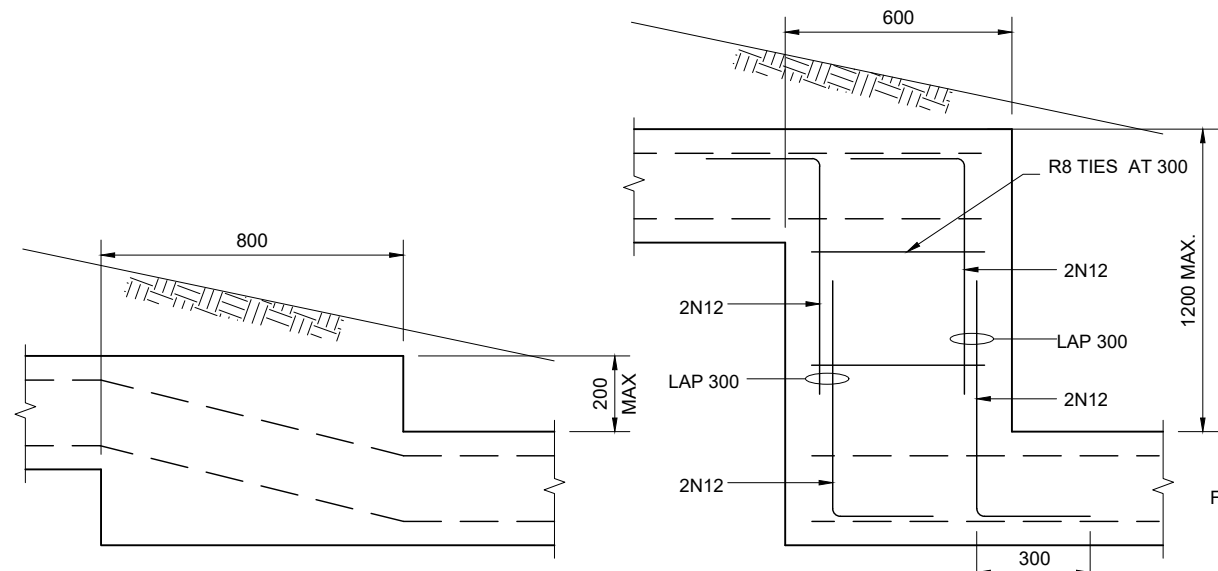
**TYPICAL STRIP FOOTING - 'SF5'**

**SECTION 8**  
1:20  
S100



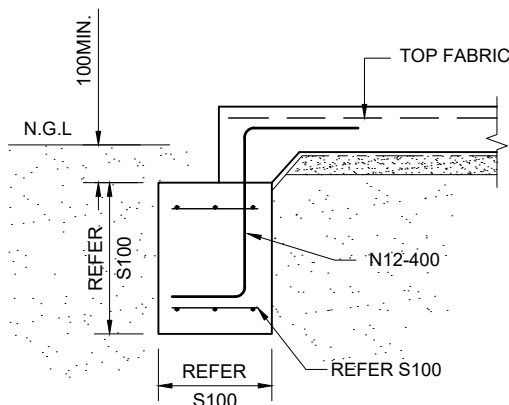
**TYPICAL SET DOWN TO WET AREAS IF REQUIRED**

1:20

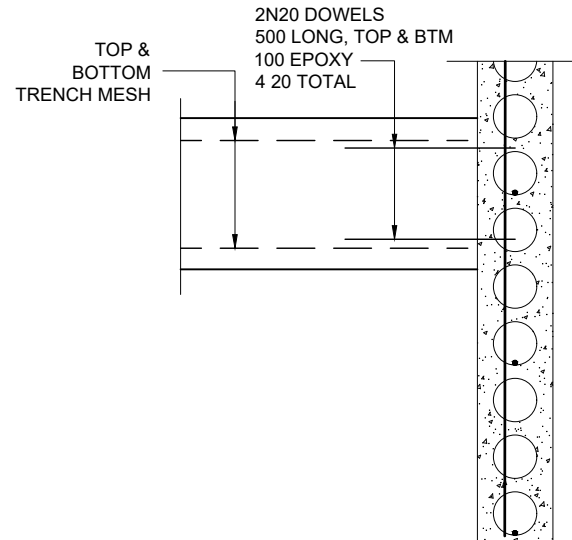


**TYPICAL FOOTING STEP DETAIL (ELEVATION)**

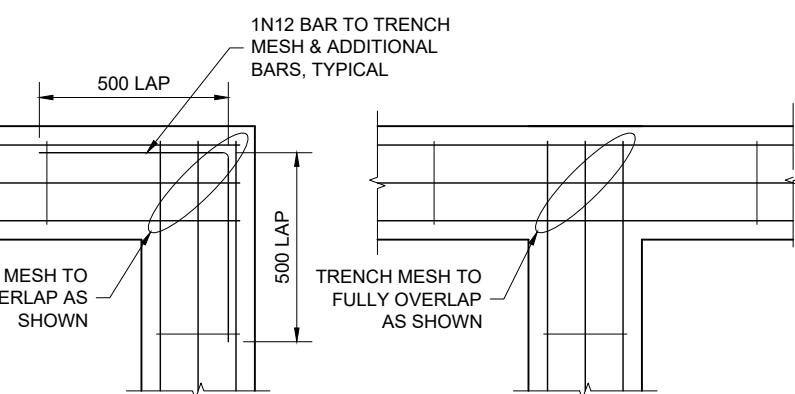
1:20



**SECTION 9**  
1:20  
S100

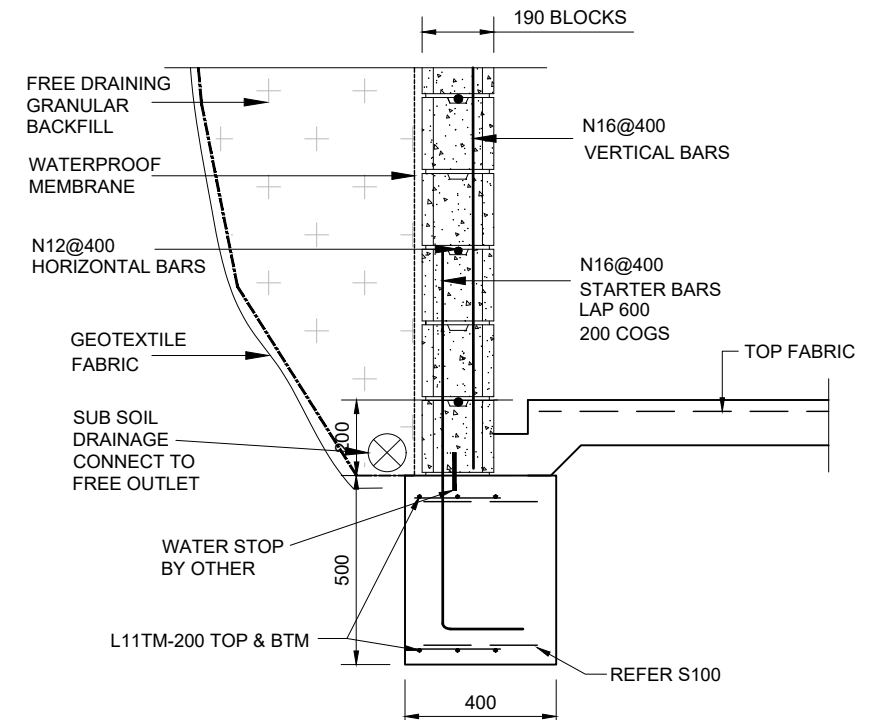


**DETAIL A**  
1:20  
S100



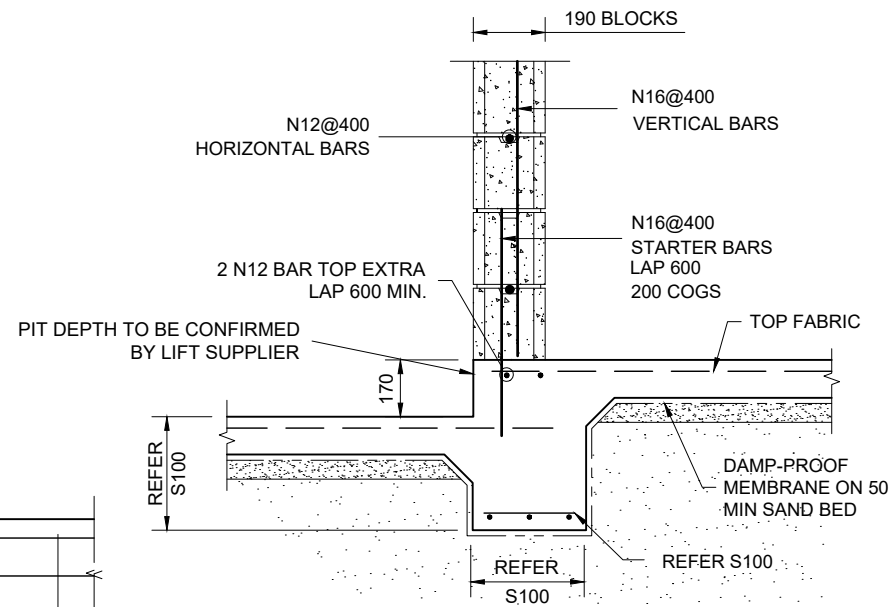
**TYPICAL FOOTING CORNER DETAILS (PLAN)**

1:20

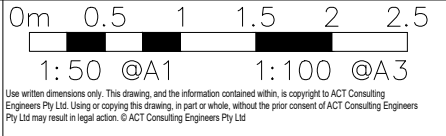


**TYPICAL 'SF7' DETAIL**

**SECTION 10**  
1:20  
S100

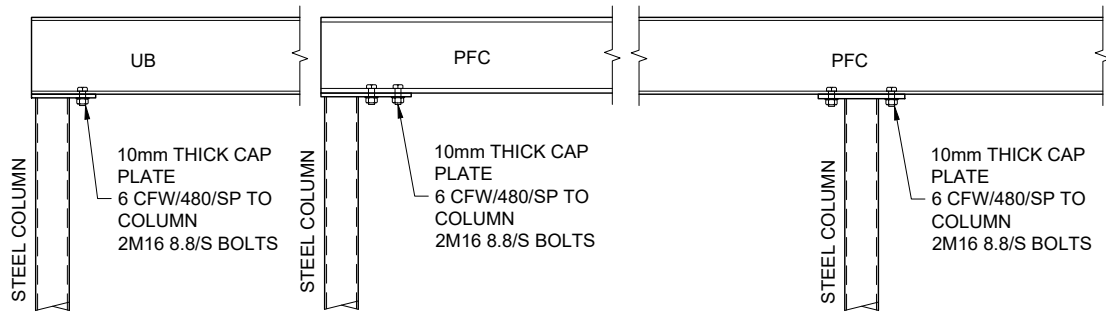


**SECTION 11**  
1:20  
S100



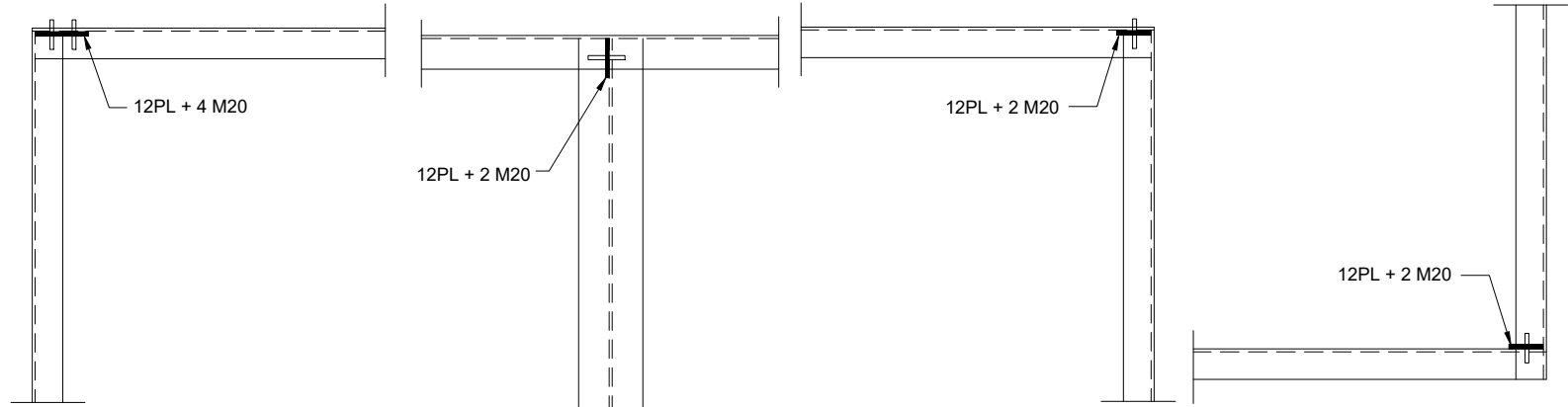
REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED
A	FOR CC	10.10.2021	A.N	U.H	XX
B	FOR CC	16.10.2021	A.N	U.H	XX
C	FOR CC	18.05.2022	A.N	U.H	XX

CLIENT:	ALEKSANDAR MILADINOVIC - TURCO	PROJECT:	NEW RESIDENCE	SITE ADDRESS:	BLOCK: 11 SECTION 09, DEAKIN	SCALE:	1:100	DATE:	18.05.2022	DWG No.:	S201
						PROJECT No.:	21-944	REVISION:	X		
						DRAWING TITLE:	FOOTING & SLAB DETAILS				



## TYPICAL COLUMN CAP DETAILS

1:20  
BEAMS TO BE LOCATED CENTRALLY OVER COLUMN TYPICAL  
ALTERNATIVELY SITE WELD USING 6 CFW/480/SP ALL ROUND

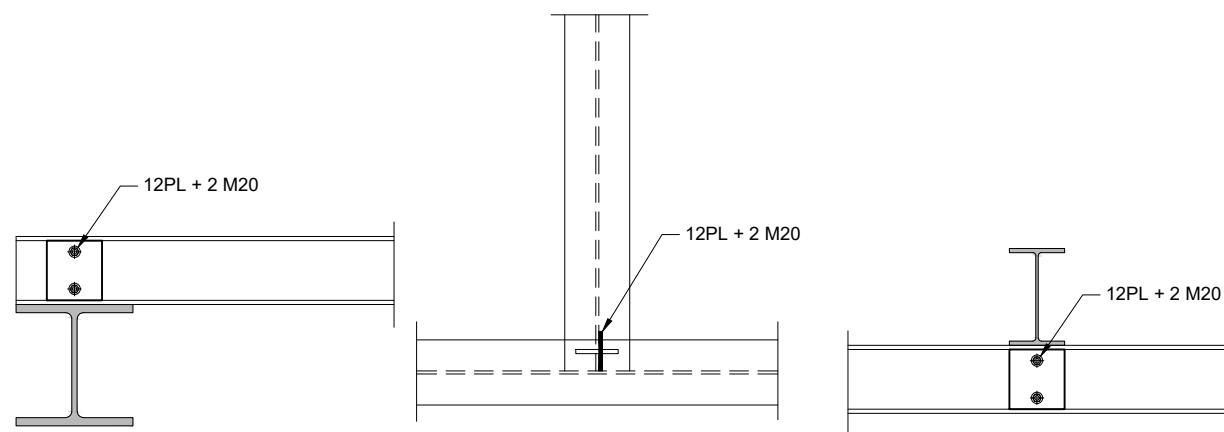


**DETAIL A**  
1:20 S104

**DETAIL B**  
1:20 S104

**DETAIL C**  
1:20 S104

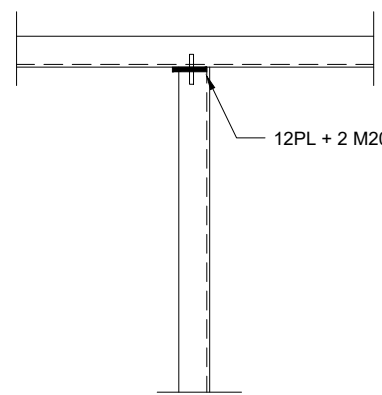
**DETAIL D**  
1:20 S104



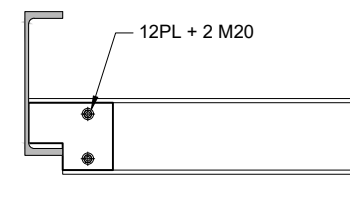
**DETAIL E**  
1:20 S104

**DETAIL F**  
1:20 S104

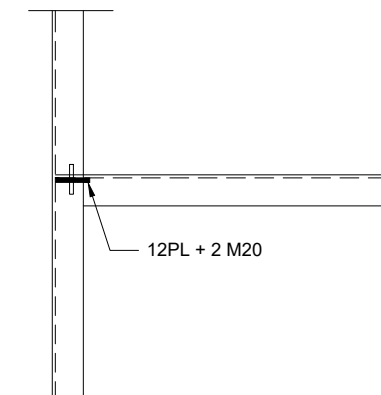
**DETAIL G**  
1:20 S104



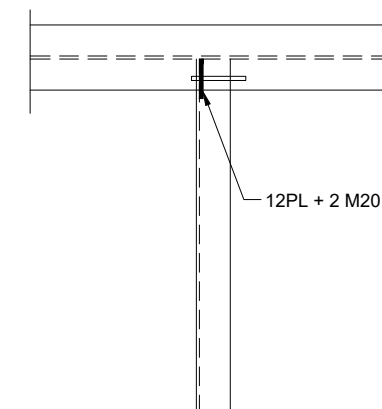
**DETAIL H**  
1:20 S104



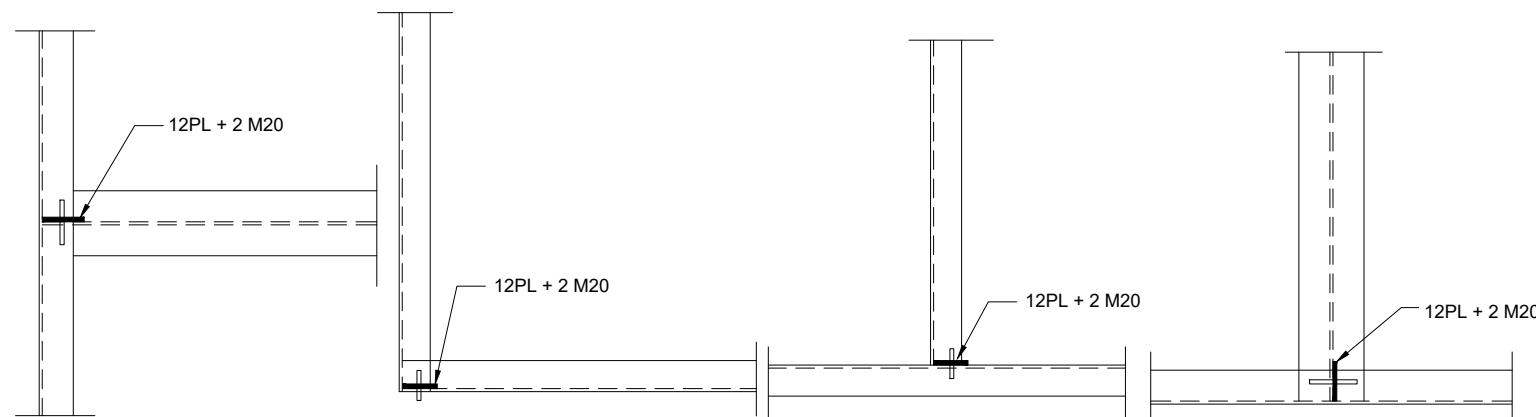
**DETAIL I**  
1:20 S104



**DETAIL J**  
1:20 S104



**DETAIL K**  
1:20 S104

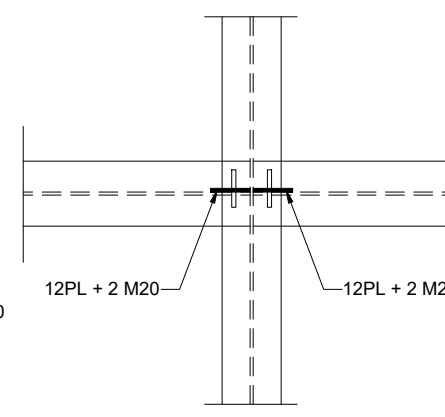


**DETAIL L**  
1:20 S104

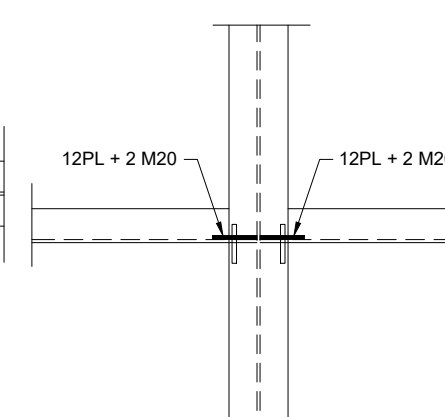
**DETAIL M**  
1:20 S104

**DETAIL N**  
1:20 S104

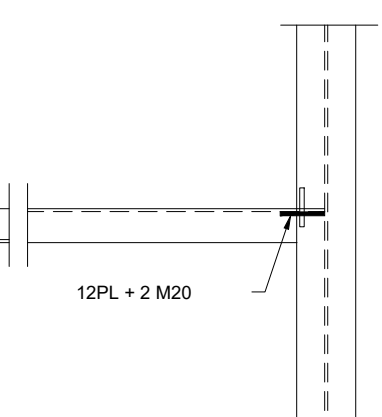
**DETAIL O**  
1:20 S104



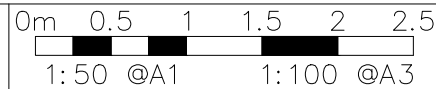
**DETAIL P**  
1:20 S104



**DETAIL Q**  
1:20 S104



**DETAIL R**  
1:20 S104



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REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED
A	FOR CC	10.10.2021	A.N	U.H	XX
B	FOR CC	16.10.2021	A.N	U.H	XX
C	FOR CC	28.04.2022	A.N	U.H	XX

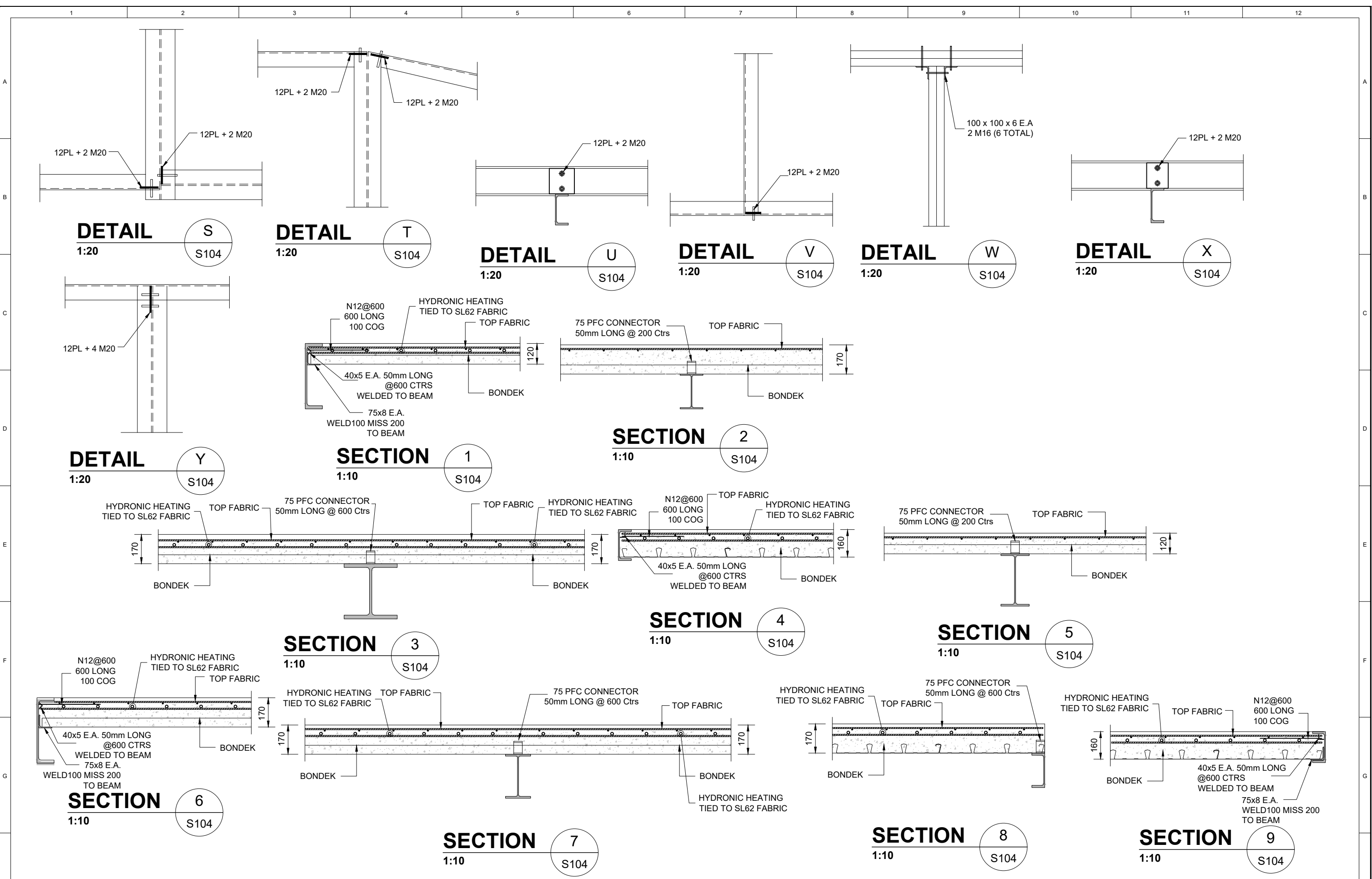
CLIENT: ALEKSANDAR MILADINOVIC - TURCO

PROJECT: NEW RESIDENCE

SITE ADDRESS: BLOCK: 11 SECTION 09, DEAKIN

SCALE: 1:100  
PROJECT No.: 21-944  
DATE: 28.04.2022  
REVISION: X  
DWG No.: S202

DETAILS & SECTIONS



**ACT CONSULTING ENGINEERS**  
 UNIT 14 / 160 LYSAGHT STREET MITCHELL ACT 2911  
 WWW.ACTCE.COM.AU - OFFICE@ACTCE.COM.AU - 02 8103 0671

0m 0.5 1 1.5 2 2.5  
 1:50 @A1 1:100 @A3  
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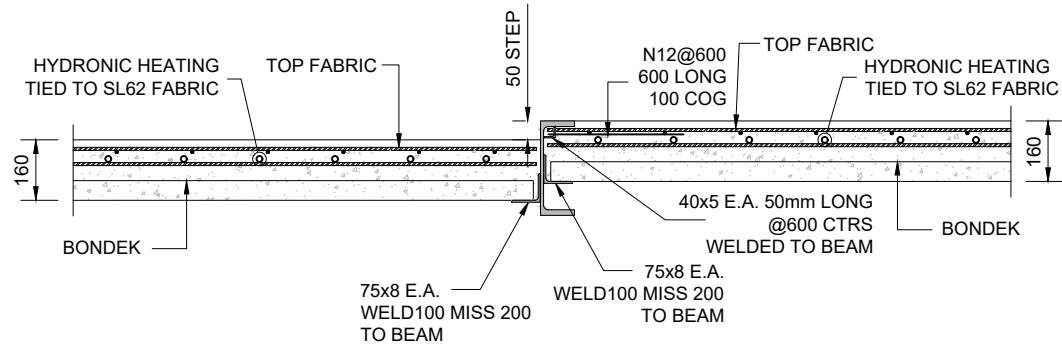
REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED
A	FOR CC	10.10.2021	A.N	U.H	XX
B	FOR CC	16.10.2021	A.N	U.H	XX
C	FOR CC	28.04.2022	A.N	U.H	XX

CLIENT: ALEKSANDAR MILADINOVIC - TURCO  
 PROJECT: NEW RESIDENCE

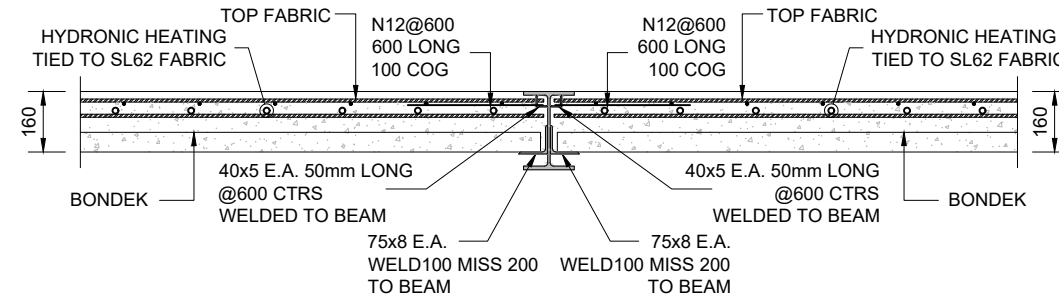
SITE ADDRESS: BLOCK: 11 SECTION 09, DEAKIN

SCALE: 1:100  
 PROJECT No.: 21-944  
 DATE: 28.04.2022  
 REVISION: X  
 DWG No.: S203

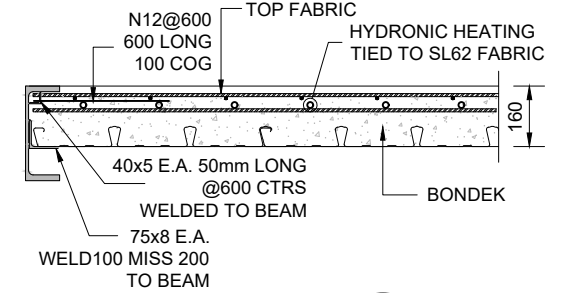
DRAWING TITLE: DETAILS & SECTIONS



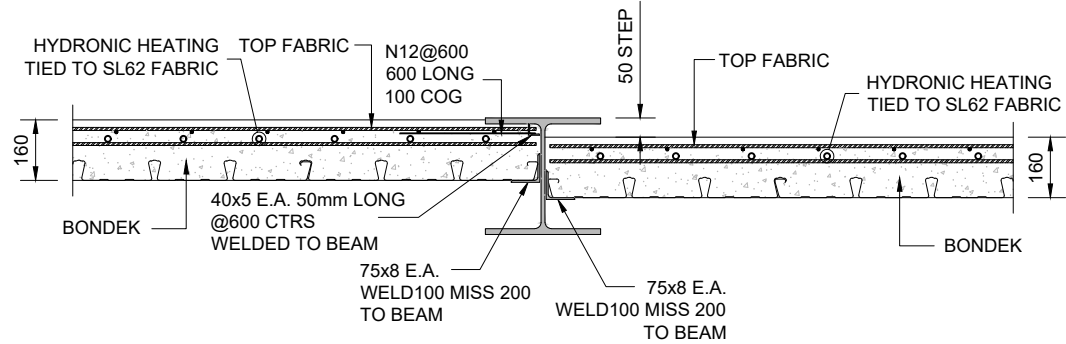
**SECTION 10**  
1:10  
S104



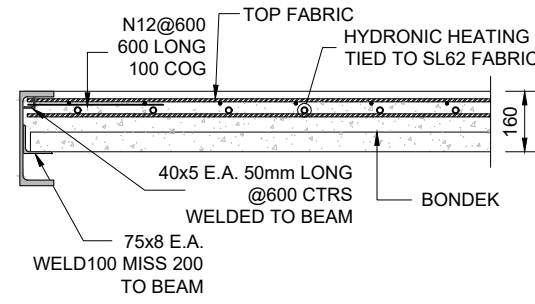
**SECTION 11**  
1:10  
S104



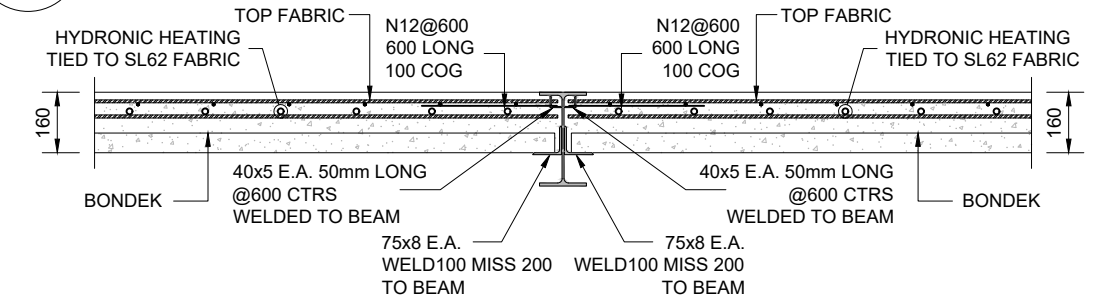
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1:10  
S104



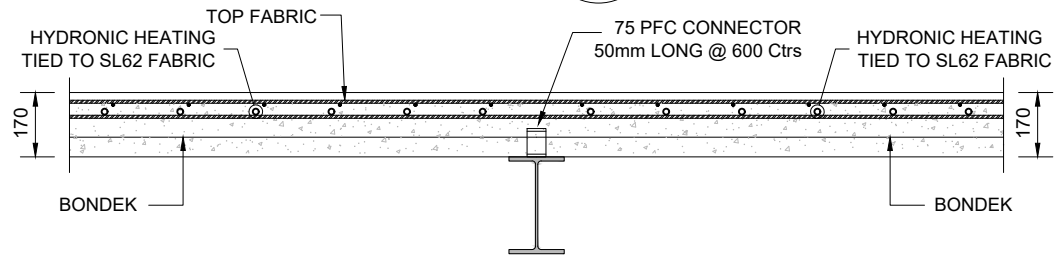
**SECTION 13**  
1:10  
S104



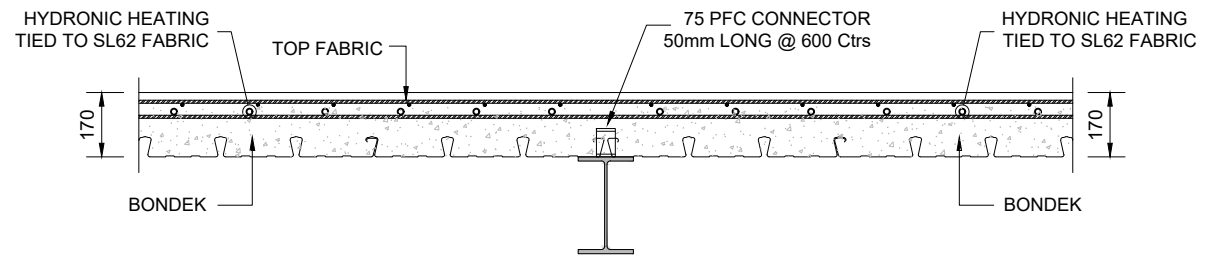
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1:10  
S104



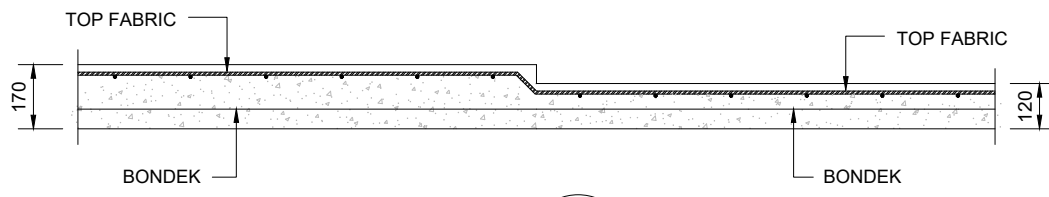
**SECTION 15**  
1:10  
S104



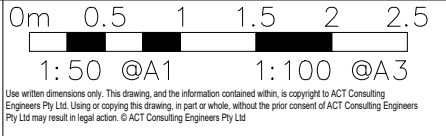
**SECTION 16**  
1:10  
S104



**SECTION 17**  
1:10  
S104



**SECTION 18**  
1:10  
S104



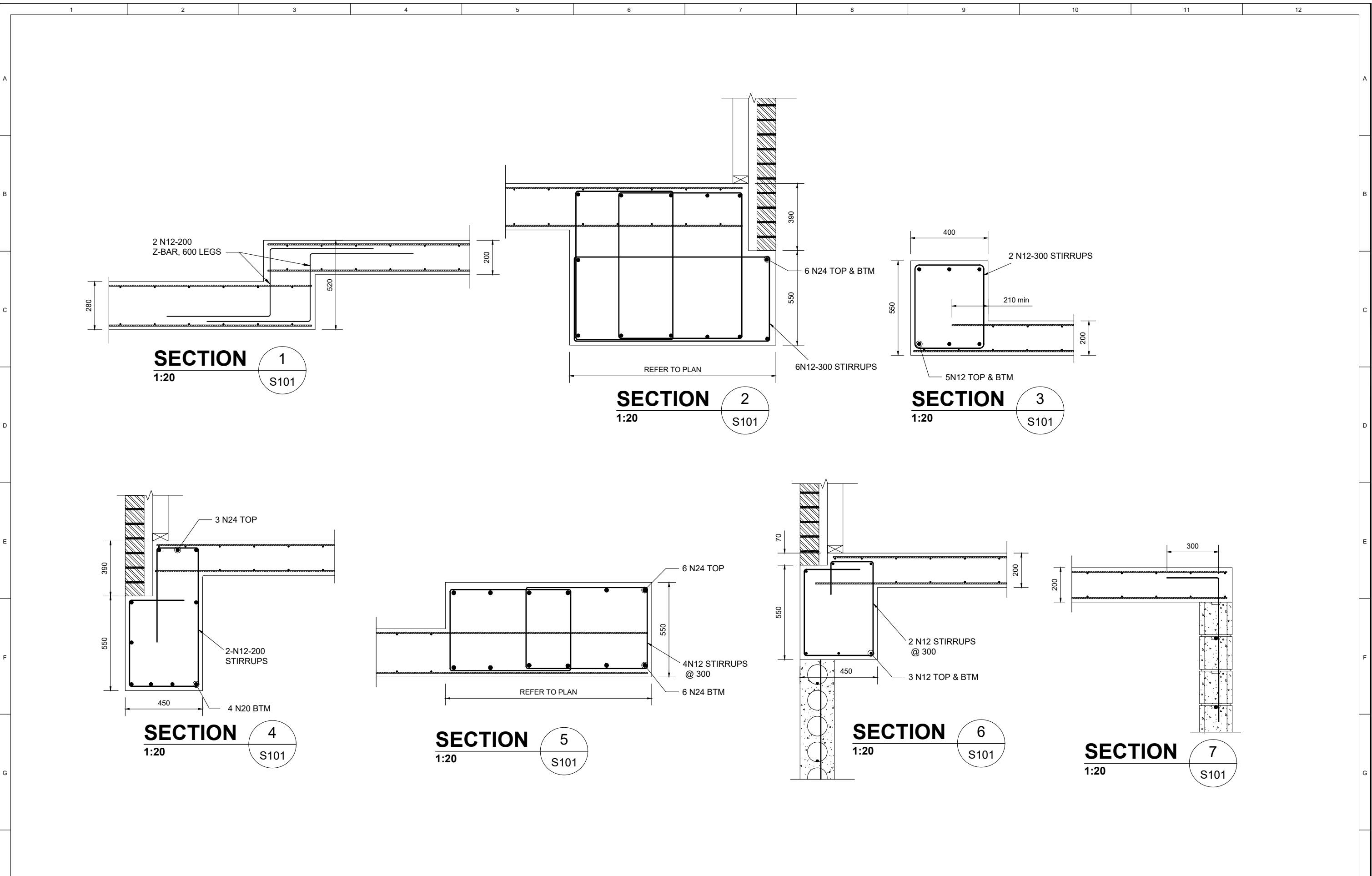
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B	FOR CC	16.10.2021	A.N	U.H	XX
C	FOR CC	28.04.2022	A.N	U.H	XX

CLIENT: ALEKSANDAR MILADINOVIC - TURCO

PROJECT: NEW RESIDENCE

SITE ADDRESS: BLOCK: 11 SECTION 09, DEAKIN

SCALE: 1:100	DATE: 28.04.2022	DWG No.: S204
PROJECT No.: 21-944	REVISION: X	
DRAWING TITLE: DETAILS & SECTIONS		



**SECTION 1**  
1:20  
S101

**SECTION 2**  
1:20  
S101

**SECTION 3**  
1:20  
S101

**SECTION 4**  
1:20  
S101

**SECTION 5**  
1:20  
S101

**SECTION 6**  
1:20  
S101

**SECTION 7**  
1:20  
S101



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REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED
A	FOR CC	10.10.2021	A.N	U.H	XX
B	FOR CC	16.10.2021	A.N	U.H	XX
C	FOR CC	18.05.2022	A.N	U.H	XX

CLIENT: <b>ALEKSANDAR MILADINOVIC - TURCO</b>	PROJECT: <b>NEW RESIDENCE</b>	SITE ADDRESS: <b>BLOCK: 11 SECTION 09, DEAKIN</b>	SCALE: 1:100 PROJECT No.: 21-944	DATE: 18.05.2022 REVISION: X	DWG No.: <b>S205</b>
<b>DETAILS &amp; SECTIONS</b>					

# AMENDMENT

Select Structure Certification  
 Building Approval is amended under Section 32 of Building Act 2004  
 Date: 03/03/2025  
 Linji Krovatin  
 ACT Lic. No. 2023473

FFL as per Survey ID

## GENERAL LEGEND

CODE	DESCRIPTION
AC	AIR CONDITIONING UNIT TO SERVICE ENGINEERS SPEC.
DP	DOWNPIPE, REFER HYDRAULIC DOCUMENTATION
FW	FLOOR WASTE
HW	BOILER UNIT - HEATING SYSTEM
LD	LINEAR DRAIN
LB	LETTERBOX
MN	HYDRONIC HEATING MAINFOLD AND RELATED EQUIP LOCATION
PT	PIT TO CIVIL ENGINEERS DETAIL
RWH	RAINWATER HEAD
RWT	RAINWATER TANK
RR	RADIATOR LOCATION
SC	STEEL COLUMN
SD	SMOKE DETECTOR
SH	SHOWER
SL	SOLAR BATTERY RELATED EQUIP. LOCATION
SP	RAINWATER SPREADER
WO	WATER OUTLET
WT	RAINWATER HARVEST WATERTANK
- -	FLOOR OUTLINE ABOVE
- -	FLOOR OUTLINE BELOW

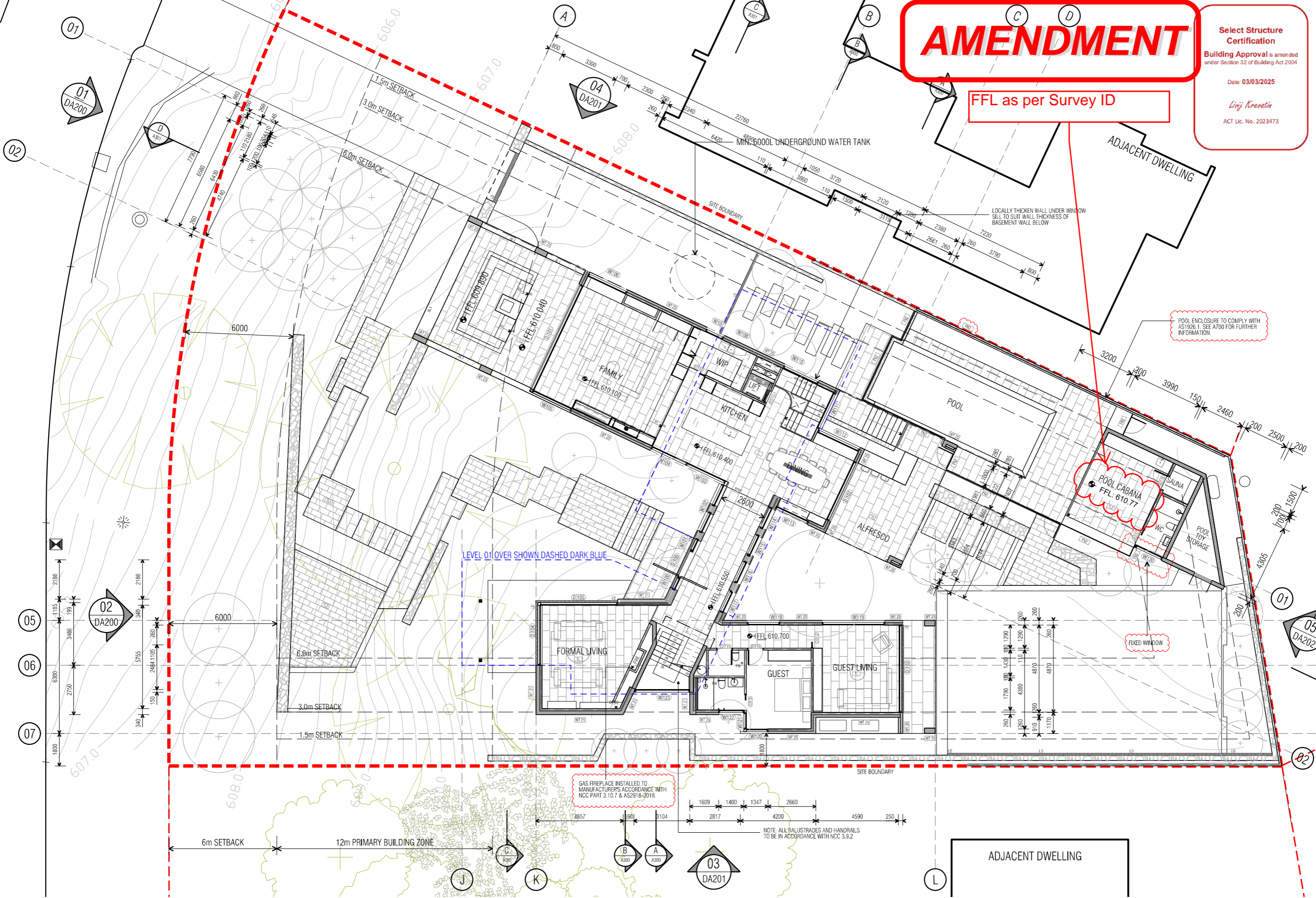
## EXTERNAL WALL FINISHES

CODE	DESCRIPTION
BL1	BALUSTADING TO COMPLY WITH NCC 3.9.2
BL2	GLASS BALUSTRADE PERIMETER FIXED
FN1	BATTEN FENCE AND GATE
FP2	GLASS POOL FENCE
FN3	TIMBER PALING BOUNDARY FENCING TO BE 1.8m IN ACCORDANCE TO AS1926.1. FINISH AS SPECIFIED.
LVL1	POWDERCOATED ALUMINIUM WEATHER LOUVRE PANEL
LVL2	BASEMENT EXHAUST & INTAKE WEATHER LOUVRES
PT11	PAINT FINISH - TO MATCH WINDOW FRAME
RN1	RENDERED FINISH - NATURAL CONCRETE
RN2	TEXTURED RENDERED FINISH - MID GREY
SM1	DOWNHOLE SHEET METAL CLADDING
STN	STONE CLADDING
TL11	TILE FINISH TO MATCH POOL SURROUND

## EXTERNAL ROOF FINISHES

CODE	DESCRIPTION
RF01	STRAMIT SPEED DECK ULTRA CONCEALED FINISH. COLORBOND FINISH 'BASALT'

NOTE:  
 ROOFING TO COMPLY WITH PROVISIONS OF NCC 3.5.1.3.  
 ROOF DRAINAGE & DOWNPIPES IN ACCORDANCE WITH NCC 3.5.3.5.  
 ALL POOL FENCING TO COMPLY WITH AS 1926.1 SWIMMING POOL FENCING REQUIREMENTS



DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
11/07/22		REVISED POOL BARRIER FENCING	06				
29/07/22		REVISED NOTES AND POOL HOUSE WINDOW	07				
29/07/22		ISSUED FOR BUILDING APPROVAL	07				

**CONSTRUCTION**  
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Location

03 DA201

turco and associates  
 Page 19 of 133

Suite 30, 2 King Street Deakin  
 Carberra ACT 2600  
 +61 6162 0735  
 e: carberra@turcoassociates.com.au  
 w: turcoassociates.com.au

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-

NOTE:  
 ALL WORK IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REGULATIONS. CARRY OUT ALL WORK IN THE BEST AND TRADESMAN LIKE MANNER AND TO THE SATISFACTION OF THE SUPERVISOR.  
 ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED

PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIMSION
11	09	DEAKIN
GENERAL NOTES:		
DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF SHOP DRAWINGS OR FABRICATION. ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECT/ENGINEER/DESIGNER PRIOR TO THE COMMENCEMENT OF WORK.		

DRAWING TITLE		
FLOOR PLANS GROUND PLAN		
SCALE	DRAWN	CHECKED
1:100 @A1	MP	MT
1:200 @A3		
JOB NO.	DATE	
TA2056	29/07/2022	
STATUS	DRAWING NO.	REVISION
WD	A101	07



# Certificate of Occupancy and Use

Certificate No.: **B20224287C1**

**Access Canberra Land, Planning and Building Services**

ABN 16 479 763 216  
8 Darling Street Mitchell  
GPO Box 158 ACT 2601  
[www.act.gov.au/accesscbr](http://www.act.gov.au/accesscbr)

This Certificate is issued in accordance with Section 69 (2) of the Building Act 2004.

The building work listed on this certificate has been completed substantially in accordance with the prescribed requirements and is considered fit for occupation and use.

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	11	9	DEAKIN	CANBERRA CENTRAL	Australian Capital Territory

Plans
B20224287/A
B20224287/B

## Building Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Const.	Unit	BCN ID	Builder
10b	New	SWIMMING POOL	Swimming pool	NA		B20224287N1	RICCARDO PAT Guseli
10b	New	SWIMMING POOL	Swimming pool safety barrier	NA		B20224287N1	RICCARDO PAT Guseli
10a	Other	SEE DESCRIPTION	Associated pool structures (cabana, sauna, wc, storage)	NA		B20224287N2	MOMIR MILADINOVIC

## Comments

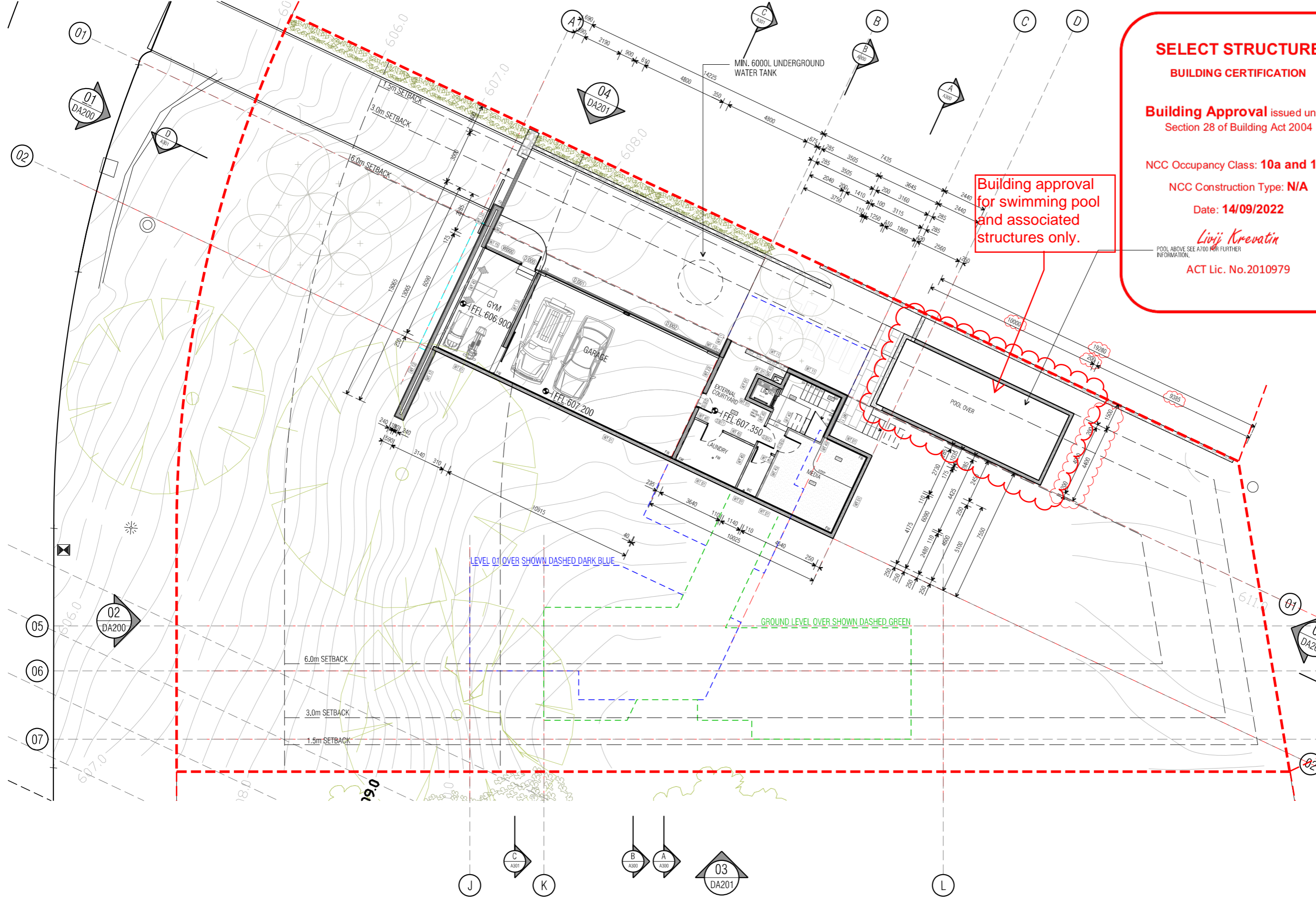
## Important Note:

The issue, under this Part, of a certificate in respect of a building or portion of a building does not affect the liability of a person to comply with the provisions of a law of the territory (including this Act) relating to the building or portion of the building.

**Issued by:** Sian OSullivan

**Issued on:** 24/06/2025

Delegate of the ACT Construction Occupations Registrar.



**SELECT STRUCTURE BUILDING CERTIFICATION**

Building Approval issued under Section 28 of Building Act 2004

NCC Occupancy Class: 10a and 10b

NCC Construction Type: N/A

Date: 14/09/2022

*Livji Krevatin*

ACT Lic. No.2010979

Building approval for swimming pool and associated structures only.

**GENERAL LEGEND**

CODE	DESCRIPTION
AC	AIR CONDITIONING UNIT TO SERVICE ENGINEERS SPEC.
DP	DOWNPIPE, REFER HYDRAULIC DOCUMENTATION
FW	FLOOR WASTE
HW	BOILER UNIT - HEATING SYSTEM
LD	LINEAR DRAIN
LB	LETTERBOX
MN	HYDRONIC HEATING MANIFOLD AND RELATED EQUIP LOCATION
PT	PIT TO CIVIL ENGINEERS DETAIL
RWH	RAINWATER HEAD
RWT	RAINWATER TANK
RR	RADIATOR LOCATION
SC	STEEL COLUMN
SD	SMOKE DETECTOR
SH	SHOWER
SL	SOLAR BATTERY RELATED EQUIP. LOCATION
SP	RAINWATER SPREADER
WO	WATER OUTLET
WT	RAINWATER HARVEST WATERTANK
-	FLOOR OUTLINE ABOVE
-	FLOOR OUTLINE BELOW

**EXTERNAL WALL FINISHES**

CODE	DESCRIPTION
BL1	BALUSTRADING TO COMPLY WITH NCC 3.9.2
BL2	GLASS BALUSTRADE PERIMETER FIXED
FG1	BATTEN FENCE AND GATE
FG2	GLASS POOL FENCE
FG3	TIMBER PALING BOUNDARY FENCING TO BE 1.8m IN ACCORDANCE TO AS1926.1. FINISH AS SPECIFIED.
LVL 1	POWDERCOATED ALUMINIUM WEATHER LOUVRE PANEL
LVL2	BASEMENT EXHAUST & INTAKE WEATHER LOUVRES
PT11	PAINT FINISH - TO MATCH WINDOW FRAME
RM1	RENDERED FINISH - NATURAL CONCRETE
RM2	TEXTURED RENDERED FINISH - MID GREY
SM1	DOWNHOLE SHEET METAL CLADDING
STN	STONE CLADDING
TL11	TILE FINISH TO MATCH POOL SURROUND

**EXTERNAL ROOF FINISHES**

CODE	DESCRIPTION
RF01	STRAIT SPEED DECK ULTRA CONCEALED FINING. COLORBOND FINISH 'BASALT'

NOTE:  
 ROOFING TO COMPLY WITH PROVISIONS OF NCC 3.5.1.3.  
 ROOF DRAINAGE & DOWNPIPES IN ACCORDANCE WITH NCC 3.5.3.5.

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
11/07/22		REVISED POOL BARRIER FENCING	06				
29/07/22		ISSUED FOR BUILDING APPROVAL	07				
11/08/22		DIMENSIONS UPDATED	08				
02/09/22		POOL UPDATED	09				

**CONSTRUCTION**  
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Location

03 DA201

Suite 30, 2 King Street Deakin  
 Carberria ACT 2600  
 +61 6162 0735  
 e: carberria@turcoassociates.com.au  
 w: turcoassociates.com.au

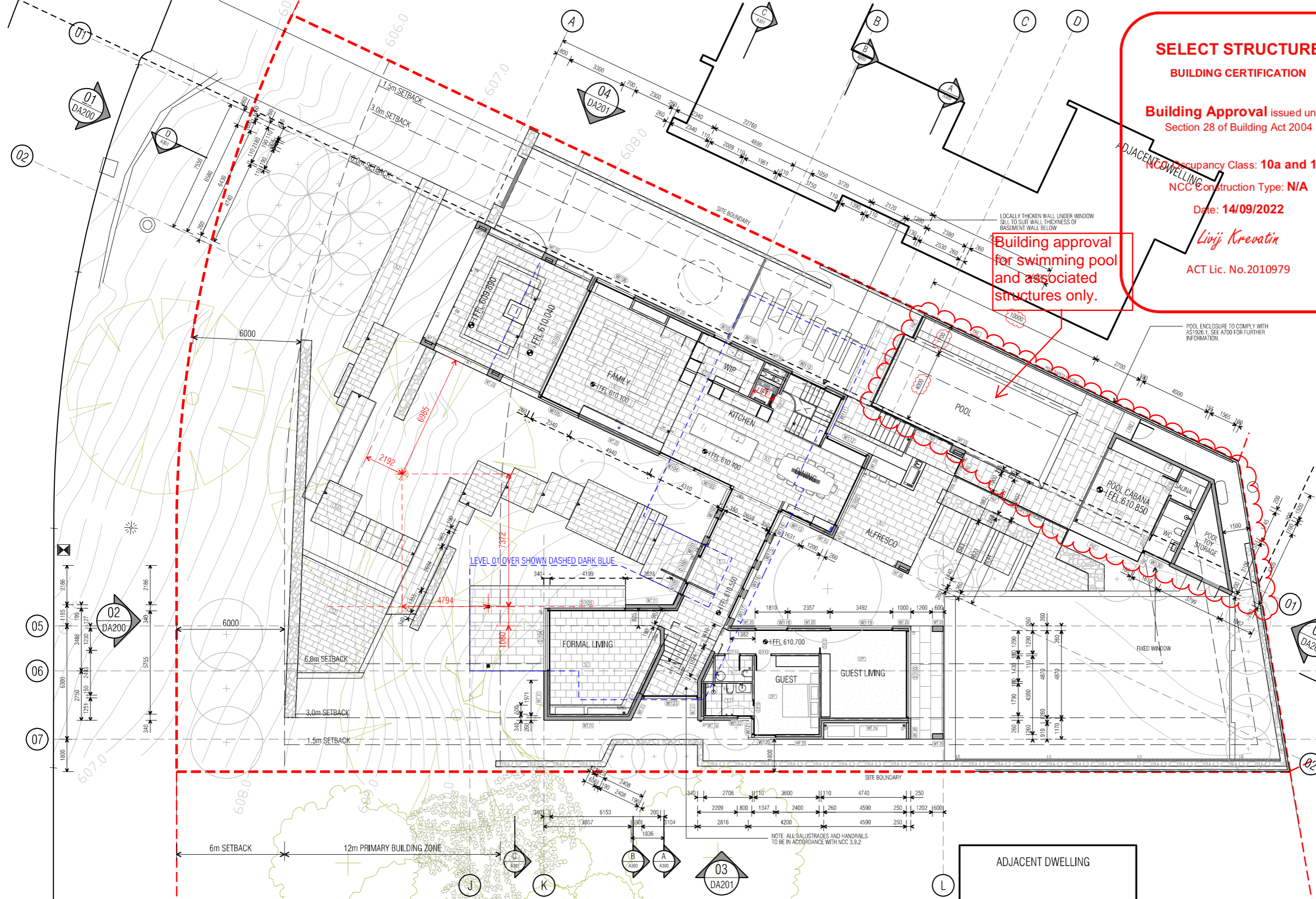
turco and associates  
 Page 81 of 133

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

NOTE:  
 ALL WORK IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REGULATIONS. CARRY OUT ALL WORK IN THE BEST AND TRADESMAN LIKE MANNER AND TO THE SATISFACTION OF THE SUPERVISOR.  
 ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED

PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN
GENERAL NOTES:		
DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF SHOP DRAWINGS OR CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECT/ENGINEER/DESIGNER PRIOR TO THE COMMENCEMENT OF WORK.		

DRAWING TITLE		
FLOOR PLANS		
BASEMENT		
SCALE	DRAWN	CHECKED
1:100 @A1	MP	MT
1:200 @A3		
JOB NO.	DATE	
TA2056	02/09/22	
STATUS	DRAWING NO.	REVISION
WD	A100	09



**SELECT STRUCTURE BUILDING CERTIFICATION**

Building Approval issued under Section 28 of Building Act 2004

NCC Occupancy Class: 10a and 10b  
NCC Construction Type: N/A

Date: 14/09/2022

*Livij Krevatin*

ACT Lic. No.2010979

GENERAL LEGEND	
CODE	DESCRIPTION
AC	AIR CONDITIONING UNIT TO SERVICE ENGINEERS SPEC.
DP	DOWNPIPE, REFER HYDRAULIC DOCUMENTATION
FW	FLOOR WASTE
HW	BOILER UNIT - HEATING SYSTEM
LD	LINEAR DRAIN
LB	LETTERBOX
MN	HYDRONIC HEATING MAINFOLD AND RELATED EQUIP LOCATION
PT	PIT TO CIVIL ENGINEERS DETAIL
RWH	RAINWATER HEAD
RWT	RAINWATER TANK
RR	RADIATOR LOCATION
SC	STEEL COLUMN
SD	SMOKE DETECTOR
SH	SHOWER
SL	SOLAR BATTERY RELATED EQUIP. LOCATION
SP	RAINWATER SPREADER
WO	WATER OUTLET
WT	RAINWATER HARVEST WATERTANK
-	FLOOR OUTLINE ABOVE
-	FLOOR OUTLINE BELOW

EXTERNAL WALL FINISHES	
CODE	DESCRIPTION
BL1	BALUSTADING TO COMPLY WITH NCC 3.9.2
BL2	GLASS BALUSTRADE PERIMETER FIXED
FG1	BATTEN FENCE AND GATE
FG2	GLASS POOL FENCE
FG3	TIMBER PALING BOUNDARY FENCING TO BE 1.8m IN ACCORDANCE TO AS1926.1. FINISH AS SPECIFIED.
LVL 1	POWDERCOATED ALUMINIUM WEATHER LOUVRE PANEL
LVL2	BASEMENT EXHAUST & INTAKE WEATHER LOUVRES
PT11	PAINT FINISH - TO MATCH WINDOW FRAME
RN1	RENDERED FINISH - NATURAL CONCRETE
RN2	TEXTURED RENDERED FINISH - MID GREY
SM1	DOWNHOLE SHEET METAL CLADDING
STN	STONE CLADDING
TL11	TILE FINISH TO MATCH POOL SURROUND

EXTERNAL ROOF FINISHES	
CODE	DESCRIPTION
RF01	STRAIT SPEED DECK ULTRA CONCEALED FINING. COLORBOND FINISH 'BASALT'

NOTE:  
ROOFING TO COMPLY WITH PROVISIONS OF NCC 3.5.1.3.  
ROOF DRAINAGE & DOWNPIPES IN ACCORDANCE WITH NCC 3.5.3.5.  
ALL POOL FENCING TO COMPLY WITH AS 1926.1 SWIMMING POOL FENCING REQUIREMENTS

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
11/07/22		REVISED POOL BARRIER FENCING	06				
29/07/22		REVISED NOTES AND POOL HOUSE WINDOW	07				
29/07/22		ISSUED FOR BUILDING APPROVAL	07				
11/08/22		DIMENSIONS UPDATED	08				
02/09/22		POOL UPDATED	09				

**CONSTRUCTION**  
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Location

03 DA201

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Page 82 of 133

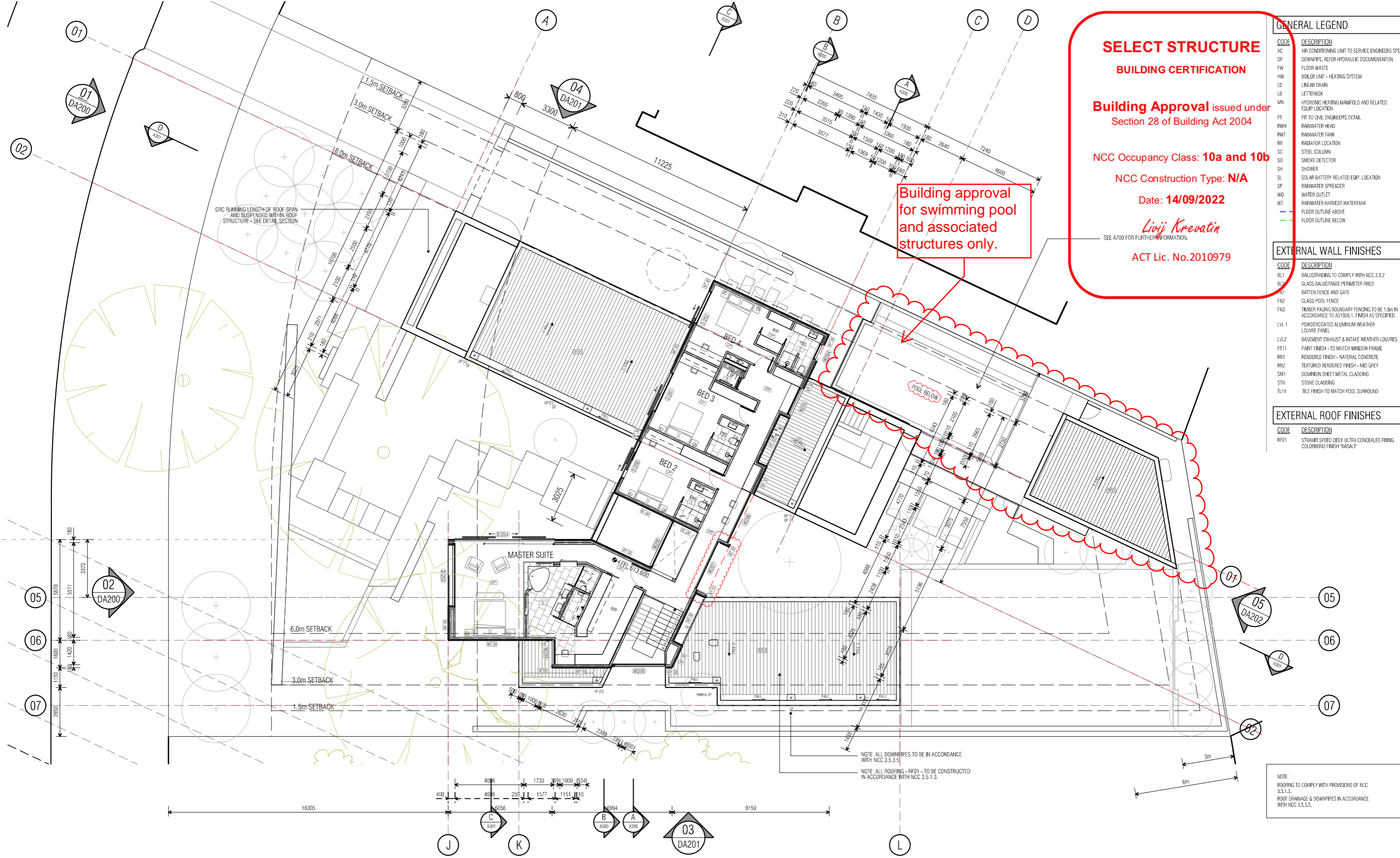
Suite 30, 2 King Street Deakin  
Carberra ACT 2600  
+61 6162 0735  
e: carberra@turcoassociates.com.au  
w: turcoassociates.com.au

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-

NOTE:  
ALL WORK IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REGULATIONS. CARRY OUT ALL WORK IN THE BEST AND TRADESMAN LIKE MANNER AND TO THE SATISFACTION OF THE SUPERVISOR.  
ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED

PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN
GENERAL NOTES:		
DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK. SHORT DRAWINGS OR SUBSTITUTIONS, ANY DEVIATIONS ARE TO BE REFERRED TO THE ARCHITECT/ENGINEER/DESIGNER PRIOR TO THE COMMENCEMENT OF WORK.		

DRAWING TITLE		
FLOOR PLANS		
GROUND PLAN		
SCALE	DRAWN	CHECKED
1:100 @A1	MP	MT
1:200 @A3		
JOB NO.	DATE	
TA2056	02/09/22	
STATUS	DRAWING NO.	REVISION
WD	A101	09



**SELECT STRUCTURE BUILDING CERTIFICATION**

**Building Approval issued under Section 28 of Building Act 2004**

**NCC Occupancy Class: 10a and 10b**

**NCC Construction Type: N/A**

**Date: 14/09/2022**

*Livji Krevatin*

SEE A700 FOR FURTHER INFORMATION.

**ACT Lic. No.2010979**

Building approval for swimming pool and associated structures only.

GENERAL LEGEND	
CODE	DESCRIPTION
AC	AIR CONDITIONING UNIT TO SERVICE ENGINEERS SPEC.
DP	DOWNPIPE, REFER HYDRAULIC DOCUMENTATION
FW	FLOOR WASTE
HW	BOILER UNIT - HEATING SYSTEM
LD	LINEAR DRAIN
LB	LETTERBOX
MN	HYDRONIC HEATING MANIFOLD AND RELATED EQUIP LOCATION
PT	PIT TO CIVIL ENGINEERS DETAIL
RWH	RAINWATER HEAD
RWT	RAINWATER TANK
RR	RADIATOR LOCATION
SC	STEEL COLUMN
SD	SMOKE DETECTOR
SH	SHOWER
SL	SOLAR BATTERY RELATED EQUIP. LOCATION
SP	RAINWATER SPREADER
WO	WATER OUTLET
WT	RAINWATER HARVEST WATERTANK
---	FLOOR OUTLINE ABOVE
---	FLOOR OUTLINE BELOW

EXTERNAL WALL FINISHES	
CODE	DESCRIPTION
BL1	BALUSTRADING TO COMPLY WITH NCC 3.9.2
BL2	GLASS BALUSTRADE PERIMETER FIXED
FG1	BATTEN FENCE AND GATE
FG2	GLASS POOL FENCE
FG3	TIMBER PALING BOUNDARY FENCING TO BE 1.8m IN ACCORDANCE TO AS1926.1. FINISH AS SPECIFIED.
LVL 1	POWDERCOATED ALUMINIUM WEATHER LOUVER PANEL
LVL2	BASEMENT EXHAUST & INTAKE WEATHER LOUVRES
PT11	PAINT FINISH - TO MATCH WINDOW FRAME
RM1	RENDERED FINISH - NATURAL CONCRETE
RM2	TEXTURED RENDERED FINISH - MID GREY
SM1	DOWNHOLE SHEET METAL CLADDING
STN	STONE CLADDING
TL11	TILE FINISH TO MATCH POOL SURROUND

EXTERNAL ROOF FINISHES	
CODE	DESCRIPTION
RF01	STRAIGHT SPEED DECK ULTRA CONCEALED FINING. COLORBOND FINISH 'BASALT'

NOTE: ALL DOWNPIPES TO BE IN ACCORDANCE WITH NCC 3.5.3.5.

NOTE: ALL ROOFING - RF01 - TO BE CONSTRUCTED IN ACCORDANCE WITH NCC 3.5.1.3.

NOTE: ROOFING TO COMPLY WITH PROVISIONS OF NCC 3.5.1.3.

NOTE: ROOF DRAINAGE & DOWNPIPES IN ACCORDANCE WITH NCC 3.5.3.5.

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
11/07/22		REVISED POOL BARRIER FENCING	07				
23/07/22		ISSUED FOR BUILDING APPROVAL	08				
02/09/22		POOL UPDATED	09				

**CONSTRUCTION**

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 w: turcoassociates.com.au

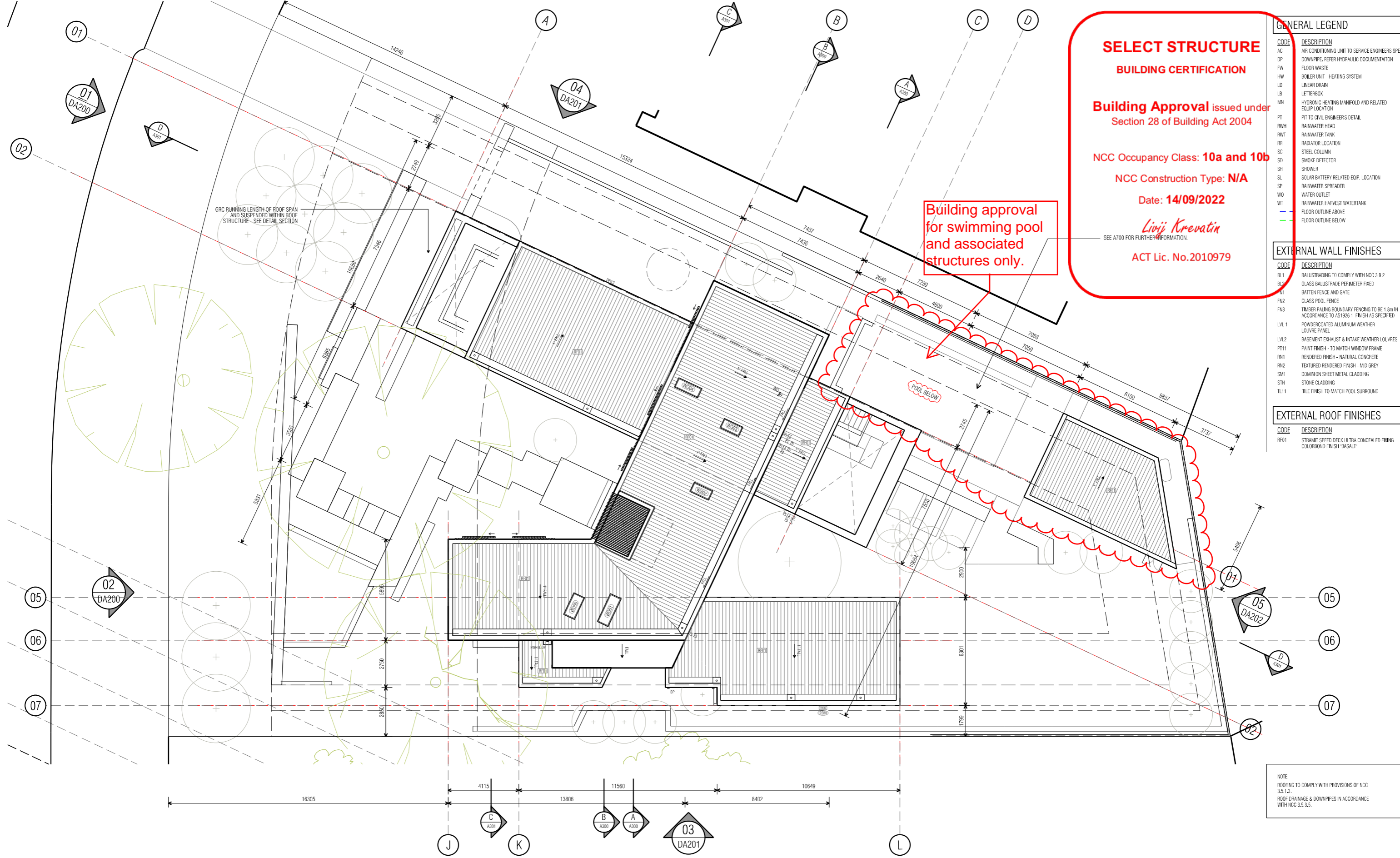
STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-

NOTE: ALL WORK IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REGULATIONS. CARRY OUT ALL WORK IN THE BEST AND TRADESMAN LIKE MANNER AND TO THE SATISFACTION OF THE SUPERVISOR.

ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED

PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIMENSION
11	09	DEAKIN
GENERAL NOTES:		
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DRAWING TITLE		
FLOOR PLANS		
FIRST FLOOR		
SCALE	DRAWN	CHECKED
1:100 @A1	MP	MT
1:200 @A3		
JOB NO.	DATE	
TA2056	02/09/22	
STATUS	DRAWING NO.	REVISION
WD	A102	09



**SELECT STRUCTURE  
BUILDING CERTIFICATION**

**Building Approval issued under  
Section 28 of Building Act 2004**

**NCC Occupancy Class: 10a and 10b**

**NCC Construction Type: N/A**

**Date: 14/09/2022**

*Livij Krevatin*

SEE A700 FOR FURTHER INFORMATION.

**ACT Lic. No.2010979**

Building approval  
for swimming pool  
and associated  
structures only.

GENERAL LEGEND	
CODE	DESCRIPTION
AC	AIR CONDITIONING UNIT TO SERVICE ENGINEERS SPEC.
DP	DOWNPIPE, REFER HYDRAULIC DOCUMENTATION
FW	FLOOR WASTE
HW	BOILER UNIT - HEATING SYSTEM
LD	LINEAR DRAIN
LB	LETTERBOX
MN	HYDRONIC HEATING MANIFOLD AND RELATED EQUIP LOCATION
PT	PIT TO CIVIL ENGINEERS DETAIL
RWH	RAINWATER HEAD
RWT	RAINWATER TANK
RR	RADIATOR LOCATION
SC	STEEL COLUMN
SD	SMOKE DETECTOR
SH	SHOWER
SL	SOLAR BATTERY RELATED EQUIP. LOCATION
SP	RAINWATER SPREADER
WO	WATER OUTLET
WT	RAINWATER HARVEST WATERTANK
-	FLOOR OUTLINE ABOVE
-	FLOOR OUTLINE BELOW

EXTERNAL WALL FINISHES	
CODE	DESCRIPTION
BL1	BALUSTADING TO COMPLY WITH NCC 3.9.2
BL2	GLASS BALUSTRADE PERIMETER FIXED
FG1	BATTEN FENCE AND GATE
FG2	GLASS POOL FENCE
FG3	TIMBER PALING BOUNDARY FENCING TO BE 1.8m IN ACCORDANCE TO AS1926.1. FINISH AS SPECIFIED.
LVL 1	POWDERCOATED ALUMINIUM WEATHER LOUVRE PANEL
LVL2	BASEMENT EXHAUST & INTAKE WEATHER LOUVRES
PT11	PAINT FINISH - TO MATCH WINDOW FRAME
RM1	RENDERED FINISH - NATURAL CONCRETE
RM2	TEXTURED RENDERED FINISH - MID GREY
SM1	DOWNHOLE SHEET METAL CLADDING
STN	STONE CLADDING
TL11	TILE FINISH TO MATCH POOL SURROUND

EXTERNAL ROOF FINISHES	
CODE	DESCRIPTION
RF01	STRAMIT SPEED DECK ULTRA CONCEALED FINING. COLORBOND FINISH 'BASALT'

NOTE:  
ROOFING TO COMPLY WITH PROVISIONS OF NCC 3.5.1.3.  
ROOF DRAINAGE & DOWNPIPES IN ACCORDANCE WITH NCC 3.5.3.5.

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
11/07/22		REVISED POOL BARRIER FENCING	06				
23/07/22		ISSUED FOR BUILDING APPROVAL	07				
02/09/22		POOL UPDATED	08				

**CONSTRUCTION**

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Location

03  
DA201

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+61 6162 0735  
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w: turcoassociates.com.au

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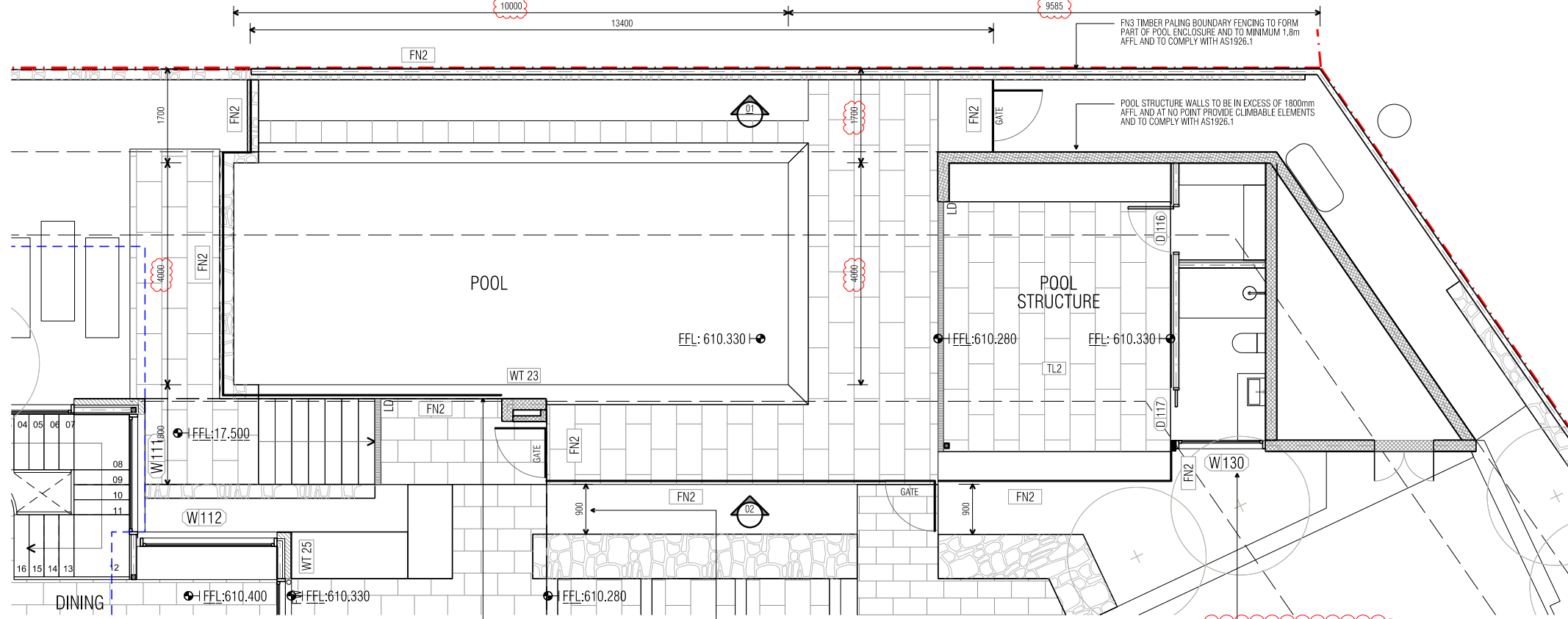
Page 84 of 133

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
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-	-	-
-	-	-

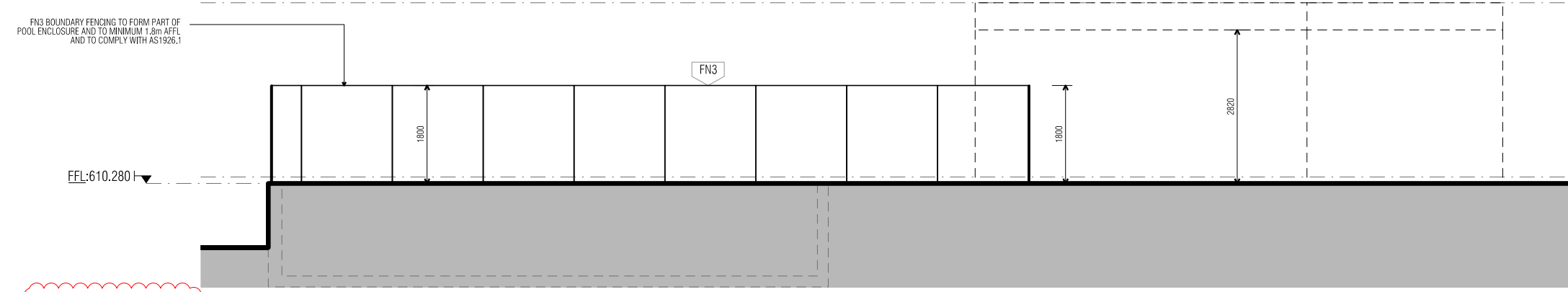
NOTE:  
ALL WORK IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REGULATIONS. CARRY OUT ALL WORK IN THE BEST AND PRAGMATIC MANNER AND TO THE SATISFACTION OF THE SUPERVISOR.  
ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED

PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN
GENERAL NOTES:		
DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF SHOP DRAWINGS OR CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECT/ENGINEER/DRAWN PRIOR TO THE COMMENCEMENT OF WORK.		

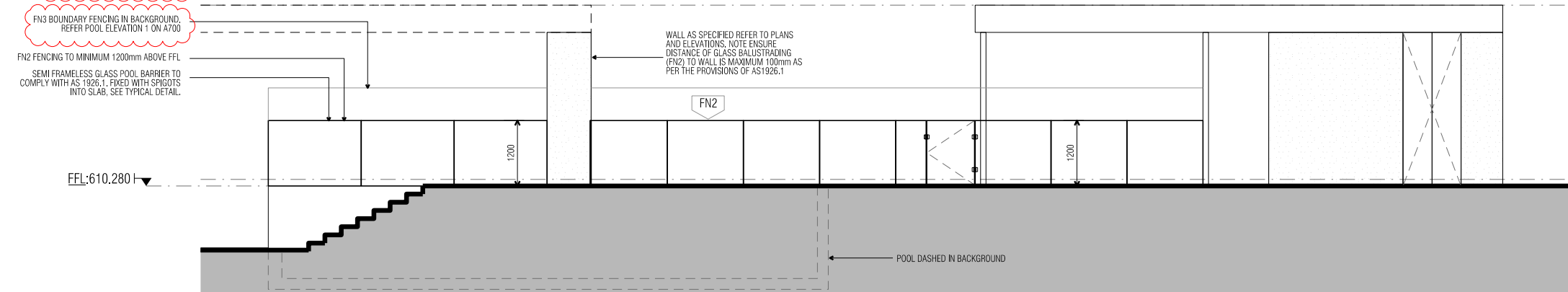
DRAWING TITLE		
FLOOR PLANS		
ROOF		
SCALE	DRAWN	CHECKED
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1:200 @A3		
JOB NO.	DATE	
TA2056	02/09/22	
STATUS	DRAWING NO.	REVISION
WD	A103	08



**00 POOL FENCING DETAIL PLAN**  
1:50 @ A1



**01 POOL ELEVATION**  
1:50 @ A1



**02 POOL ELEVATION**  
1:50 @ A1

**SELECT STRUCTURE**

**BUILDING CERTIFICATION**

**Building Approval issued under**  
Section 28 of Building Act 2004

**NCC Occupancy Class: 10a and 10b**

**NCC Construction Type: N/A**

**Date: 14/09/2022**

*Livija Krevatin*

**ACT LIC NO 2018979**

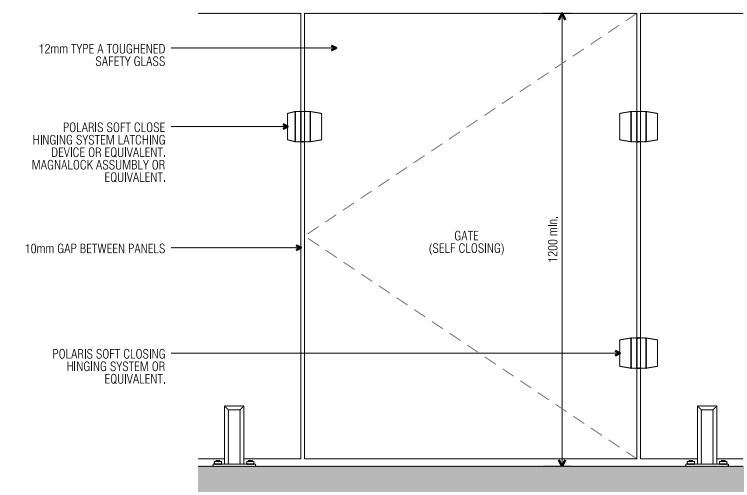
GLASS TO BE IN ACCORDANCE WITH AS 1288.

SPIGOTS AND FIXINGS TO PAVING SLAB AS PER MANUFACTURER'S SPECIFICATIONS.

20mm NOMINAL TILES AS SPECIFIED MITRED AND FULLY BONDED TO PAVING SLAB DESIGNED AS PER STRUCTURAL ENGINEER'S DETAIL SPECIFIED TILES TO MEET MINIMUM EXTERNAL SLIP RATING AS PER THE NCC.

PAVING SLABS TO ENGINEER'S SPECIFICATIONS

**03 TYPICAL POOL BARRIER DETAIL**  
1:5 @ A1



**04 TYPICAL POOL GATE ELEVATION**  
1:10 @ A1

**GENERAL NOTES**

POOL BARRIER FENCING TO BE MINIMUM 1200mm AFFL AND CLEARANCES TO POOL FENCING TO ADHERE TO REQUIREMENTS OF AS1926.1

ALL POOL BARRIER GATES ARE TO SWING OUTWARDS AND BE SELF CLOSING, SELF LATCHING AND FULLY SATISFY REQUIREMENTS OF AS 1926.1

ALL POOL DRAWINGS ARE TO BE REFERRED TO SELECTED POOL CONTRACTOR FOR THEIR APPROVAL AND COMPLIANCE IN ACCORDANCE WITH AS1926.1

ANY CHANGES TO POOL ENCLOSURE EXTENT, FIXING DETAILS, OR GLASS SPECIFICATIONS ARE TO ENSURE COMPLIANCE IN ACCORDANCE WITH AS1926.1

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
11/07/2022		REVISED POOL GATE & BARRIER DETAIL	01				
23/07/2022		REVISED NOTES, ISSUED FOR BUILDING APPROVAL	02				
08/09/2022		REVISED POOL DIMENSIONS	03				
14/09/2022		REVISED POOL DIMENSIONS	04				

**CONSTRUCTION**

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Location

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Page 85 of 133

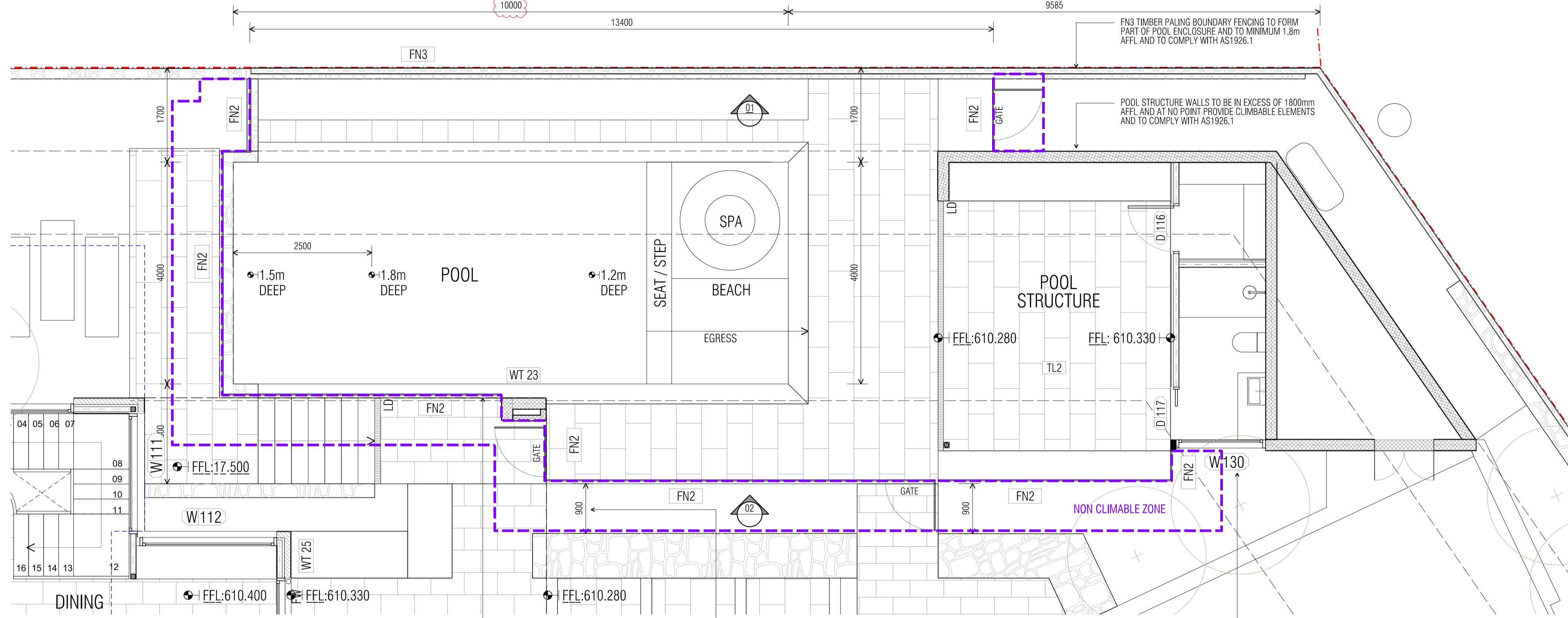
Suite 30, 2 King Street Deakin  
Carberra ACT 2600  
+61 6162 0735  
e: carberra@turcoassociates.com.au  
w: turcoassociates.com.au

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-

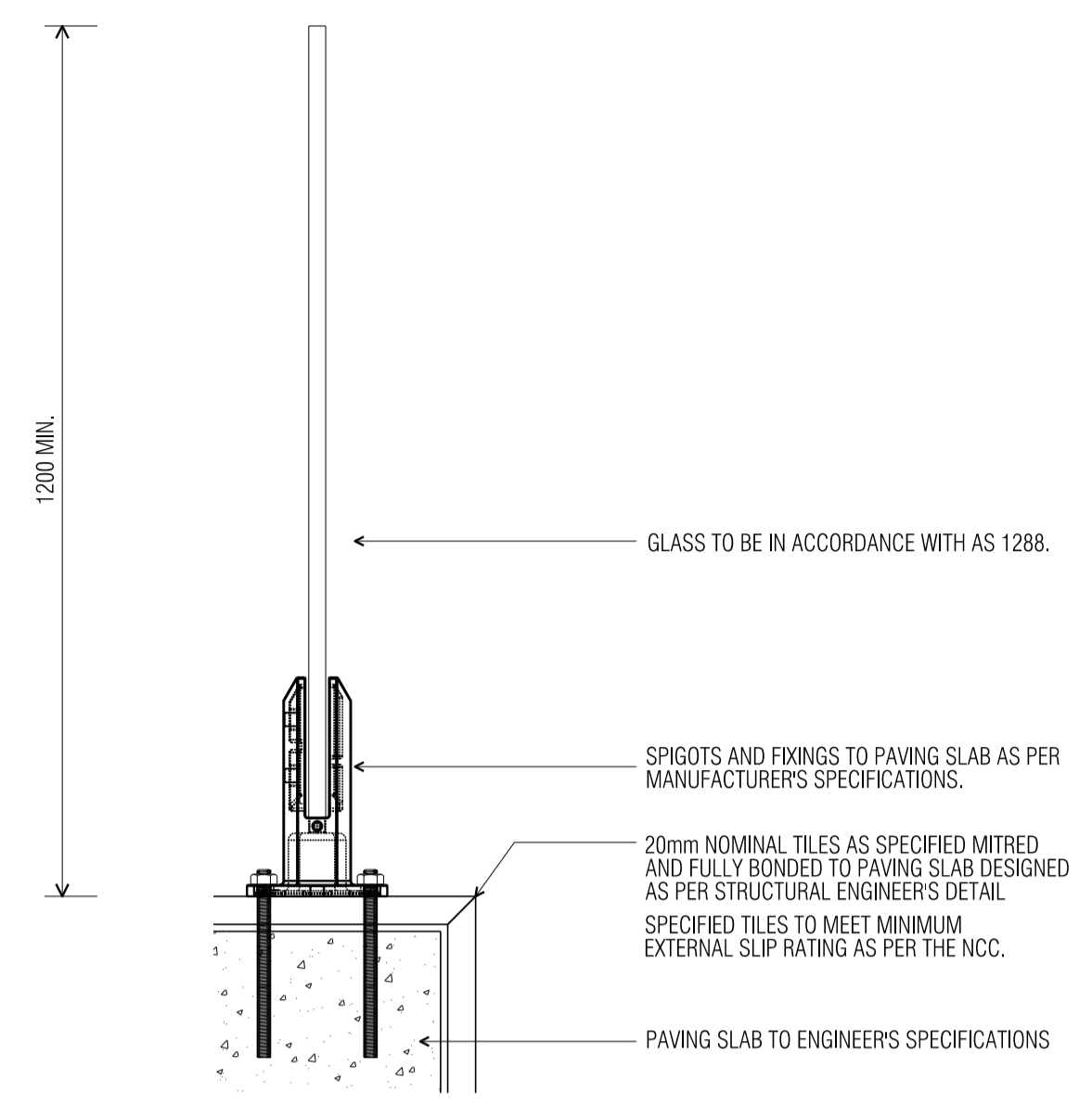
**NOTE:**  
ALL WORK IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REGULATIONS. CARRY OUT ALL WORK IN THE BEST AND TRADESMAN LIKE MANNER AND TO THE SATISFACTION OF THE SUPERINTENDENT.  
ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED

PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN
GENERAL NOTES:		
DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF SHOP DRAWINGS OR FIXING. ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECT/ENGINEER/DESIGNER PRIOR TO THE COMMENCEMENT OF WORK.		

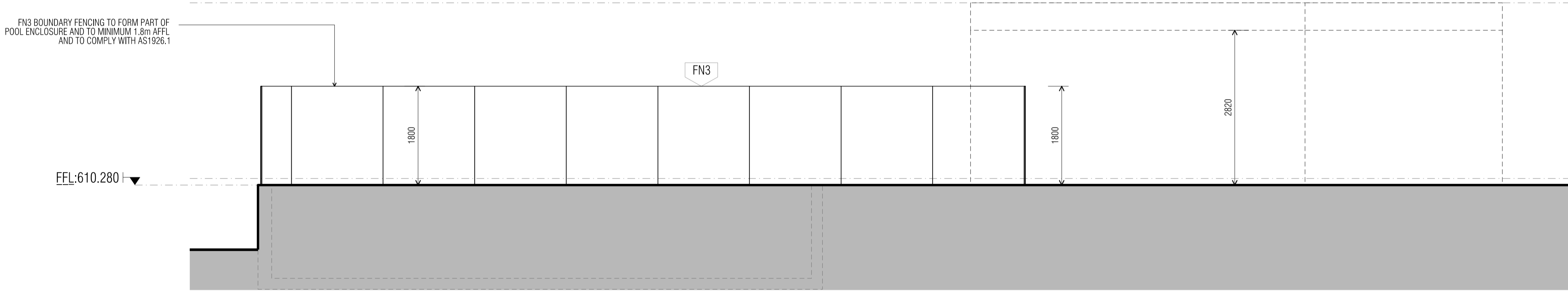
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POOL BARRIER DETAILS		
SHEET 01		
SCALE	DRAWN	CHECKED
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1:100 @A3		
JOB NO.	DATE	
TA2056	14.09.22	
STATUS	DRAWING NO.	REVISION
WD	A700	04



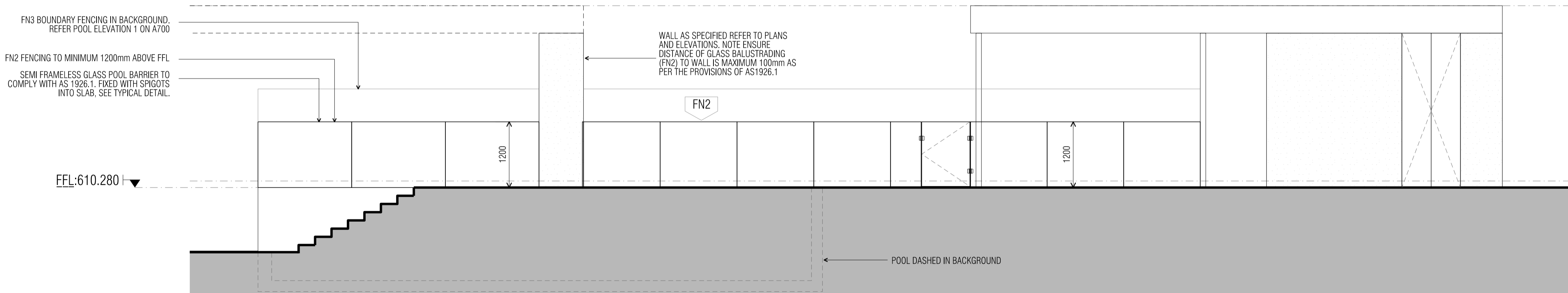
**00 POOL FENCING DETAIL PLAN**  
1:50 @ A1



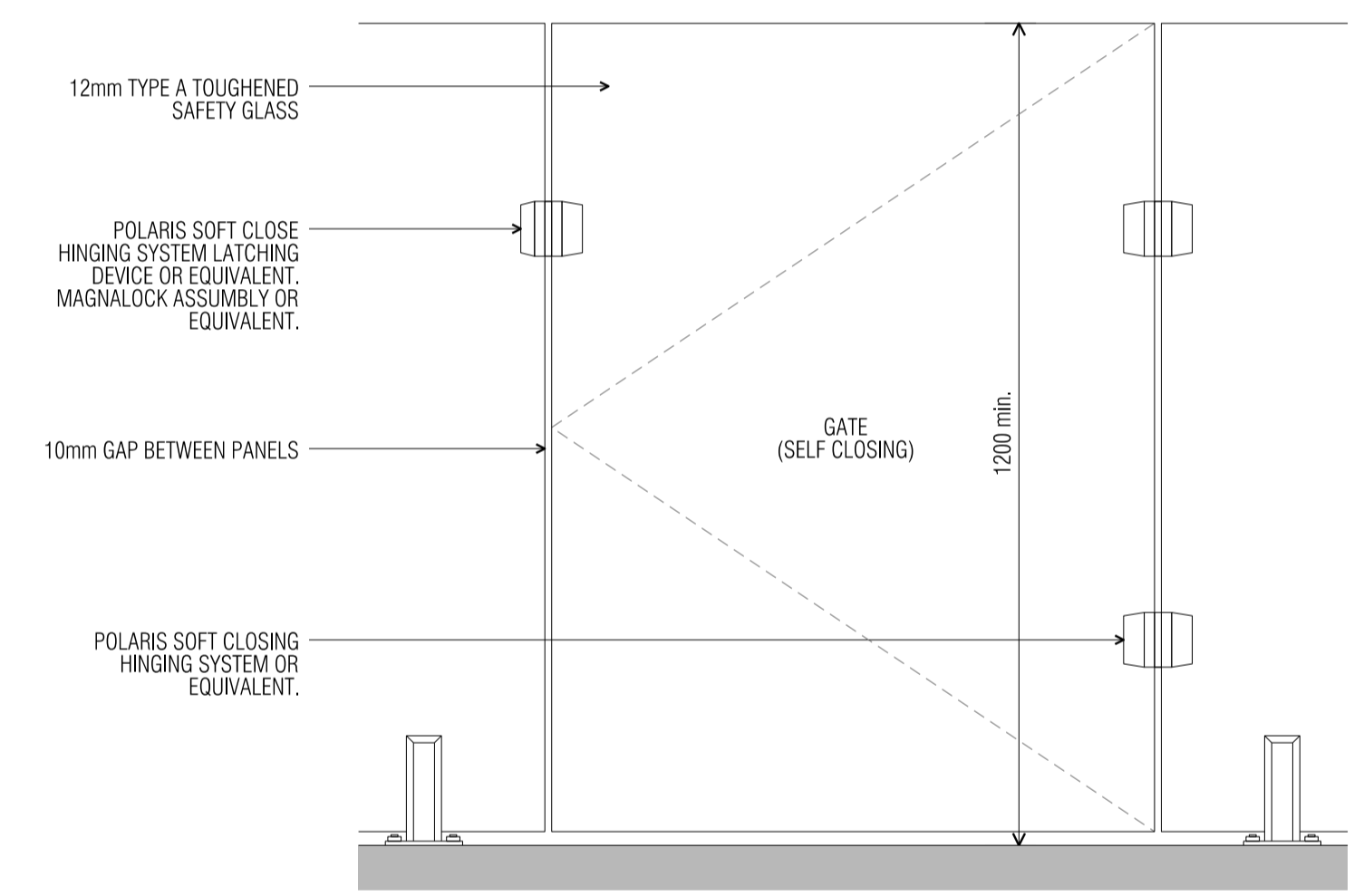
**03 TYPICAL POOL BARRIER DETAIL**  
1:5 @ A1



**01 POOL ELEVATION**  
1:50 @ A1



**02 POOL ELEVATION**  
1:50 @ A1



**04 TYPICAL POOL GATE ELEVATION**  
1:10 @ A1

**LEGEND**  
AREA DENOTES NON CLIMBABLE ZONE

**GENERAL NOTES**  
POOL BARRIER FENCING TO BE MINIMUM 1200mm AFFL AND CLEARANCES TO POOL FENCING TO ADHERE TO REQUIREMENTS OF AS1926.1  
ALL POOL BARRIER GATES ARE TO SWING OUTWARDS AND BE SELF CLOSING, SELF LATCHING AND FULLY SATISFY REQUIREMENTS OF AS 1926.1  
ALL POOL DRAWINGS ARE TO BE REFERRED TO SELECTED POOL CONTRACTOR FOR THEIR APPROVAL AND COMPLIANCE IN ACCORDANCE WITH AS1926.1  
ANY CHANGES TO POOL ENCLOSURE EXTENT, FIXING DETAILS, OR GLASS SPECIFICATIONS ARE TO ENSURE COMPLIANCE IN ACCORDANCE WITH AS1926.1

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
11/07/2022		REVISED POOL GATE & BARRIER DETAIL.	01				
23/07/2022		REVISED NOTES, ISSUED FOR BUILDING APPROVAL.	02				
06/09/2022		REVISED POOL DIMENSIONS.	03				
14/09/2022		REVISED POOL DIMENSIONS.	04				
27/09/2022		NC2 AND POOL EGRESS ADDED TO PLAN.	05				

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Location

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**turcoandassociates**

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

**NOTE:**  
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ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED

PROJECT		
NORTHCOTE HOUSE		
CLIENT ALEKSANDAR		
BLOCK 11	SECTION 09	DIVISION DEAKIN
GENERAL NOTES: DO NOT SCALE FROM THIS DRAWING, USE GIVEN DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF SHOP DRAWINGS OR FABRICATION. ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECT/ENGINEER/DESIGNER PRIOR TO THE COMMENCEMENT OF WORK.		

DRAWING TITLE		
POOL BARRIER DETAILS SHEET 01		
SCALE 1:50 @A1 1:100 @A3	DRAWN MP	CHECKED MT
JOB NO. TA2056	DATE 27.09.22	REVISION
STATUS WD	DRAWING NO. A700	REVISION 05

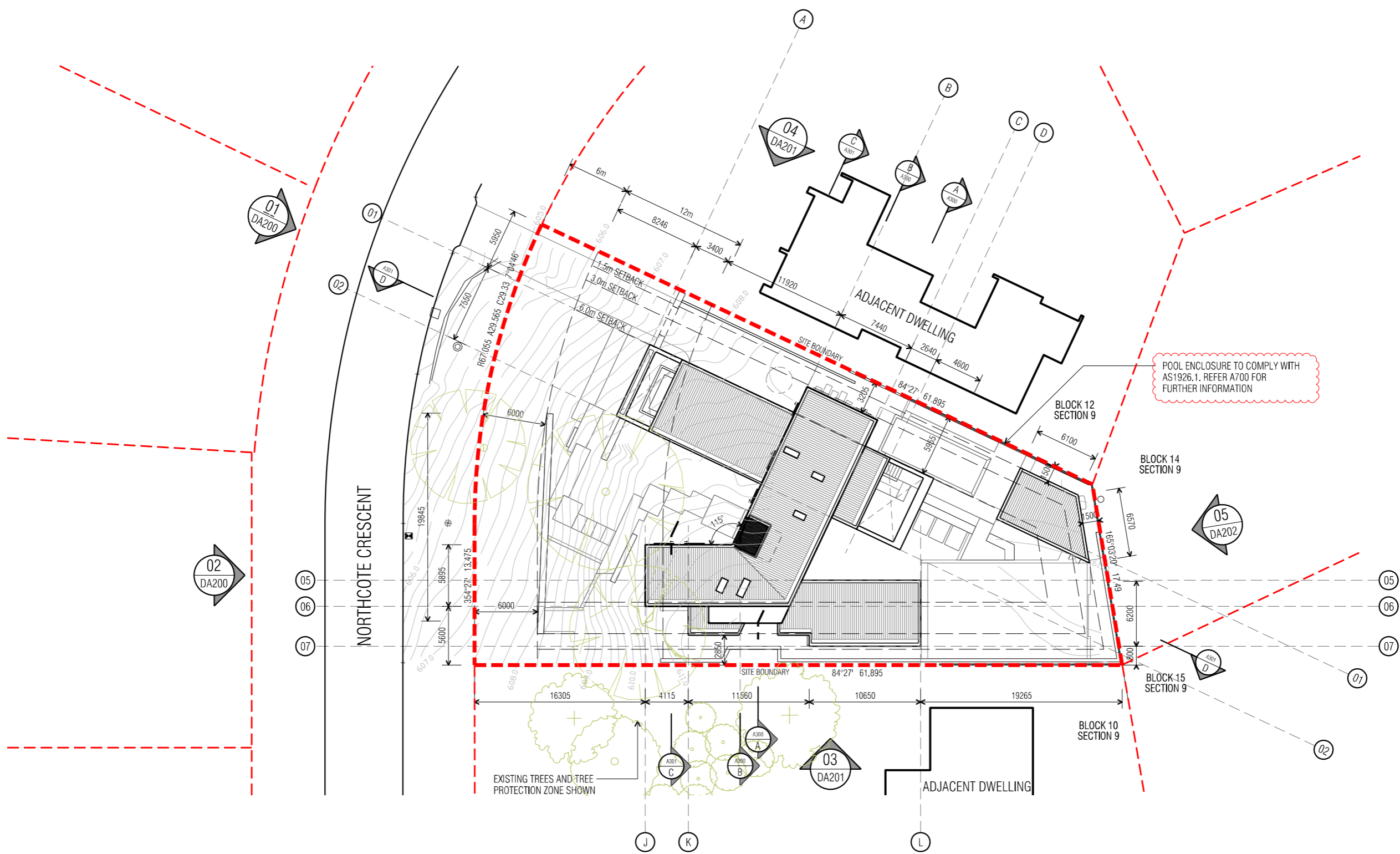
**AREA SCHEDULE**

Site Area	1,796
Plot Ratio	50%
<b>Developable Area</b>	<b>898.0</b>

**PROPOSED AREAS**

Garage	72.5
Gym, Media, Laundry, Mud Room	63.7
Ground Floor	271.6
Pool Cabana	20.4
Level 01	175.1
<b>Total GFA</b>	<b>467.1</b>
<b>Total Incl. Basement</b>	<b>603.3</b>
Plot Ratio	26.0%

**Select Structure Certification**  
**Building Approval** is amended under Section 32 of Building Act 2004  
 Date: **03/03/2025**  
*Livij Krovatin*  
 ACT Lic. No. 2023473



DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
22/07/22		REVISED POOL BARRIER FENCING	02				
29/07/22		ISSUED FOR BUILDING APPROVAL	03				

**CONSTRUCTION**  
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 +61 6 162 0735  
 e: canberra@turcoassociates.com.au  
 w: turcoassociates.com.au

**turco and associates**

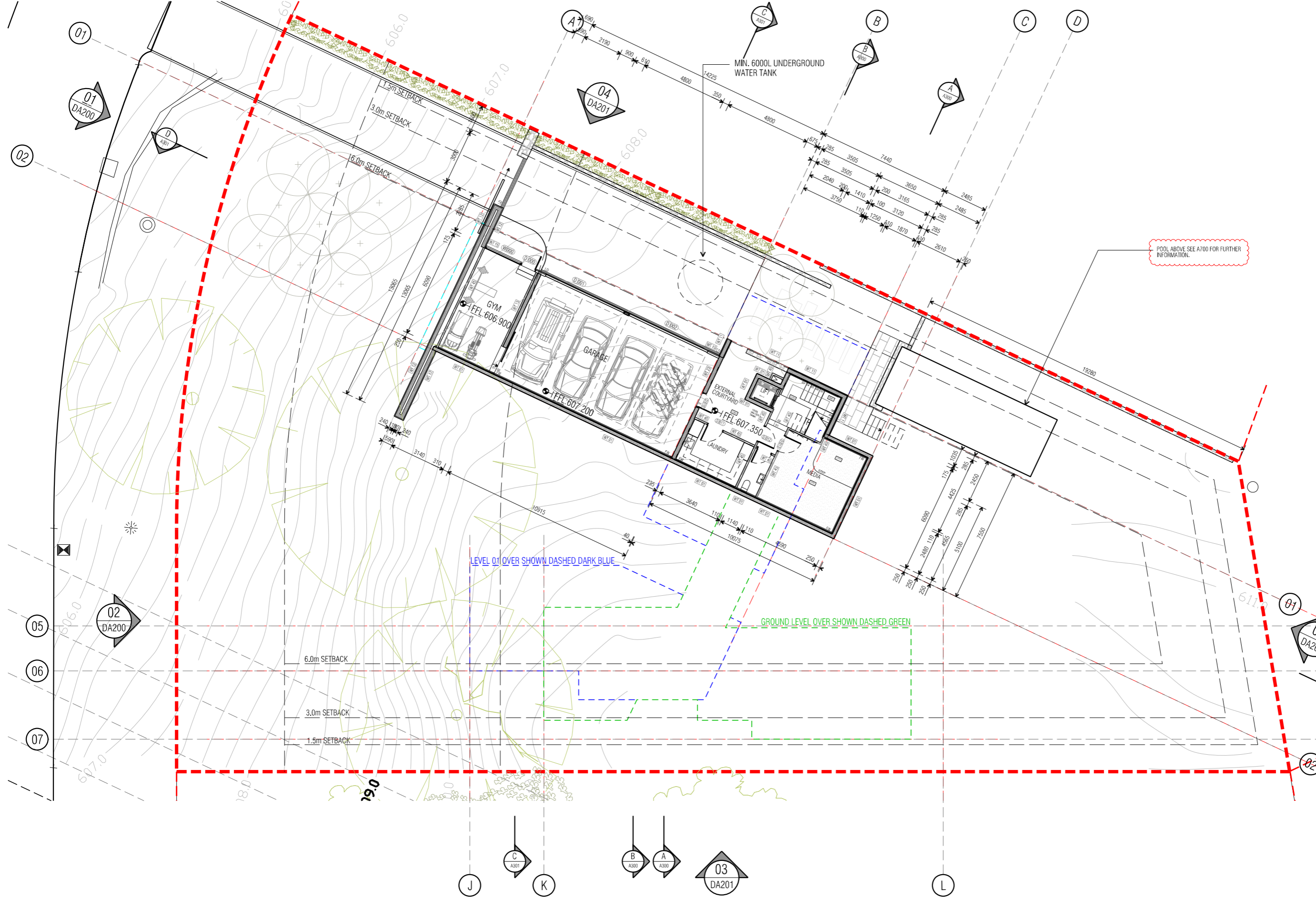
Page 87 of 133

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-

NOTE:  
 ALL WORK IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REGULATIONS. CARRY OUT ALL WORK IN THE BEST AND TRADESMAN LIKE MANNER AND TO THE SATISFACTION OF THE SUPERINTENDENT.  
 ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED

<b>PROJECT</b>		
NORTHCOTE HOUSE		
<b>CLIENT</b>		
ALEKSANDAR		
<b>BLOCK</b>	<b>SECTION</b>	<b>DIVISION</b>
11	09	DEAKIN
<b>GENERAL NOTES:</b>		
<small>DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF SHOP DRAWINGS OR FIXING. ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECT/ENGINEER/DESIGNER PRIOR TO THE COMMENCEMENT OF WORK.</small>		

<b>DRAWING TITLE</b>		
SITE PLAN		
<b>SCALE</b>	<b>DRAWN</b>	<b>CHECKED</b>
1:200 @A1	MP	MT
1:400 @A3		
<b>JOB NO.</b>	<b>DATE</b>	
TA2056	29/07/2022	
<b>STATUS</b>	<b>DRAWING NO.</b>	<b>REVISION</b>
WD	A001	03



**GENERAL LEGEND**

CODE	DESCRIPTION
AC	AIR CONDITIONING UNIT TO SERVICE ENGINEERS SPEC.
DP	DOWNPIPE, REFER HYDRAULIC DOCUMENTATION
FW	FLOOR WASTE
HW	BOILER UNIT - HEATING SYSTEM
LD	LINEAR DRAIN
LB	LETTERBOX
MN	HYDRONIC HEATING MANIFOLD AND RELATED EQUIP LOCATION
PT	PIT TO CIVIL ENGINEERS DETAIL
RWH	RAINWATER HEAD
RWT	RAINWATER TANK
RR	RADIATOR LOCATION
SC	STEEL COLUMN
SD	SMOKE DETECTOR
SH	SHOWER
SL	SOLAR BATTERY RELATED EQUIP. LOCATION
SP	RAINWATER SPREADER
WO	WATER OUTLET
WT	RAINWATER HARVEST WATERTANK
- - -	FLOOR OUTLINE ABOVE
- - -	FLOOR OUTLINE BELOW

**EXTERNAL WALL FINISHES**

CODE	DESCRIPTION
BL1	BALUSTADING TO COMPLY WITH NCC 3.9.2
BL2	GLASS BALUSTADING TO COMPLY WITH NCC 3.9.2
FN1	BATTEN FENCE AND GATE
FN2	<b>Select Structure Certification</b>
FN3	TIMBER PALING BOUNDARY FENCING TO BE 1.8m IN HEIGHT AND TO BE FINISHED AS SPECIFIED UNDER SECTION 2004 OF THE STRATA MANAGEMENT ACT 2004
LVL2	BASEMENT EXHAUST & INTAKE WEATHER LOUVRES
PT11	PANEL FINISH TO EXPOSE FRAME
RM1	RENDERED FINISH - NATURAL CONCRETE
RM2	TEXTURED RENDERED FINISH - MID GREY
SM1	DOWNLOTT SHEET METAL CLADDING
STN	SHOWER PANELLING
TL11	TILE FINISH TO MATCH POOL SURROUND

**EXTERNAL ROOF FINISHES**

CODE	DESCRIPTION
RPT	STRUTTED SPEED DECK ULTRA CONCEALED FINNG. COLORBOND FINISH BASALT

NOTE:  
 ROOFING TO COMPLY WITH PROVISIONS OF NCC 3.5.1.3.  
 ROOF DRAINAGE & DOWNPIPES IN ACCORDANCE WITH NCC 3.5.3.5.

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
11/07/22		REVISED POOL BARRIER FENCING	06				
29/07/22		ISSUED FOR BUILDING APPROVAL	07				

**CONSTRUCTION**  
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Location

03  
DA201

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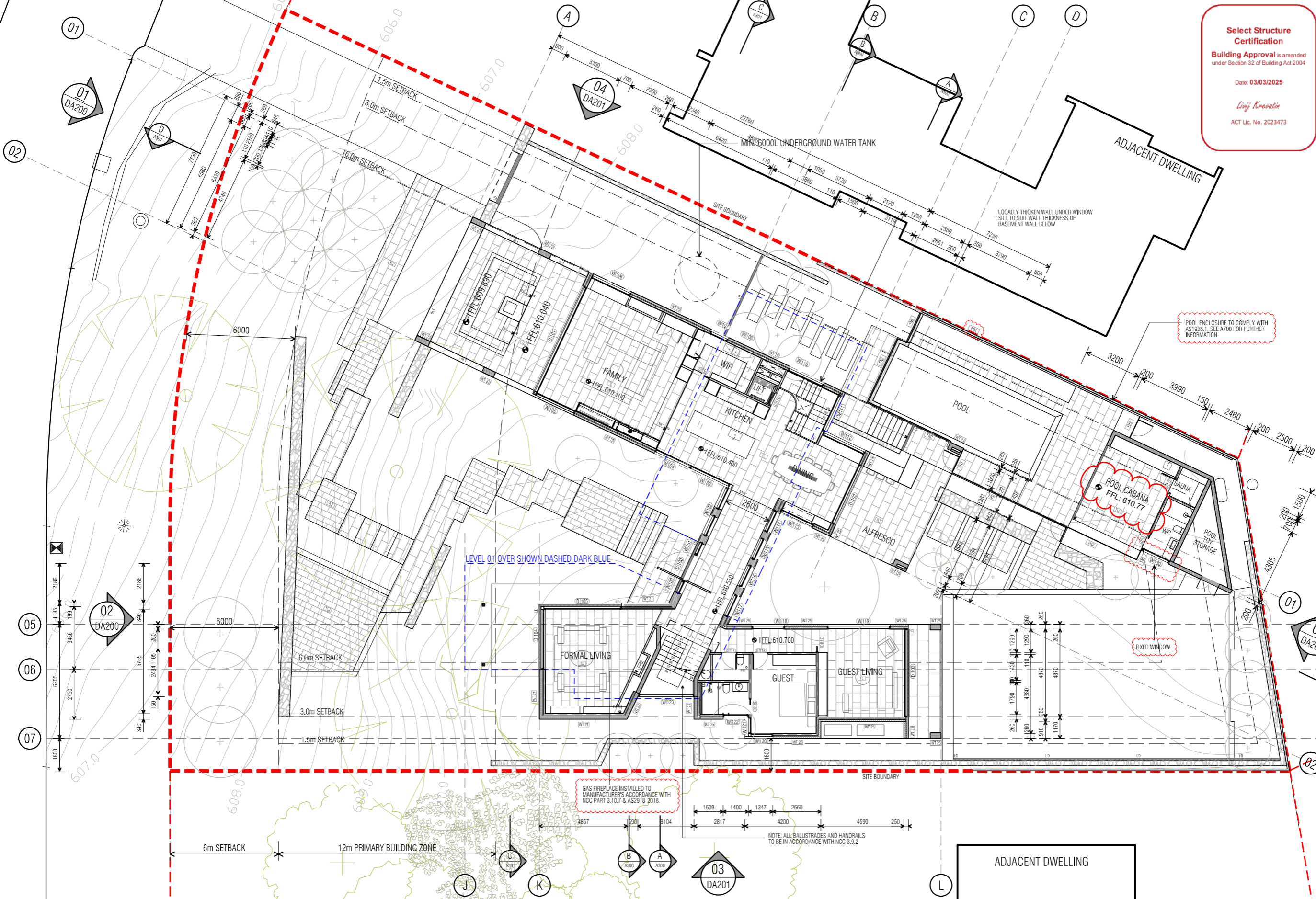
Suite 30, 2 King Street Deakin  
 Carberra ACT 2600  
 +61 6162 0735  
 e: carberra@turcoassociates.com.au  
 w: turcoassociates.com.au

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

NOTE:  
 ALL WORK IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REGULATIONS. CARRY OUT ALL WORK IN THE BEST AND TRADESMAN LIKE MANNER AND TO THE SATISFACTION OF THE SUPERVISOR.  
 ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.

PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN
GENERAL NOTES:		
DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK. SHOP DRAWINGS OR SUBSTITUTIONS, ANY DEVIATIONS ARE TO BE REFERRED TO THE ARCHITECT/ENGINEER/DESIGNER PRIOR TO THE COMMENCEMENT OF WORK.		

DRAWING TITLE		
FLOOR PLANS		
BASEMENT		
SCALE	DRAWN	CHECKED
1:100 @A1	MP	MT
1:200 @A3		
JOB NO.	DATE	
TA2056	29/07/2022	
STATUS	DRAWING NO.	REVISION
WD	A100	07



**Select Structure Certification**  
**Building Approval** is amended under Section 32 of Building Act 2004  
 Date: 03/03/2025  
*Linij Kroatir*  
 ACT Lic. No. 2023473

**GENERAL LEGEND**

CODE	DESCRIPTION
AC	AIR CONDITIONING UNIT TO SERVICE ENGINEERS SPEC.
DP	DOWNPIPE, REFER HYDRAULIC DOCUMENTATION
FW	FLOOR WASTE
HW	BOILER UNIT - HEATING SYSTEM
LD	LINEAR DRAIN
LB	LETTERBOX
MN	HYDRONIC HEATING MAINFOLD AND RELATED EQUIP LOCATION
PT	PIT TO CIVIL ENGINEERS DETAIL
RWH	RAINWATER HEAD
RWT	RAINWATER TANK
RR	RADIATOR LOCATION
SC	STEEL COLUMN
SD	SMOKE DETECTOR
SH	SHOWER
SL	SOLAR BATTERY RELATED EQUIP. LOCATION
SP	RAINWATER SPREADER
WO	WATER OUTLET
WT	RAINWATER HARVEST WATERTANK
- - -	FLOOR OUTLINE ABOVE
- - -	FLOOR OUTLINE BELOW

**EXTERNAL WALL FINISHES**

CODE	DESCRIPTION
BL1	BALUSTADING TO COMPLY WITH NCC 3.9.2
BL2	GLASS BALUSTRADE PERIMETER FIXED
FN1	BATTEN FENCE AND GATE
FP2	GLASS POOL FENCE
FN3	TIMBER PALING BOUNDARY FENCING TO BE 1.8m IN ACCORDANCE TO AS1926.1. FINISH AS SPECIFIED.
LVL 1	POWDERCOATED ALUMINIUM WEATHER LOUVRE PANEL
LVL2	BASEMENT EXHAUST & INTAKE WEATHER LOUVRES
PT11	PAINT FINISH - TO MATCH WINDOW FRAME
RN1	RENDERED FINISH - NATURAL CONCRETE
RN2	TEXTURED RENDERED FINISH - MID GREY
SM1	DOWNHOLE SHEET METAL CLADDING
STN	STONE CLADDING
TL11	TILE FINISH TO MATCH POOL SURROUND

**EXTERNAL ROOF FINISHES**

CODE	DESCRIPTION
RF01	STRAMIT SPEED DECK ULTRA CONCEALED FINING. COLORBOND FINISH 'BASALT'

NOTE:  
 ROOFING TO COMPLY WITH PROVISIONS OF NCC 3.5.1.3.  
 ROOF DRAINAGE & DOWNPIPES IN ACCORDANCE WITH NCC 3.5.3.5.  
 ALL POOL FENCING TO COMPLY WITH AS 1926.1 SWIMMING POOL FENCING REQUIREMENTS

DATE	AI NO.	COMMENT	REV.
11/07/22		REVISED POOL BARRIER FENCING	06
29/07/22		REVISED NOTES AND POOL HOUSE WINDOW	07
29/07/22		ISSUED FOR BUILDING APPROVAL	07

**CONSTRUCTION**  
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Location

03 DA201

Suite 30, 2 King Street Deakin  
 Carberria ACT 2600  
 +61 6162 0735  
 e: carberra@turcoassociates.com.au  
 w: turcoassociates.com.au

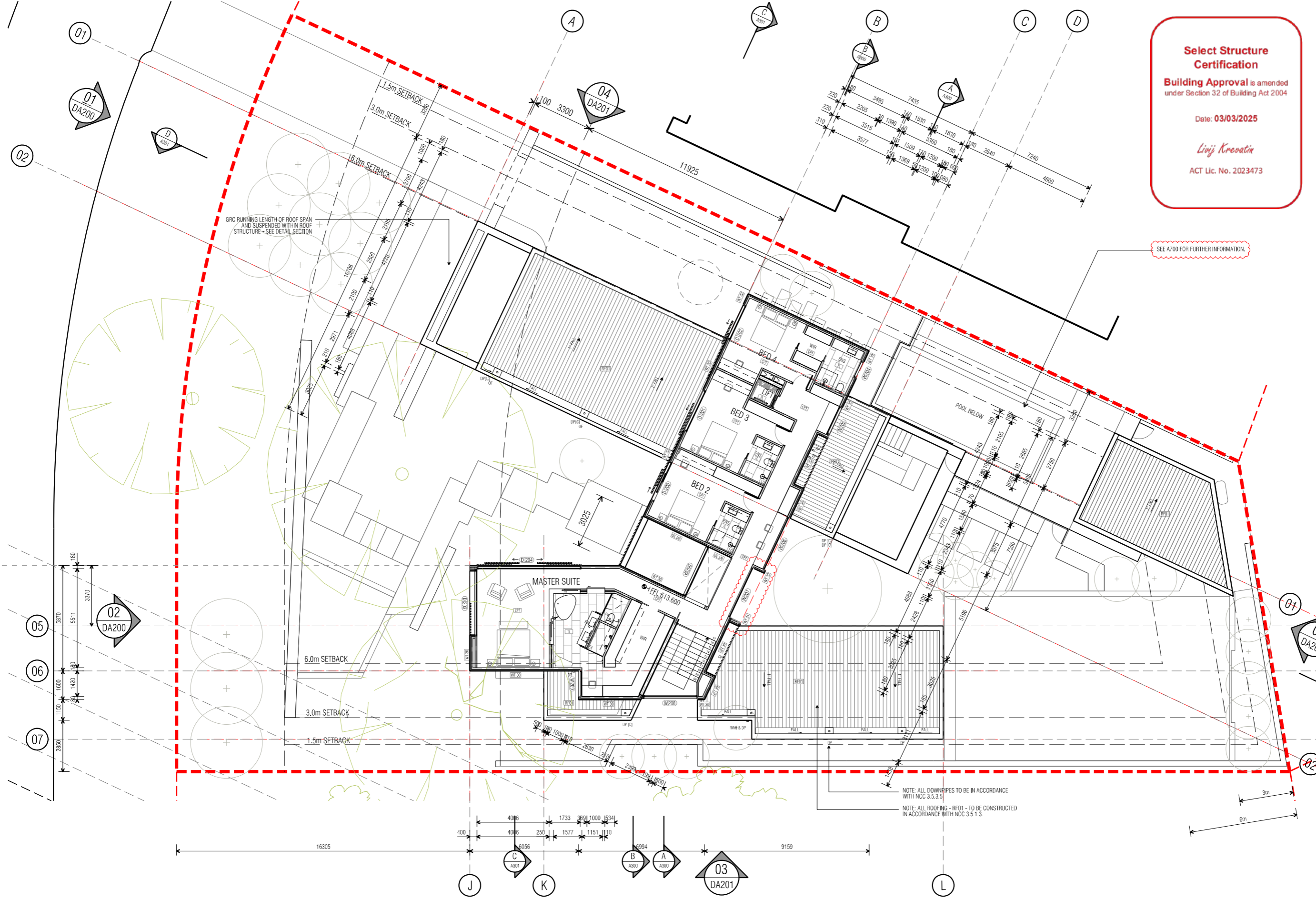
turco and associates  
 Page 89 of 133

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-

NOTE:  
 ALL WORK IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA.  
 RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REGULATIONS APPLY TO ALL WORK IN THE BEST AND TRADESMAN LIKE MANNER AND TO THE SATISFACTION OF THE SUPERVISOR.  
 ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED

PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DMSION
11	09	DEAKIN
GENERAL NOTES:		
DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF SHOP DRAWINGS OR FABRICATION. ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECT/ENGINEER/DESIGNER PRIOR TO THE COMMENCEMENT OF WORK.		

DRAWING TITLE		
FLOOR PLANS		
GROUND PLAN		
SCALE	DRAWN	CHECKED
1:100 @A1	MP	MT
1:200 @A3		
JOB NO.	DATE	
TA2056	29/07/2022	
STATUS	DRAWING NO.	REVISION
WD	A101	07



**Select Structure Certification**  
**Building Approval is amended**  
 under Section 32 of Building Act 2004

Date: 03/03/2025

*Livij Krocetin*  
 ACT Lic. No. 2032473

**GENERAL LEGEND**

CODE	DESCRIPTION
AC	AIR CONDITIONING UNIT TO SERVICE ENGINEERS SPEC.
DP	DOWNPIPE, REFER HYDRAULIC DOCUMENTATION
FW	FLOOR WASTE
HW	BOILER UNIT - HEATING SYSTEM
LD	LINEAR DRAIN
LB	LETTERBOX
MN	HYDRONIC HEATING MANIFOLD AND RELATED EQUIP LOCATION
PT	PIT TO CIVIL ENGINEERS DETAIL
RWH	RAINWATER HEAD
RWT	RAINWATER TANK
RR	RADIATOR LOCATION
SC	STEEL COLUMN
SD	SMOKE DETECTOR
SH	SHOWER
SL	SOLAR BATTERY RELATED EQUIP. LOCATION
SP	RAINWATER SPREADER
WO	WATER OUTLET
WT	RAINWATER HARVEST WATERTANK
- -	FLOOR OUTLINE ABOVE
- -	FLOOR OUTLINE BELOW

**EXTERNAL WALL FINISHES**

CODE	DESCRIPTION
BL1	BALUSTADING TO COMPLY WITH NCC 3.9.2
BL2	GLASS BALUSTRADE PERIMETER FIXED
FN1	BATTEN FENCE AND GATE
FN2	GLASS POOL FENCE
FN3	TIMBER PALING BOUNDARY FENCING TO BE 1.8m IN ACCORDANCE TO AS1926.1. FINISH AS SPECIFIED.
LVL 1	POWDERCOATED ALUMINIUM WEATHER LOUVRE PANEL
LVL2	BASEMENT EXHAUST & INTAKE WEATHER LOUVRES
PT11	PAINT FINISH - TO MATCH WINDOW FRAME
RN1	RENDERED FINISH - NATURAL CONCRETE
RN2	TEXTURED RENDERED FINISH - MID GREY
SM1	DOWNHOLE SHEET METAL CLADDING
STN	STONE CLADDING
TL11	TILE FINISH TO MATCH POOL SURROUND

**EXTERNAL ROOF FINISHES**

CODE	DESCRIPTION
RF01	STRAMIT SPEED DECK ULTRA CONCEALED FINING. COLORBOND FINISH 'BASALT'

NOTE: ALL DOWNPIPES TO BE IN ACCORDANCE WITH NCC 3.5.3.5.  
 NOTE: ALL ROOFING - RF01 - TO BE CONSTRUCTED IN ACCORDANCE WITH NCC 3.5.1.3.

NOTE:  
 ROOFING TO COMPLY WITH PROVISIONS OF NCC 3.5.1.3.  
 ROOF DRAINAGE & DOWNPIPES IN ACCORDANCE WITH NCC 3.5.3.5.

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
11/07/22		REVISED POOL BARRIER FENCING	07				
29/07/22		ISSUED FOR BUILDING APPROVAL	08				

**CONSTRUCTION**  
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Location

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 Page 90 of 133

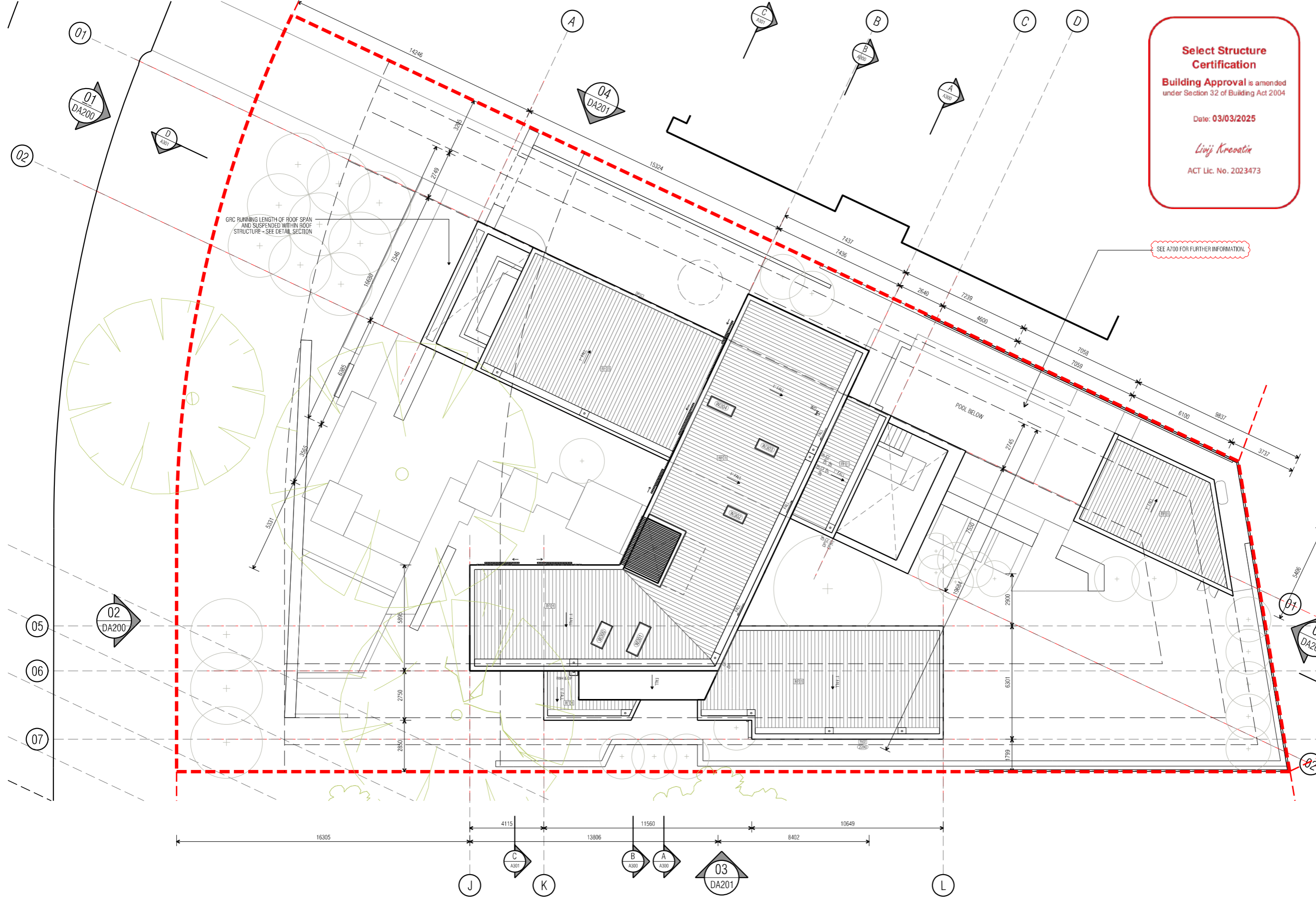
Suite 30, 2 King Street Deakin  
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 +61 6162 0735  
 e: carberria@turcoassociates.com.au  
 w: turcoassociates.com.au

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

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PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN
GENERAL NOTES:		
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DRAWING TITLE		
FLOOR PLANS		
FIRST FLOOR		
SCALE	DRAWN	CHECKED
1:100 @A1	MP	MT
1:200 @A3		
JOB NO.	DATE	
TA2056	29/07/2022	
STATUS	DRAWING NO.	REVISION
WD	A102	08



**Select Structure Certification**  
**Building Approval is amended**  
 under Section 32 of Building Act 2004

Date: **03/03/2025**

*Linzi Krocatin*  
 ACT Lic. No. 2023473

**GENERAL LEGEND**

CODE	DESCRIPTION
AC	AIR CONDITIONING UNIT TO SERVICE ENGINEERS SPEC.
DP	DOWNPIPE, REFER HYDRAULIC DOCUMENTATION
FW	FLOOR WASTE
HW	BOILER UNIT - HEATING SYSTEM
LD	LINEAR DRAIN
LB	LETTERBOX
MN	HYDRONIC HEATING MANIFOLD AND RELATED EQUIP LOCATION
PT	PIT TO CIVIL ENGINEERS DETAIL
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RWT	RAINWATER TANK
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SD	SMOKE DETECTOR
SH	SHOWER
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SP	RAINWATER SPREADER
WO	WATER OUTLET
WT	RAINWATER HARVEST WATERTANK
- -	FLOOR OUTLINE ABOVE
- -	FLOOR OUTLINE BELOW

**EXTERNAL WALL FINISHES**

CODE	DESCRIPTION
BL1	BALUSTRADING TO COMPLY WITH NCC 3.9.2
BL2	GLASS BALUSTRADE PERIMETER FIXED
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FN2	GLASS POOL FENCE
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LVL 1	POWDERCOATED ALUMINIUM WEATHER LOUVRE PANEL
LVL2	BASEMENT EXHAUST & INTAKE WEATHER LOUVRES
PT11	PAINT FINISH - TO MATCH WINDOW FRAME
RM1	RENDERED FINISH - NATURAL CONCRETE
RM2	TEXTURED RENDERED FINISH - MID GREY
SM1	DOWNHILL SHEET METAL CLADDING
ST1	STONE CLADDING
TL11	TILE FINISH TO MATCH POOL SURROUND

**EXTERNAL ROOF FINISHES**

CODE	DESCRIPTION
RF01	STRAMIT SPEED DECK ULTRA CONCEALED FINING. COLORBOND FINISH 'BASALT'

NOTE:  
 ROOFING TO COMPLY WITH PROVISIONS OF NCC 3.5.1.3.  
 ROOF DRAINAGE & DOWNPIPES IN ACCORDANCE WITH NCC 3.5.3.5.

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
11/07/22		REVISED POOL BARRIER FENCING	06				
29/07/22		ISSUED FOR BUILDING APPROVAL	07				

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Location

**03**  
DA201

Suite 30, 2 King Street Deakin  
 Canberra ACT 2600  
 +61 6162 0735  
 e: carberra@turcoassociates.com.au  
 w: turcoassociates.com.au

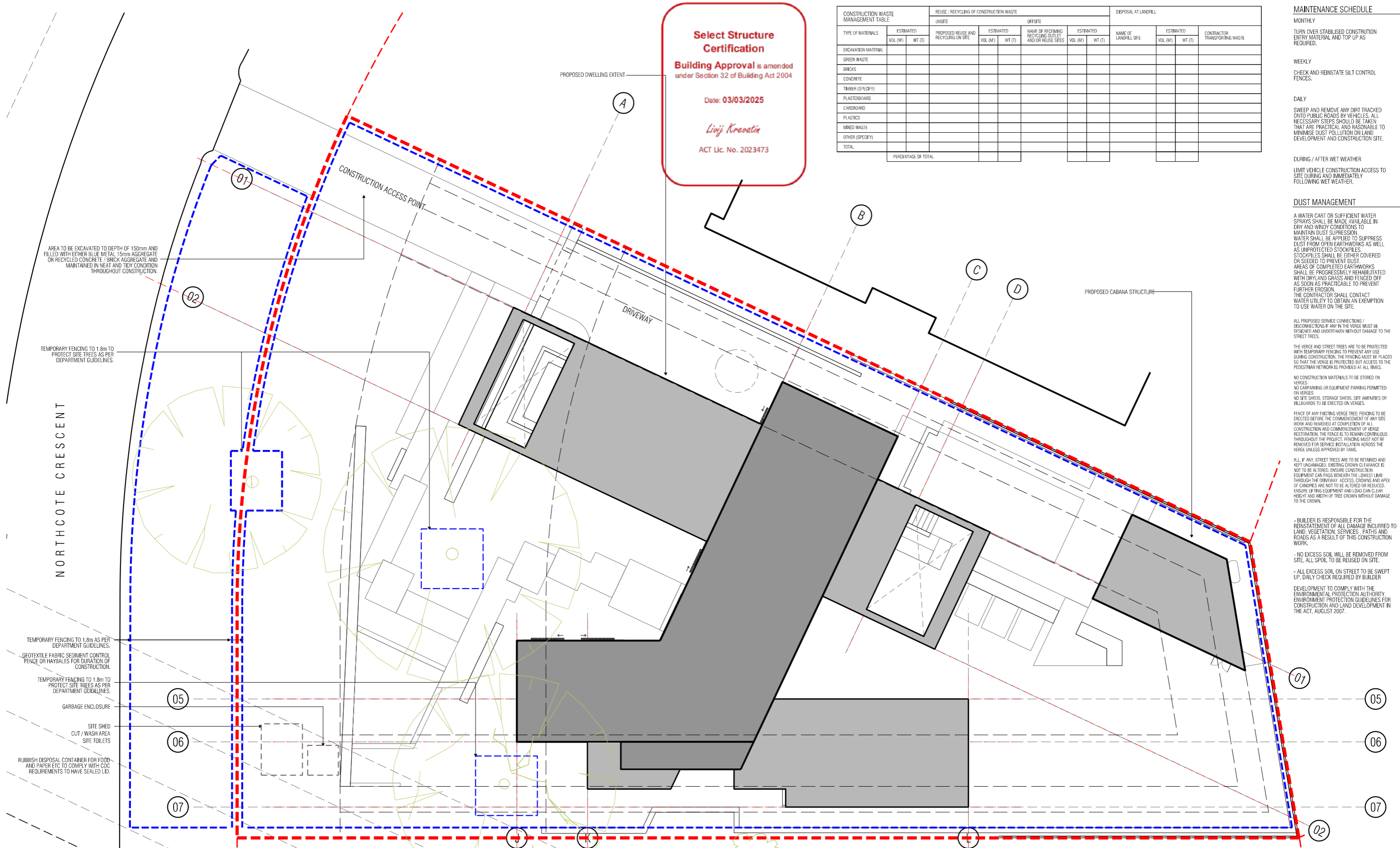
turco and associates  
 Page 51 of 133

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-

NOTE:  
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PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN
GENERAL NOTES:		
DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF SHOP DRAWINGS OR CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECT/ENGINEER/DRAWN PRIOR TO THE COMMENCEMENT OF WORK.		

DRAWING TITLE		
FLOOR PLANS		
ROOF		
SCALE	DRAWN	CHECKED
1:100 @A1	MP	MT
1:200 @A3		
JOB NO.	DATE	
TA2056	29/07/2022	
STATUS	DRAWING NO.	REVISION
WD	A103	07



**Select Structure Certification**  
**Building Approval is amended**  
**under Section 32 of Building Act 2004**

Date: 03/03/2025

*Livij Krcovatin*

ACT Lic. No. 2023473

CONSTRUCTION WASTE MANAGEMENT TABLE	REUSE / RECYCLING OF CONSTRUCTION WASTE						DISPOSAL AT LANDFILL		
	ESTIMATED		ON SITE		OFF SITE		ESTIMATED		CONTRACTOR TRANSPORTING WASTE
	VOL (M <sup>3</sup> )	WT (T)	PROPOSED REUSE AND RECYCLING ON SITE	ESTIMATED VOL (M <sup>3</sup> )	WT (T)	NAME OF RECEIVING RECYCLING OUTLET AND/OR REUSE SITES	VOL (M <sup>3</sup> )	WT (T)	
EXCAVATION MATERIAL									
GREEN WASTE									
BRICKS									
CONCRETE									
TIMBER (SPECIFY)									
PLASTERBOARD									
CARDBOARD									
PLASTICS									
MIXED WASTE									
OTHER (SPECIFY)									
TOTAL									
PERCENTAGE OF TOTAL									

**MAINTENANCE SCHEDULE**

**MONTHLY**  
 TURN OVER STABILISED CONSTRUCTION ENTRY MATERIAL AND TOP UP AS REQUIRED.

**WEEKLY**  
 CHECK AND REINSTATE SILT CONTROL FENCES.

**DAILY**  
 SWEEP AND REMOVE ANY DIRT TRACKED ONTO PUBLIC ROADS BY VEHICLES. ALL NECESSARY STEPS SHOULD BE TAKEN THAT ARE PRACTICAL AND REASONABLE TO MINIMISE DUST POLLUTION ON LAND DEVELOPMENT AND CONSTRUCTION SITE.

**DURING / AFTER WET WEATHER**  
 LIMIT VEHICLE CONSTRUCTION ACCESS TO SITE DURING AND IMMEDIATELY FOLLOWING WET WEATHER.

**DUST MANAGEMENT**

A WATER CART OR SUFFICIENT WATER SPRAYS SHALL BE MADE AVAILABLE IN DRY AND WINDY CONDITIONS TO MAINTAIN DUST SUPPRESSION. WATER SHALL BE APPLIED TO SUPPRESS DUST FROM OPEN EARTHWORKS AS WELL AS UNPROTECTED STOCKPILES. STOCKPILES SHALL BE EITHER COVERED OR SEEDED TO PREVENT DUST. AREAS OF COMPLETED EARTHWORKS SHALL BE PROGRESSIVELY REHABILITATED WITH DRYLAND GRASS AND FENCED OFF AS SOON AS PRACTICABLE TO PREVENT FURTHER EROSION. THE CONTRACTOR SHALL CONTACT WATER UTILITY TO OBTAIN AN EXEMPTION TO USE WATER ON THE SITE.

ALL PROPOSED SERVICE CONNECTIONS / DISCONNECTIONS IF ANY IN THE VERGE MUST BE DESIGNED AND UNDERTAKEN WITH-OUT DAMAGE TO THE STREET TREES.

THE VERGE AND STREET TREES ARE TO BE PROTECTED WITH TEMPORARY FENCING TO PREVENT ANY USE DURING CONSTRUCTION. THE FENCING MUST BE PLACED SO THAT THE VERGE IS PROTECTED BUT ACCESS TO THE PEDESTRIAN NETWORK IS PROVIDED AT ALL TIMES.

NO CONSTRUCTION MATERIALS TO BE STORED ON VERGES.  
 NO CARPARKING OR EQUIPMENT PARKING PERMITTED ON VERGES.  
 NO SITE SHEDS, STORAGE SHEDS, SITE AMENITIES OR BELLSHEDS TO BE ERRECTED ON VERGES.

FENCE OF ANY EXISTING VERGE TREE FENCING TO BE ERRECTED BEFORE THE COMMENCEMENT OF ANY SITE WORK AND REMOVED AT COMPLETION OF ALL CONSTRUCTION AND COMMENCEMENT OF VERGE RESTORATION. THE FENCE IS TO REMAIN CONTINUOUS THROUGHOUT THE PROJECT. FENCING MUST NOT BE REMOVED FOR SERVICE INSTALLATION ACROSS THE VERGE UNLESS APPROVED BY TAMS.

ALL IF ANY STREET TREES ARE TO BE RETAINED AND KEPT UNLADAMAGED. EXISTING CROWN CLEARANCE IS NOT TO BE ALTERED. ENSURE CONSTRUCTION EQUIPMENT CAN PASS BENEATH THE LOWEST LIMB THROUGH THE DRIVEWAY ACCESS. CROWNS AND APEX OF CANOPIES ARE NOT TO BE ALTERED OR REDUCED. ENSURE LIMBS EQUIPMENT AND LOAD CAN CLEAR HEIGHT AND WIDTH OF TREE CROWN WITHOUT DAMAGE TO THE CROWN.

- BUILDER IS RESPONSIBLE FOR THE REINSTATEMENT OF ALL DAMAGE INCURRED TO LAND, VEGETATION, SERVICES, PATHS AND ROADS AS A RESULT OF THIS CONSTRUCTION WORK.

- NO EXCESS SOIL WILL BE REMOVED FROM SITE, ALL SPOIL TO BE REUSED ON SITE.

- ALL EXCESS SOIL ON STREET TO BE SWEEP UP, DAILY CHECK REQUIRED BY BUILDER

DEVELOPMENT TO COMPLY WITH THE ENVIRONMENTAL PROTECTION AUTHORITY ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, AUGUST 2007.

AREA TO BE EXCAVATED TO DEPTH OF 150mm AND FILLED WITH EITHER BLUE METAL 15mm AGGREGATE OR RECYCLED CONCRETE / BRICK AGGREGATE AND MAINTAINED IN NEAT AND TIDY CONDITION THROUGHOUT CONSTRUCTION.

TEMPORARY FENCING TO 1.8m TO PROTECT SITE TREES AS PER DEPARTMENT GUIDELINES.

TEMPORARY FENCING TO 1.8m AS PER DEPARTMENT GUIDELINES.

GEOTEXTILE FABRIC SEDIMENT CONTROL FENCE OR HAYBALES FOR DURATION OF CONSTRUCTION.

TEMPORARY FENCING TO 1.8m TO PROTECT SITE TREES AS PER DEPARTMENT GUIDELINES.

GARBAGE ENCLOSURE

SITE SHED CUT / WASH AREA SITE TOILETS

RUBBISH DISPOSAL CONTAINER FOR FOOD AND PAPER ETC TO COMPLY WITH CDC REQUIREMENTS TO HAVE SEALED LID.

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
29/11/22		ISSUED FOR BUILDING APPROVAL	REV.				

**CONSTRUCTION**  
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Location

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 Page 92 of 133

Suite 30, 2 King Street Deakin  
 Canberra ACT 2600  
 +61 6162 0735  
 e: canberra@turcoassociates.com.au  
 w: turcoassociates.com.au

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER

PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DMSION
11	09	DEAKIN
GENERAL NOTES:		
DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF SHOP DRAWINGS OR SETTING. ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECT/ENGINEER/DESIGNER PRIOR TO THE COMMENCEMENT OF WORK.		

DRAWING TITLE		
LMPP PLAN		
SCALE	DRAWN	CHECKED
1:100 @A1	MP	MT
1:200 @A3		
JOB NO.	DATE	
TA2056	29/07/2022	
STATUS	DRAWING NO.	REVISION
WD	A105	03

**Select Structure Certification**  
**Building Approval is amended**  
 under Section 32 of Building Act 2004

Date: **03/03/2025**

*Linzi Krovatin*

ACT Lic. No. 2023473

**LIGHTING LEGEND**

CODE	DESCRIPTION
DL1	DOWNLIGHT TYPE 1
DL2	DOWNLIGHT TYPE 2
DL3	DOWNLIGHT TYPE 3 (EXTERNAL)
LS	LED STRIP LIGHT IN JOINERY - REFER TO JOINERY DETAILS
LC	LED STRIP LIGHT IN CEILING
LF	LED STRIP LIGHT IN FLOOR
PL1	PENDANT LIGHT TYPE 1
PL2	PENDANT LIGHT TYPE 2
WL1	WALL LIGHT TYPE 1
WL2	WALL LIGHT TYPE 2 (EXTERNAL)
WL3	WALL LIGHT TYPE 3 (EXTERNAL)
SL	SUGGESTED LOCATION FOR LAMP
s	WALL SWITCH
sd	WALL SWITCH WITH DIMMER
ss	WALL SWITCH WITH SENSOR
z	ZETR WALL SWITCH
zs	ZETR WALL SWITCH WITH DIMMER
z*	SENSOR LOCATION (TRC)

**ELECTRICAL LEGEND**

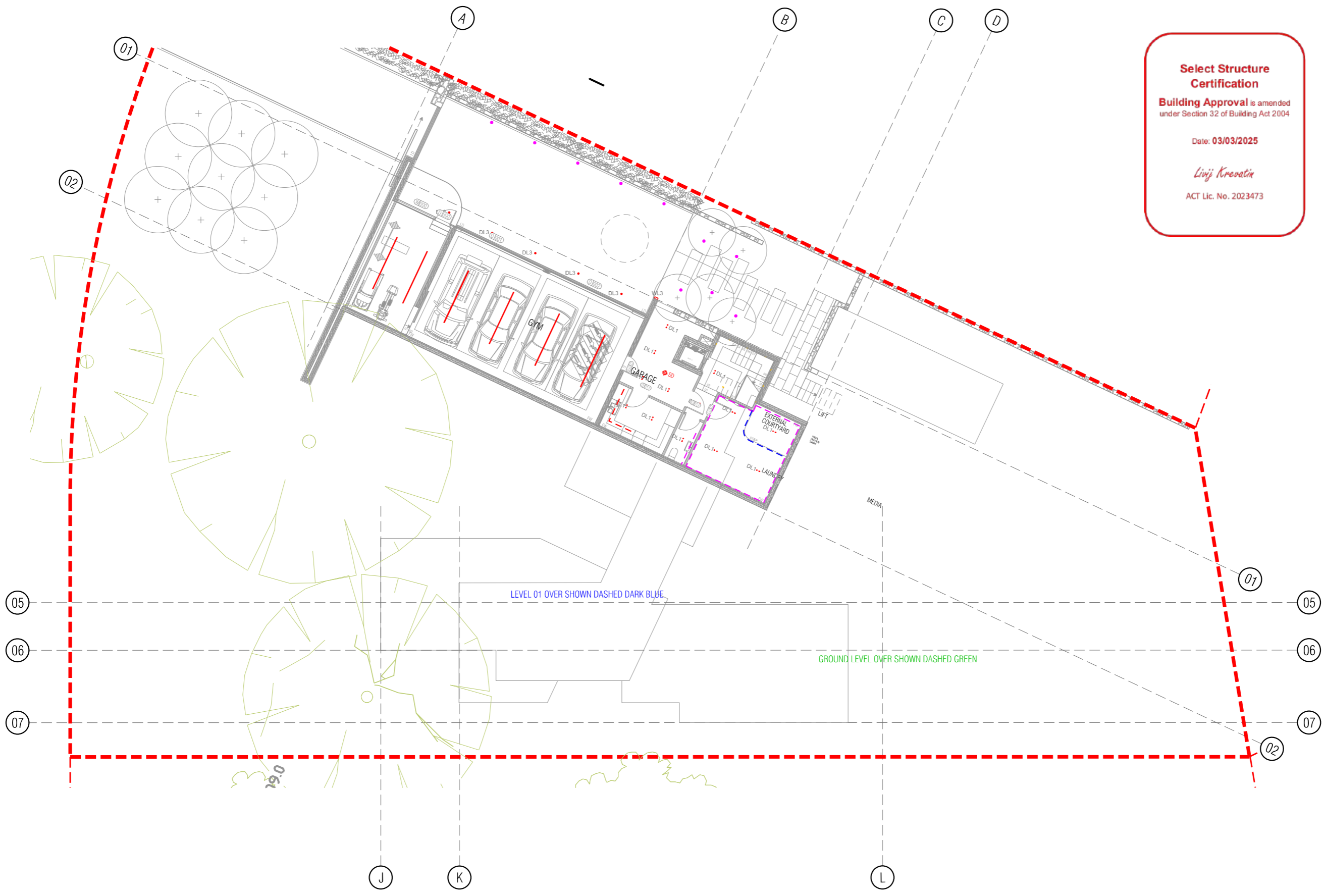
CODE	DESCRIPTION
GD	DOUBLE GPO - GENERAL USE
GPO	GPO - BUILT IN EQUIPMENT/APPLIANCE/TV
TPG	TPG GPO - GENERAL USE
SA	SMOKE ALARM AS3785 DOMESTIC TYPE-TO COMPLY WITH MCC 3.7.5

-REFER TO JOINERY AND INTERNAL ELEVATION DRAWINGS FOR FURTHER INFORMATION RELATING TO LIGHTING  
 -REFER TO SERVICES ENGINEER REGARDING REQUIREMENTS OF ALL CONCEALED SERVICES  
 -REFER TO ELEC ENGINEER DOCUMENTATION REGARDING ELEC COMMS REQUIREMENTS, PRODUCT SELECTION, SWITCHING  
 -ALL LIGHT GLIDES TO BE WARM WHITE WHERE POSSIBLE  
 -EXTERNAL LIGHTING AND ELECTRICAL INSTALLATIONS INSTALLED TO AUSTRALIAN STANDARDS  
 -FUSES TO HAVE REQUIRED WATER AND GPOs  
 -OVENS TO HAVE REQUIRED GAS AND GPOs

**LANDSCAPE LIGHTING LEGEND**

CODE	DESCRIPTION
AL	ACCENT UP LIGHT
PL	PATH LIGHT LINEAR
SL	STRIP LIGHTS UNDER STEPEDEGE
EL	EXTERNAL WALL LIGHTS

-ALL LANDSCAPE LIGHTING IS ON SUNSET SENSOR / TIMER



DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
29/07/22		ISSUED FOR BUILDING APPROVAL	04				

**CONSTRUCTION**

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Location

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Suite 30, 2 King Street Deakin  
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 +61 6162 0735  
 e: canberra@turcoassociates.com.au  
 w: turcoassociates.com.au

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

NOTE:  
 ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REGULATIONS. CARRY OUT ALL WORK IN THE BEST AND TRADESMAN LIKE MANNER AND TO THE SATISFACTION OF THE SUPERINTENDENT.  
 ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED

PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIMSION
11	09	DEAKIN

GENERAL NOTES:  
 DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF SHOP DRAWINGS OR FABRICATION. ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECT/ENGINEER/DESIGNER PRIOR TO THE COMMENCEMENT OF WORK.

DRAWING TITLE		
REFLECTED CEILING PLAN BASEMENT		
SCALE	DRAWN	CHECKED
1:100 @A1	MP	MT
1:200 @A3		
JOB NO.	DATE	
TA2056	29/07/2022	
STATUS	DRAWING NO.	REVISION
WD	A120	04

**Select Structure Certification**  
**Building Approval is amended**  
 under Section 32 of Building Act 2004

Date: 03/03/2025

*Linji Krevatin*

ACT Lic. No. 2023473

**LIGHTING LEGEND**

CODE	DESCRIPTION
DL1	DOWNLIGHT TYPE 1
DL2	DOWNLIGHT TYPE 2
DL3	DOWNLIGHT TYPE 3 (EXTERNAL)
LS	LED STRIP LIGHT IN JOINERY - REFER TO JOINERY DETAILS
LC	LED STRIP LIGHT IN CEILING
LF	LED STRIP LIGHT IN FLOOR
PL1	PENDANT LIGHT TYPE 1
PL2	PENDANT LIGHT TYPE 2
WL1	WALL LIGHT TYPE 1
WL2	WALL LIGHT TYPE 2 (EXTERNAL)
WL3	WALL LIGHT TYPE 3 (EXTERNAL)
SL	SUGGESTED LOCATION FOR LAMP
S	WALL SWITCH
SD	WALL SWITCH WITH DIMMER
SS	WALL SWITCH WITH SENSOR
Z	ZETR WALL SWITCH
ZS	ZETR WALL SWITCH WITH DIMMER
SL*	SENSOR LOCATION (TBC)

**ELECTRICAL LEGEND**

CODE	DESCRIPTION
DB	DOUBLE GPO - GENERAL USE
GPO	GPO - BUILT IN EQUIPMENT/APPLIANCE/TV
SGPO	SGPO - GENERAL USE
SA	SMOKE ALARM AS3785 DOMESTIC TYPE TO COMPLY WITH MCC 3.7.5

- REFER TO JOINERY AND INTERNAL ELEVATION DRAWINGS FOR FURTHER INFORMATION RELATING TO LIGHTING  
 - REFER TO SERVICES ENGINEER REGARDING REQUIREMENTS OF ALL CONCEALED SERVICES  
 - REFER TO E.P.C. ENGINEER DOCUMENTATION REGARDING ELECTRICALS REQUIREMENTS, PRODUCT SELECTION, SWITCHING  
 - ALL LIGHT FIXTURES TO BE WARM WHITE WHERE POSSIBLE  
 - EXTERNAL LIGHTING AND ELECTRICAL INSTALLATIONS INSTALLED TO AUSTRALIAN STANDARDS  
 - FIXTURES TO HAVE REQUIRED WATER AND GPO'S  
 - OVENS TO HAVE REQUIRED GAS AND GPO'S

**LANDSCAPE LIGHTING LEGEND**

CODE	DESCRIPTION
AL	ACCENT UP LIGHT
PL	PATH LIGHT LINEAR
SL	STRIP LIGHTS UNDER STEPPEDGE
EL	EXTERNAL WALL LIGHTS

- ALL LANDSCAPE LIGHTING IS ON SUNSET SENSOR / TIMER



DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
29/07/22		ISSUED FOR BUILDING APPROVAL	04				

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Page 94 of 133

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-

NOTE:  
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PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN

DRAWING TITLE		
REFLECTED CEILING PLAN GROUND PLAN		
SCALE	DRAWN	CHECKED
1:100 @A1	MP	MT
1:200 @A3		
JOB NO.	DATE	
TA2056	29/07/2022	
STATUS	DRAWING NO.	REVISION
WD	A121	04

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**Select Structure Certification**  
**Building Approval is amended**  
 under Section 32 of Building Act 2004

Date: **03/03/2025**

*Linj Kroatin*

ACT Lic. No. 2023473

**LIGHTING LEGEND**

CODE	DESCRIPTION
DL1	DOWNLIGHT TYPE 1
DL2	DOWNLIGHT TYPE 2
DL3	DOWNLIGHT TYPE 3 (EXTERNAL)
LS	LED STRIP LIGHT IN JOINERY - REFER TO JOINERY DETAILS
LC	LED STRIP LIGHT IN CEILING
LF	LED STRIP LIGHT IN FLOOR
PL1	PENDANT LIGHT TYPE 1
PL2	PENDANT LIGHT TYPE 2
WL1	WALL LIGHT TYPE 1
WL2	WALL LIGHT TYPE 2 (EXTERNAL)
WL3	WALL LIGHT TYPE 3 (EXTERNAL)
SL	SUGGESTED LOCATION FOR LAMP
s	WALL SWITCH
sd	WALL SWITCH WITH DIMMER
ss	WALL SWITCH WITH SENSOR
z	ZETR WALL SWITCH
zs	ZETR WALL SWITCH WITH DIMMER
SL	SENSOR LOCATION (TBC)

**ELECTRICAL LEGEND**

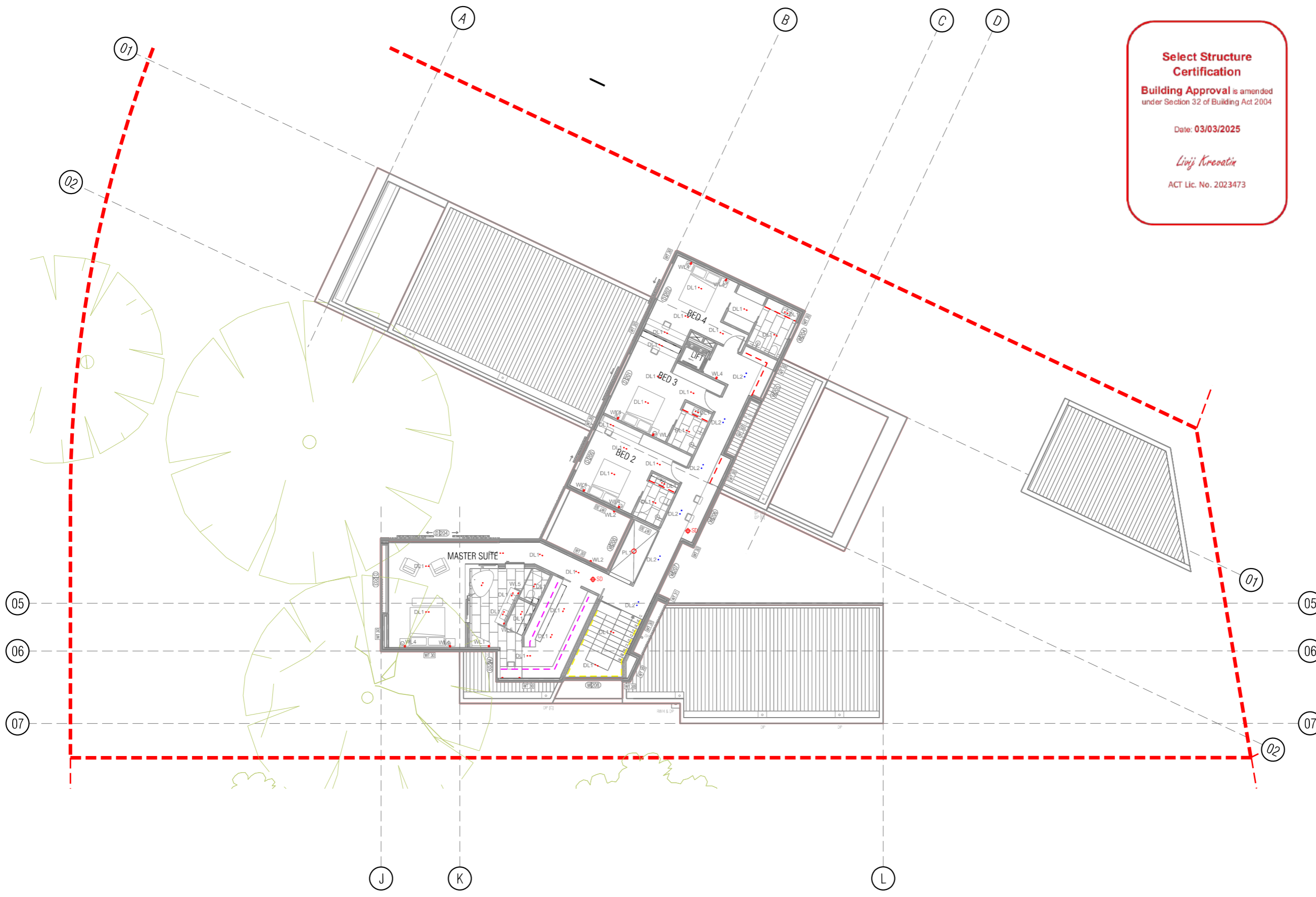
CODE	DESCRIPTION
GP	DOUBLE GPO - GENERAL USE
GPO	BUILT IN EQUIPMENT APPLIANCE TV
TPG	TPG GPO - GENERAL USE
SD	SMOKE ALARM ASSTR0 DOMESTIC TYPE TO COMPLY WITH MCC 3.7.5

-REFER TO JOINERY AND INTERNAL ELEVATION DRAWINGS FOR FURTHER INFORMATION RELATING TO LIGHTING  
 -REFER TO SERVICES ENGINEER REGARDING REQUIREMENTS OF ALL CONCEALED SERVICES  
 -REFER TO ELEC ENGINEER DOCUMENTATION REGARDING ELEC COMMS REQUIREMENTS, PRODUCT SELECTION, SWITCHING  
 -ALL LIGHT GLAZES TO BE WIPER WIPER WHERE POSSIBLE  
 -EXTERNAL LIGHTING AND ELECTRICAL INSTALLATIONS INSTALLED TO AUSTRALIAN STANDARDS  
 -FIBRES TO HAVE REQUIRED WATER AND GPOs  
 -OVENS TO HAVE REQUIRED GAS AND GPOs

**LANDSCAPE LIGHTING LEGEND**

CODE	DESCRIPTION
AL	ACCENT UP LIGHT
PL	PATH LIGHT LINEAR
SL	STRIP LIGHTS UNDER STEPEDEGE
EL	EXTERNAL WALL LIGHTS

-ALL LANDSCAPE LIGHTING IS ON SUNSET SENSOR / TIMER



DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
29/07/22		ISSUED FOR BUILDING APPROVAL	04				

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 Page 95 of 135

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 w: turcoassociates.com.au

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

NOTE:  
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PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIMSION
11	09	DEAKIN

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DRAWING TITLE		
REFLECTED CEILING PLAN FIRST FLOOR		
SCALE	DRAWN	CHECKED
1:100 @A1	MP	MT
1:200 @A3		
JOB NO.	DATE	
TA2056	29/07/2022	
STATUS	DRAWING NO.	REVISION
WD	A122	04



**EXTERNAL WALL FINISHES**

CODE	DESCRIPTION
BL1	BALUSTADING TO COMPLY WITH NCC 3.9.2
BL2	GLASS BALUSTRADE PERIMETER FENCE
FN1	BATTEN FENCE AND GATE
FN2	GLASS POOL FENCE
FN3	TIMBER PALING BOUNDARY FENCING TO BE 1.8m IN ACCORDANCE TO AS1926.1. FINISH AS SPECIFIED.
LV.1	POWDERCOATED ALUMINUM WEATHER LOUVRE PANEL
LV.2	BASEMENT EXHAUST & INTAKE WEATHER LOUVRES
PT11	PAINT FINISH - TO MATCH WINDOW FRAME
RN1	RENDERED FINISH - NATURAL CONCRETE
RN2	TEXTURED RENDERED FINISH - MID GREY
SM1	DOMINION SHEET METAL CLADDING
STN	STONE CLADDING
TL11	TILE FINISH TO MATCH POOL SURROUND

**02** STREET ELEVATION  
1:100 @ A1

**EXTERNAL WALL CLADDING SYSTEM**  
Cladding system to be compliant and installed with all relevant provisions of:  
\*The National Construction Code;  
\*The Building Code of Australia;  
\*The Australian Standards;  
approved condition of use application, or any other application law or regulation.

**Select Structure Certification**  
Building Approval is amended under Section 32 of Building Act 2004

Date: 03/03/2025

*Livij Kreativ*  
ACT Lic. No. 2023473



**01** STREET ELEVATION  
1:100 @ A1

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
11/07/22		REVISED POOL BARRIER FENCING	02				
29/01/22		ISSUED FOR BUILDING APPROVAL	03				

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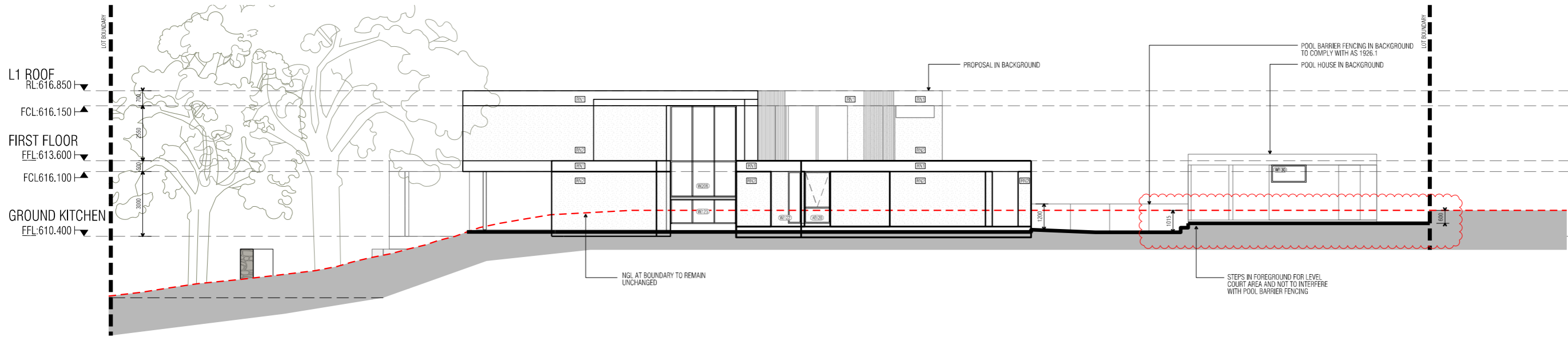
**turco and associates**  
Page 96 of 133

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

NOTE:  
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ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED

PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN
GENERAL NOTES:		
DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF SHOP DRAWINGS OR FABRICATION. ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECT/ENGINEER/DESIGNER PRIOR TO THE COMMENCEMENT OF WORK.		

DRAWING TITLE		
ELEVATIONS SHEET 01		
SCALE	DRAWN	CHECKED
1:100 @A1	MP	MT
1:200 @A3		
JOB NO.	DATE	
TA2056	29/07/2022	
STATUS	DRAWING NO.	REVISION
WD	A200	03



03 SOUTH ELEVATION  
1:100 @ A1

**EXTERNAL WALL CLADDING SYSTEM**  
 Cladding system to be compliant and installed with all relevant provisions of:  
 \*The National Construction Code;  
 \*The Building Code of Australia;  
 \*The Australian Standards;  
 approved condition of use application, or any other application law or regulation.

**EXTERNAL WALL FINISHES**

CODE	DESCRIPTION
BL1	BALUSTADING TO COMPLY WITH NCC 3.9.2
BL2	GLASS BALUSTRADE PERIMETER FRIED
FN1	BATTEN FENCE AND GATE
FN2	GLASS POOL FENCE
FN3	TIMBER PALING BOUNDARY FENCING TO BE 1.8m IN ACCORDANCE TO AS1926.1. FINISH AS SPECIFIED.
LVL 1	POWDERCOATED ALUMINIUM WEATHER LOUVRE PANEL
LVL 2	BASEMENT EXHAUST & INTAKE WEATHER LOUVRES
PT11	PAINT FINISH - TO MATCH WINDOW FRAME
RN1	RENDERED FINISH - NATURAL CONCRETE
RN2	TEXTURED RENDERED FINISH - MID GREY
SM1	DOMINION SHEET METAL CLADDING
STN	STONE CLADDING
TL11	TILE FINISH TO MATCH POOL SURROUND

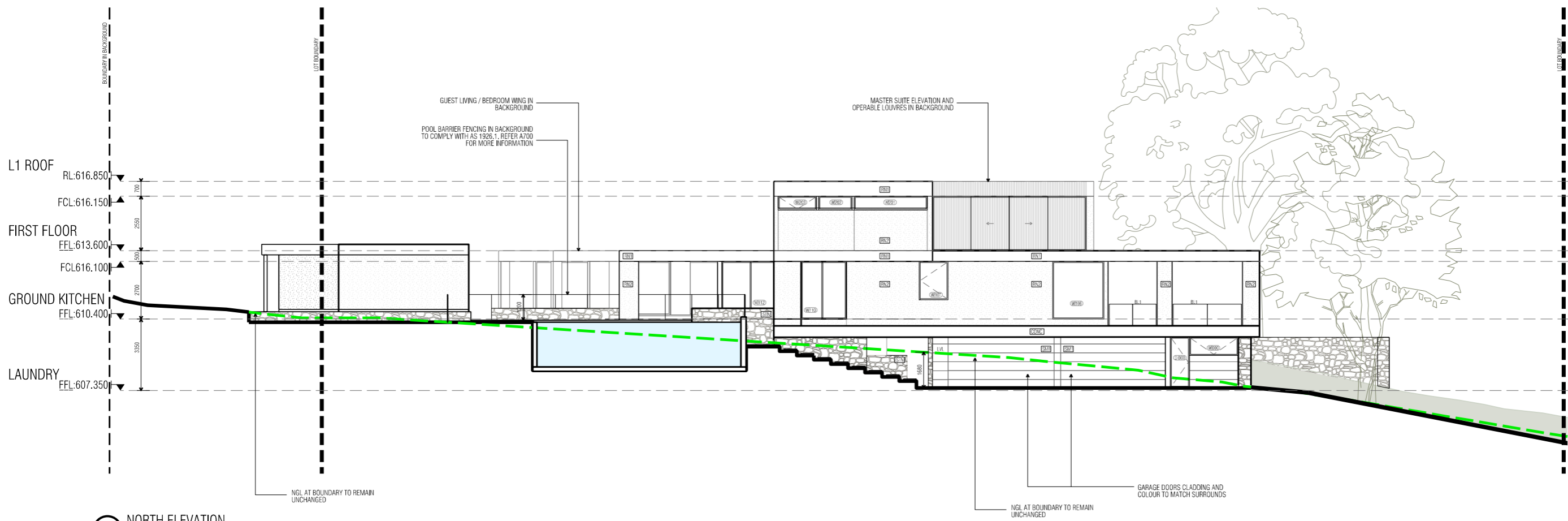
**Select Structure Certification**

**Building Approval is amended**  
under Section 32 of Building Act 2004

Date: **03/03/2025**

*Livij Kroatin*

ACT Lic. No. 2023473



04 NORTH ELEVATION  
1:100 @ A1

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
11/07/22		REVISED POOL BARRIER FENCING	02				
29/07/22		REVISED POOL HOUSE WINDOW	03				
29/07/22		ESUFED FOR BUILDING APPROVAL	03				
08/08/22		REVISED NOTES	04				

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Location

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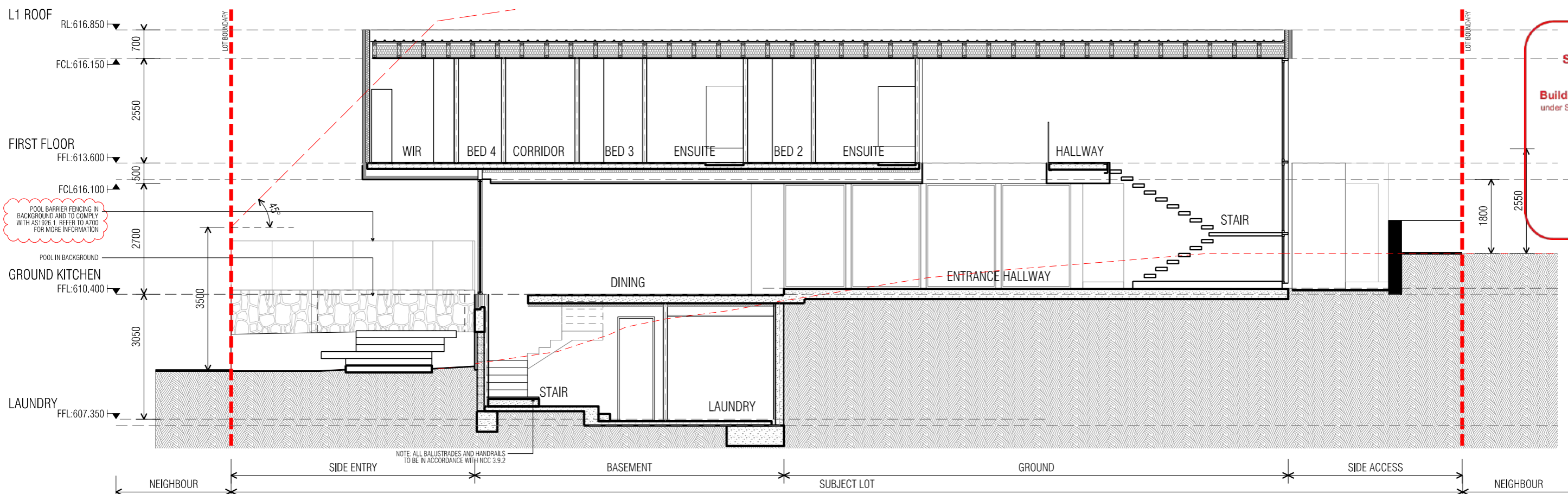
STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-

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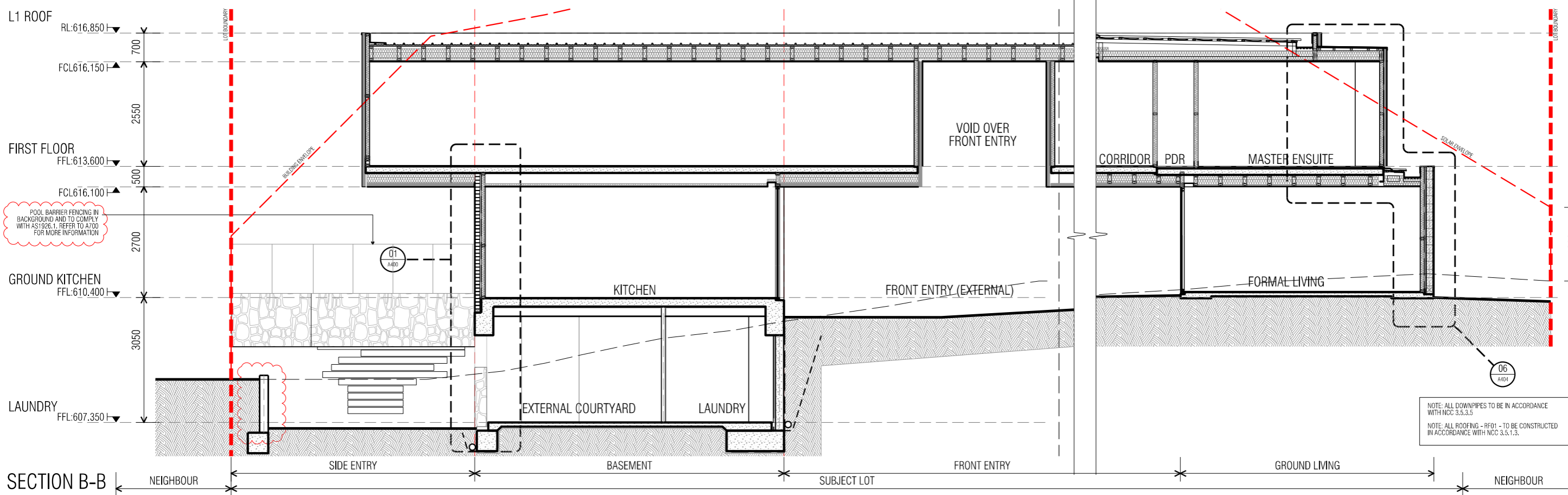
PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DMSION
11	09	DEAKIN

GENERAL NOTES:  
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 SHOP DRAWINGS OR FABRICATION. ANY DISCREPANCIES ARE TO BE  
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 COMMENCEMENT OF WORK.

DRAWING TITLE		
ELEVATIONS SHEET 02		
SCALE	DRAWN	CHECKED
1:100 @A1	MP	MT
1:200 @A3		
JOB NO.	DATE	
TA2056	08/08/2022	
STATUS	DRAWING NO.	REVISION
WD	A201	04



SECTION A-A



SECTION B-B

**Select Structure Certification**  
 Building Approval is amended under Section 32 of Building Act 2004  
 Date: 03/03/2025  
 Livij Kreativ  
 ACT Lic. No. 2023473

DATE	#I NO.	COMMENT	REV.	DATE	#I NO.	COMMENT	REV.
11/07/2022		REVISED POOL BARRIER FENCING	06				
29/07/2022		REVISED RETAINING WALL	07				
29/07/2022		ISSUED FOR BUILDING APPROVAL	07				

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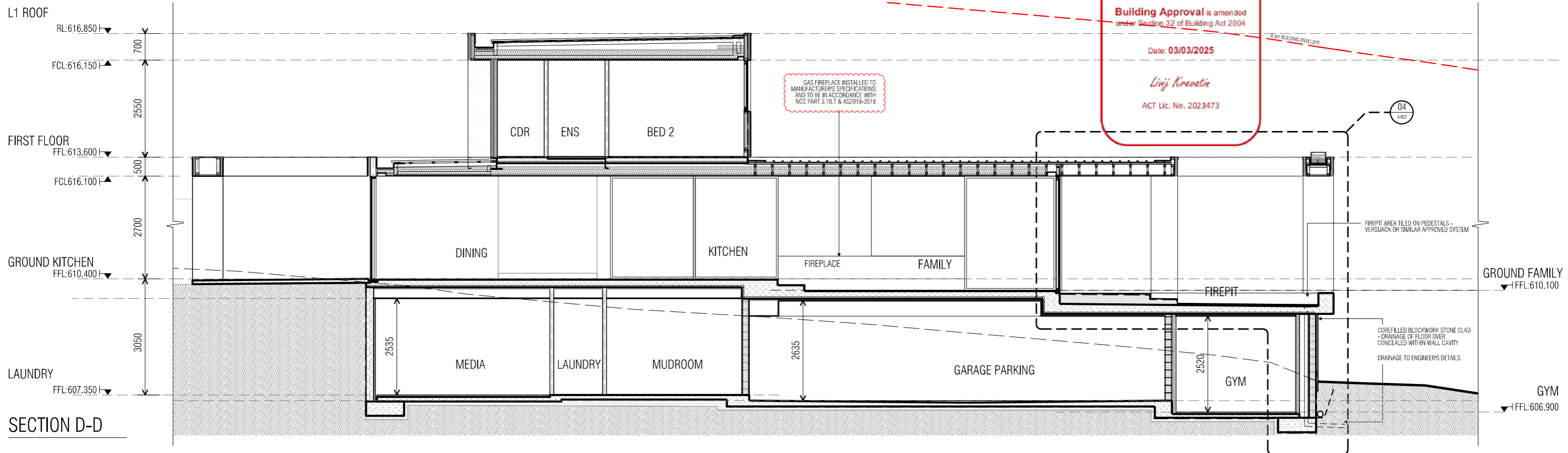
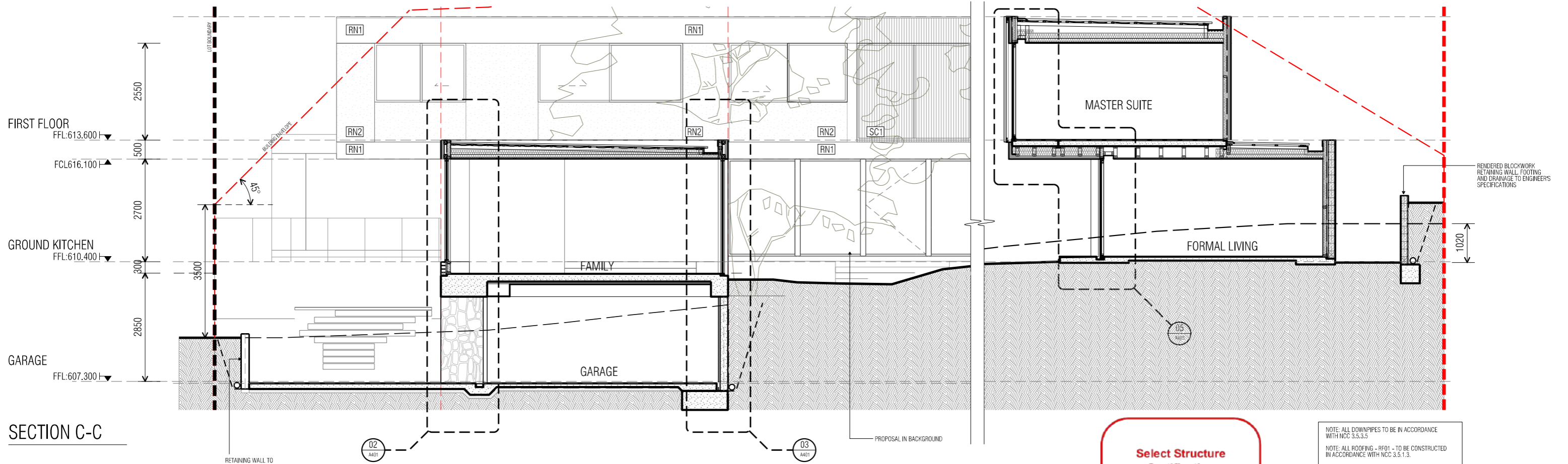
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 Page 98 of 133

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-

NOTE:  
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PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN
GENERAL NOTES:		
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DRAWING TITLE		
SECTIONS SECTION SHEET 01		
SCALE	DRAWN	CHECKED
1:50 @A1	MP	MT
1:100 @A3		
JOB NO.	DATE	
TA2056	29/07/2022	
STATUS	DRAWING NO.	REVISION
WD	A300	07



**Select Structure Certification**  
**Building Approval is amended**  
 under Section 32 of Building Act 2004  
 Date: 03/03/2025  
*Livij Krovatin*  
 ACT Lic. No. 2023473

NOTE: ALL DOWNPIPES TO BE IN ACCORDANCE WITH NCC 3.5.3.5  
 NOTE: ALL ROOFING - RF01 - TO BE CONSTRUCTED IN ACCORDANCE WITH NCC 3.5.1.3

GAS FIREPLACE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND TO BE IN ACCORDANCE WITH NCC PART 3.10.7 & AS2918-2018

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
29/07/2022		REVISED NOTES	06				
29/07/2022		ISSUED FOR BUILDING APPROVAL	06				

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 w: turcoassociates.com.au

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-

NOTE:  
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PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN
GENERAL NOTES:		
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DRAWING TITLE		
SECTIONS SECTION SHEET 02		
SCALE	DRAWN	CHECKED
1:50 @A1	MP	MT
1:100 @A3		
JOB NO.	DATE	
TA2056	29/07/2022	
STATUS	DRAWING NO.	REVISION
WD	A301	06



**GENERAL NOTES:**

- ALL SWING DOORS WITH 1200mm OF TOILET PAN TO HAVE LIFT OFF-HINGES.
- ALL LINER DRAINS TO HAVE A MINIMUM WATER HOLDING DEPTH OF 50mm WHERE 450mm STEP DOWN HAS NOT BEEN PROVIDED.
- ALL STAIRS / RAMP WATER HEADS ARE TO BE PROVIDED WITH AN OVERFLOW PROVISION.
- ROOFING TO COMPLY WITH PROVISIONS OF NCC 3.5.1.3.
- ROOF DRAINAGE & DOWNPIPS IN ACCORDANCE WITH NCC 3.5.3.5.
- ALL STAIRS TO HAVE A NON-SLIP RATING OF P3 OR R10 MINIMUM.
- GLAZING TO AS1288 & 2047.
- STAIRS TO BE BUILT IN ACCORDANCE WITH NCC 2019 PART 3.9.1.2.
- WET AREAS TO BE BUILT IN ACCORDANCE WITH NCC 2019 PART 3.8.1 - WET AREAS AND EXTERNAL WATERPROOFING TO BE DETECTED DIRECTLY TO THE OUTSIDE AREA VIA DUCTS.
- ALL WEAVER FRAMING TO COMPLY WITH THE PROVISIONS OF NCC 3.4.3.

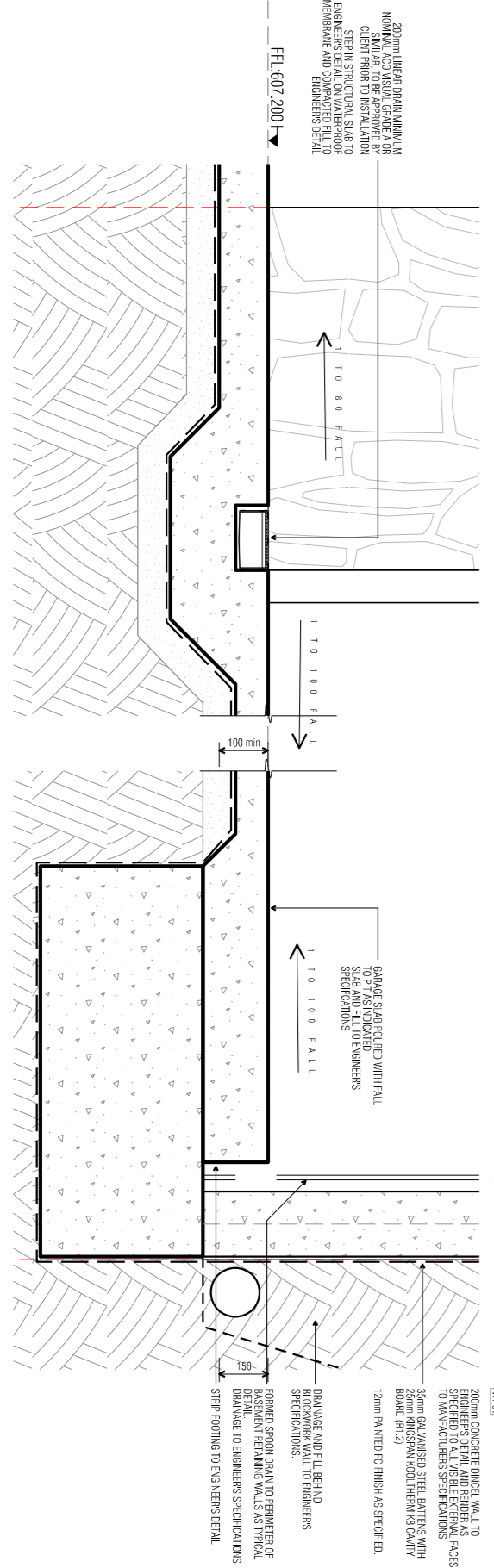
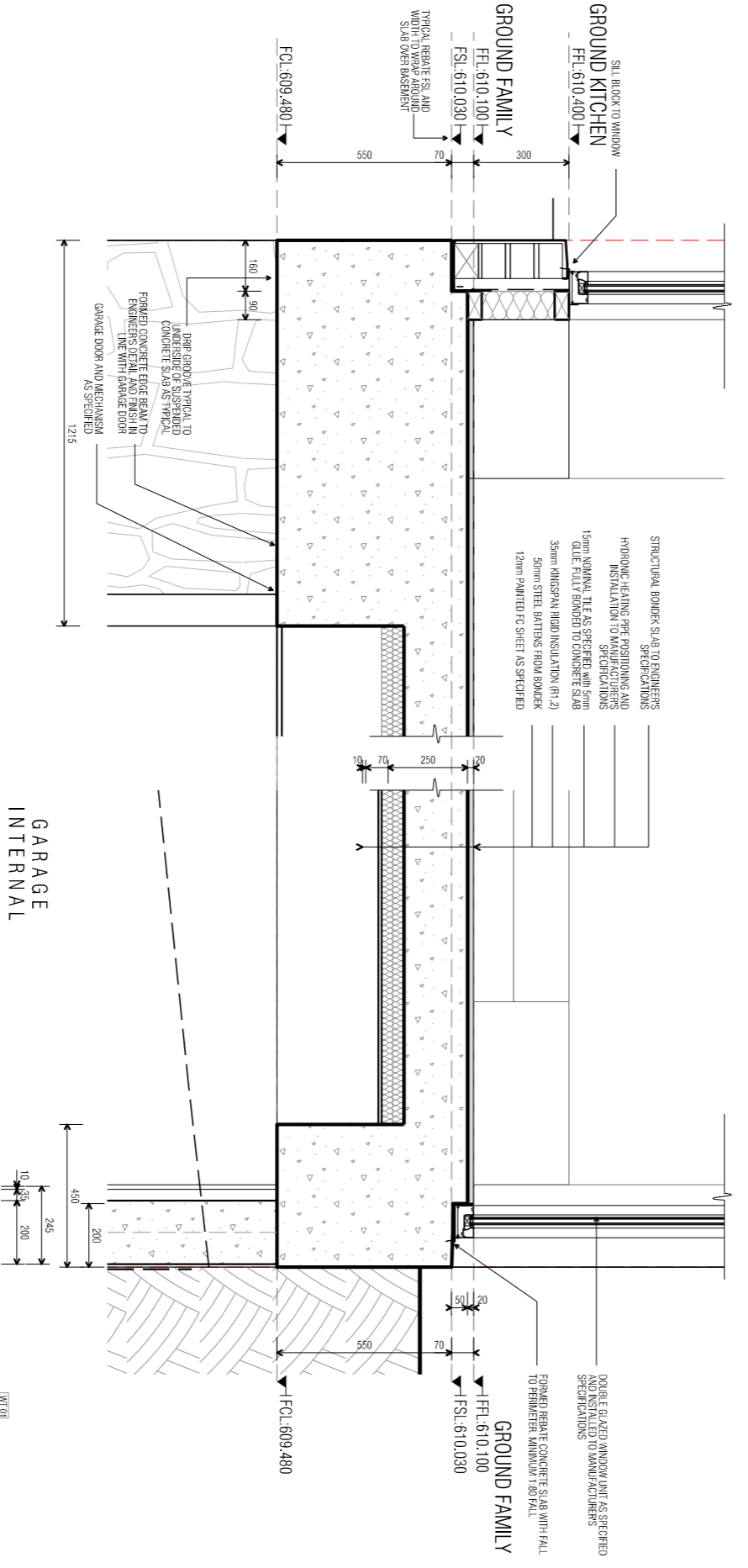
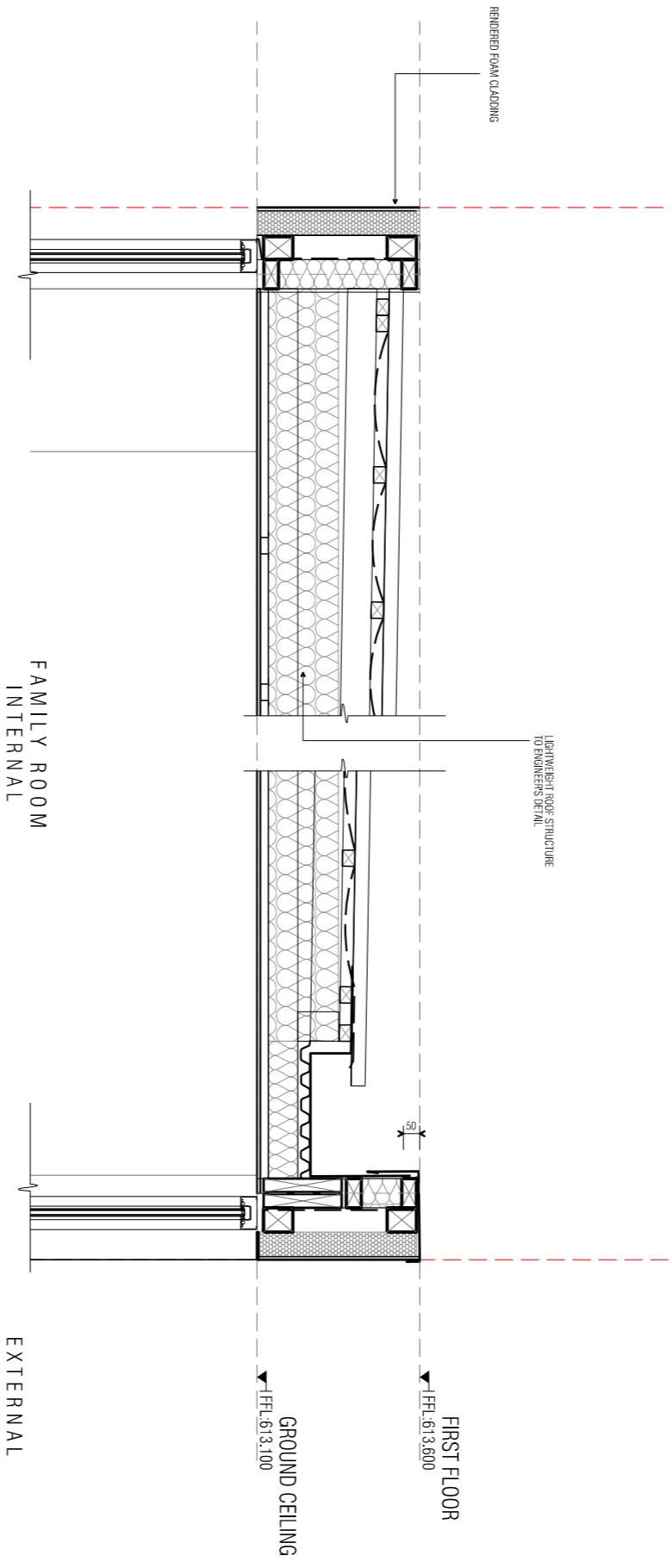
**Select Structure Certification**

**Building Approval is amended under Section 32 of Building Act 2004**

Date: **03/03/2025**

*Livij Kroatin*

ACT Lic. No. 2023473



02 GARAGE DOOR DETAIL  
301 1:10 @ A1

03 GARAGE TYPICAL RETAINING DETAIL  
301 1:10 @ A1

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
29/07/22		ISSUED FOR BUILDING APPROVAL	05				

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STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

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PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN
GENERAL NOTES:		
<small>DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF SITE WORKS OR CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECT/ENGINEER/DRAWN PRIOR TO THE COMMENCEMENT OF WORK.</small>		

DRAWING TITLE		
SECTION DETAILS		
SHEET 02		
SCALE	DRAWN	CHECKED
1:10 @A1	MP	MT
1:20 @A3		
JOB NO.	DATE	
TA2056	08.06.2022	
STATUS	DRAWING NO.	REVISION
WD	A401	05

**GENERAL NOTES**

- ALL SINK DOORS WITHIN 1200mm OF TOILET PAN TO HAVE LEFT OFF FINISHES.
- ALL LINER BEAMS TO HAVE A MINIMUM WATERPROOFING DEPTH OF 50mm WHERE A 50mm STEP DOWN HAS NOT BEEN PROVIDED.
- ALL SIMPS / PARTIERS HEADS ARE TO BE PROVIDED WITH AN OVER-LOW PROVISION.
- ROOFING TO COMPLY WITH PROVISIONS OF NCC 3.5.1.3.
- ROOF BRANAGE & DOWNPIPS IN ACCORDANCE WITH NCC 3.5.3.5.
- ALL STAIRS TO HAVE A NON-SLIP RATING OF P3 OR R10 MINIMUM.
- GLAZING TO AS1288 & 2047.
- STAIRS TO BE BUILT IN ACCORDANCE WITH NCC 2019 PART 3.8.1.2.
- WET AREAS TO BE BUILT IN ACCORDANCE WITH NCC 2019 PART 3.8.1 - WET AREAS AND EXTERNAL WATERPROOFING OUTSIDE AIR VENTS TO BE DETAIL DIRECTLY TO THE ALL TIE BAR FRAMING TO COMPLY WITH THE PROVISIONS OF NCC 3.4.3

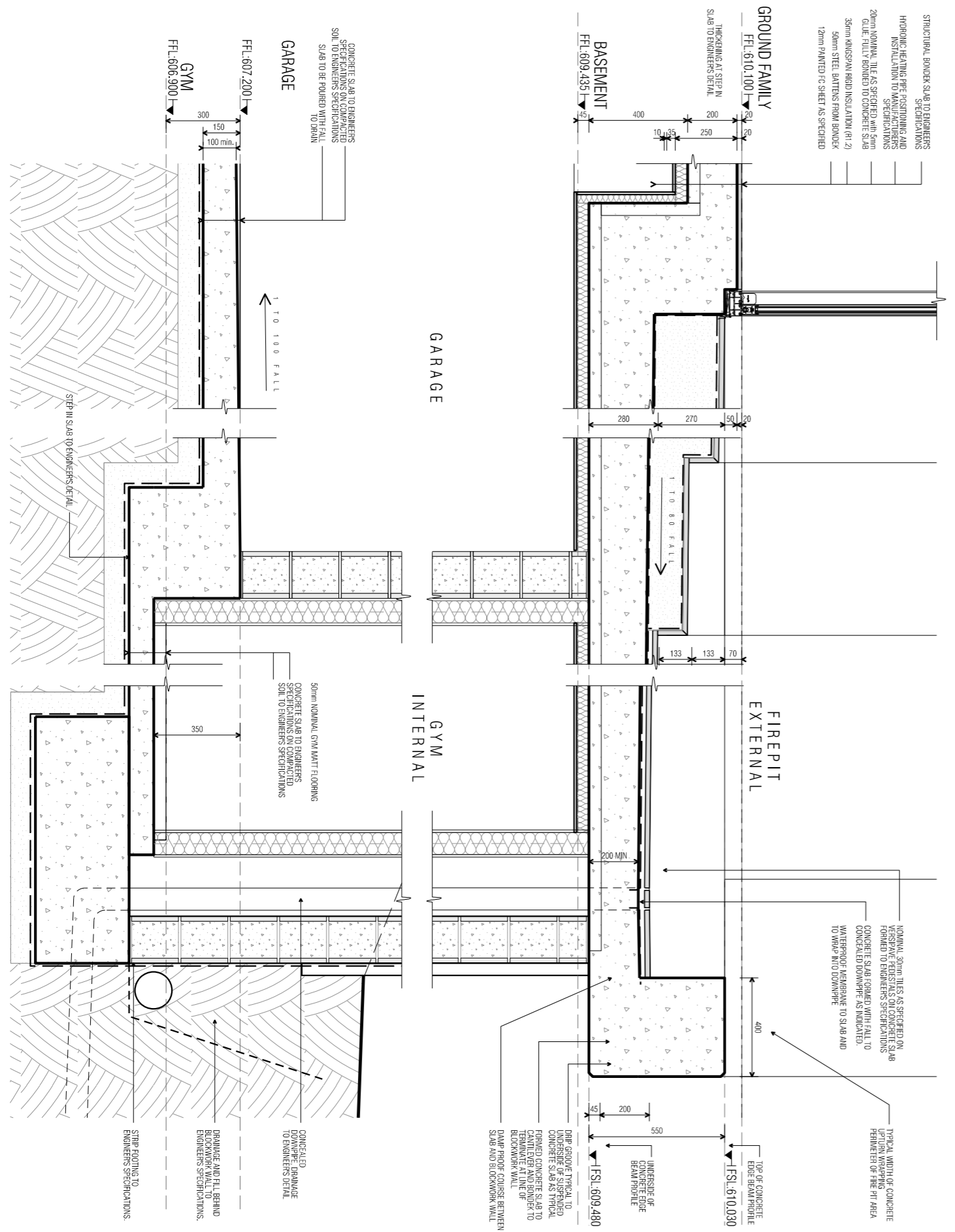
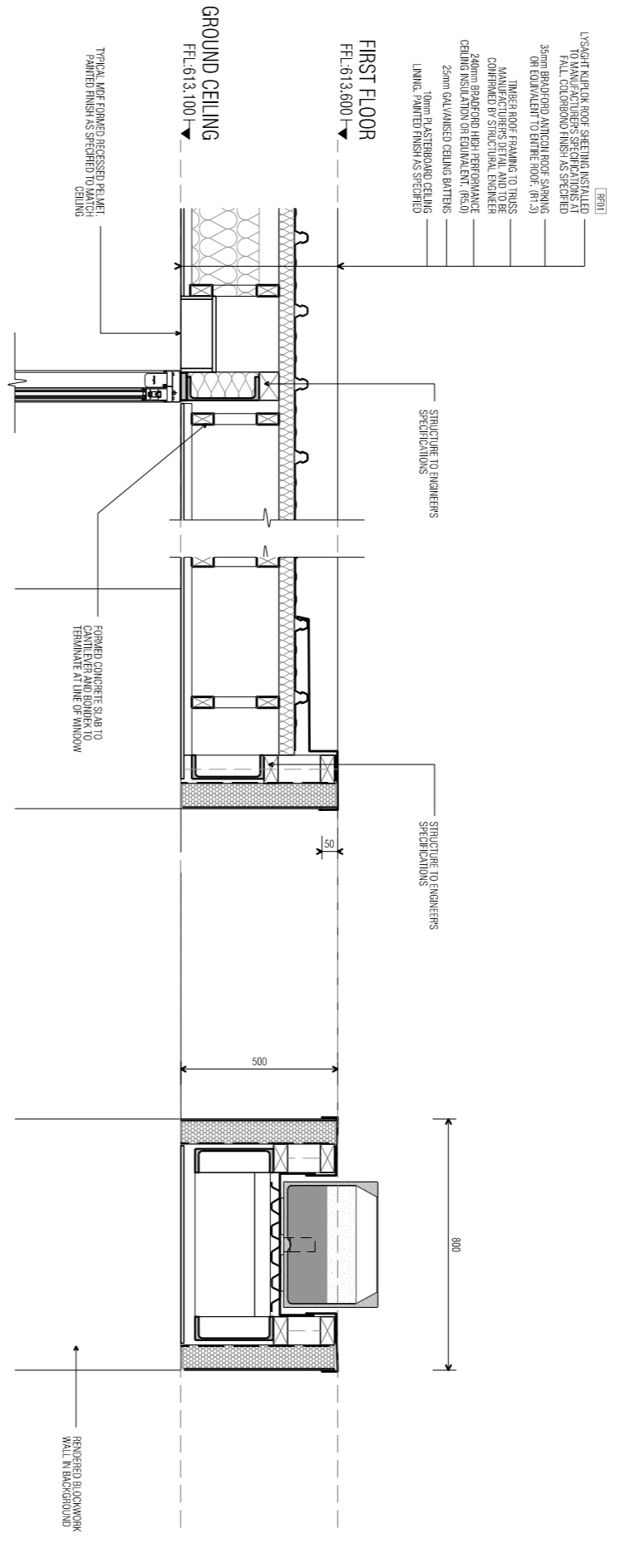
**Select Structure Certification**

**Building Approval** is amended under Section 32 of Building Act 2004

Date: **03/03/2025**

*Linzi Kroatin*

ACT Lic. No. 2023473



DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
29/07/22		ISSUED FOR BUILDING APPROVAL	05				

**CONSTRUCTION**

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 Canberra ACT 2600  
 +61 6162 0735  
 e. canberra@turcoassociates.com.au  
 w. turcoassociates.com.au

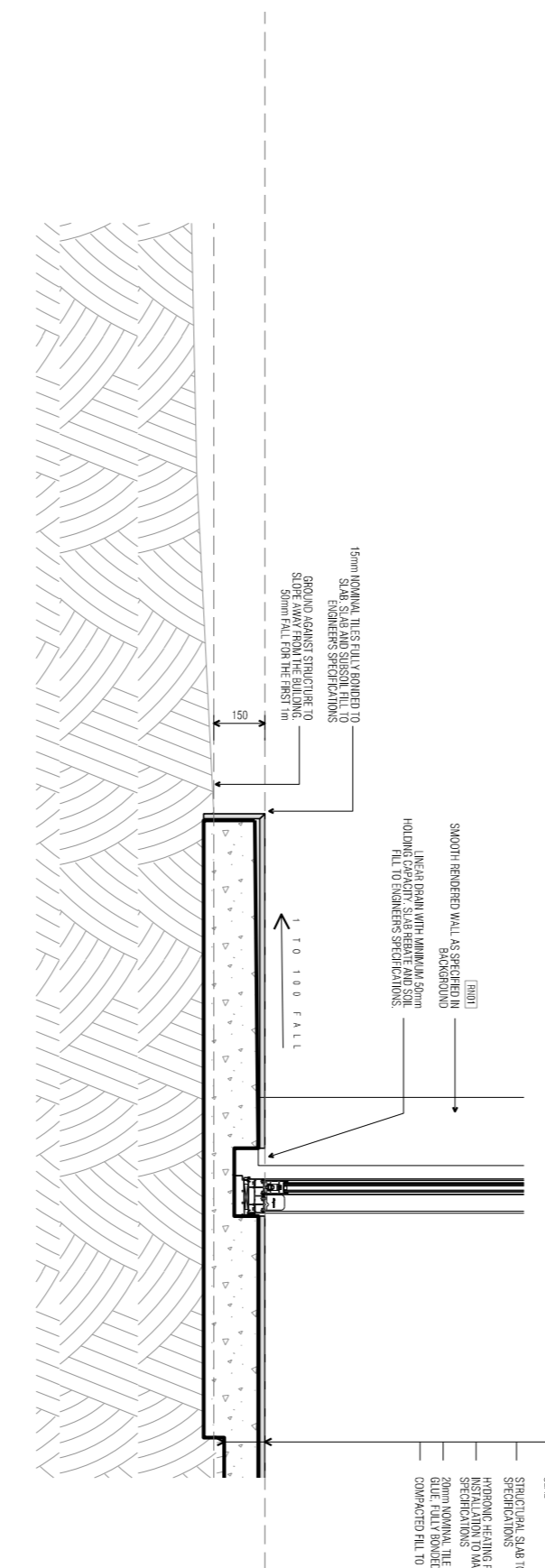
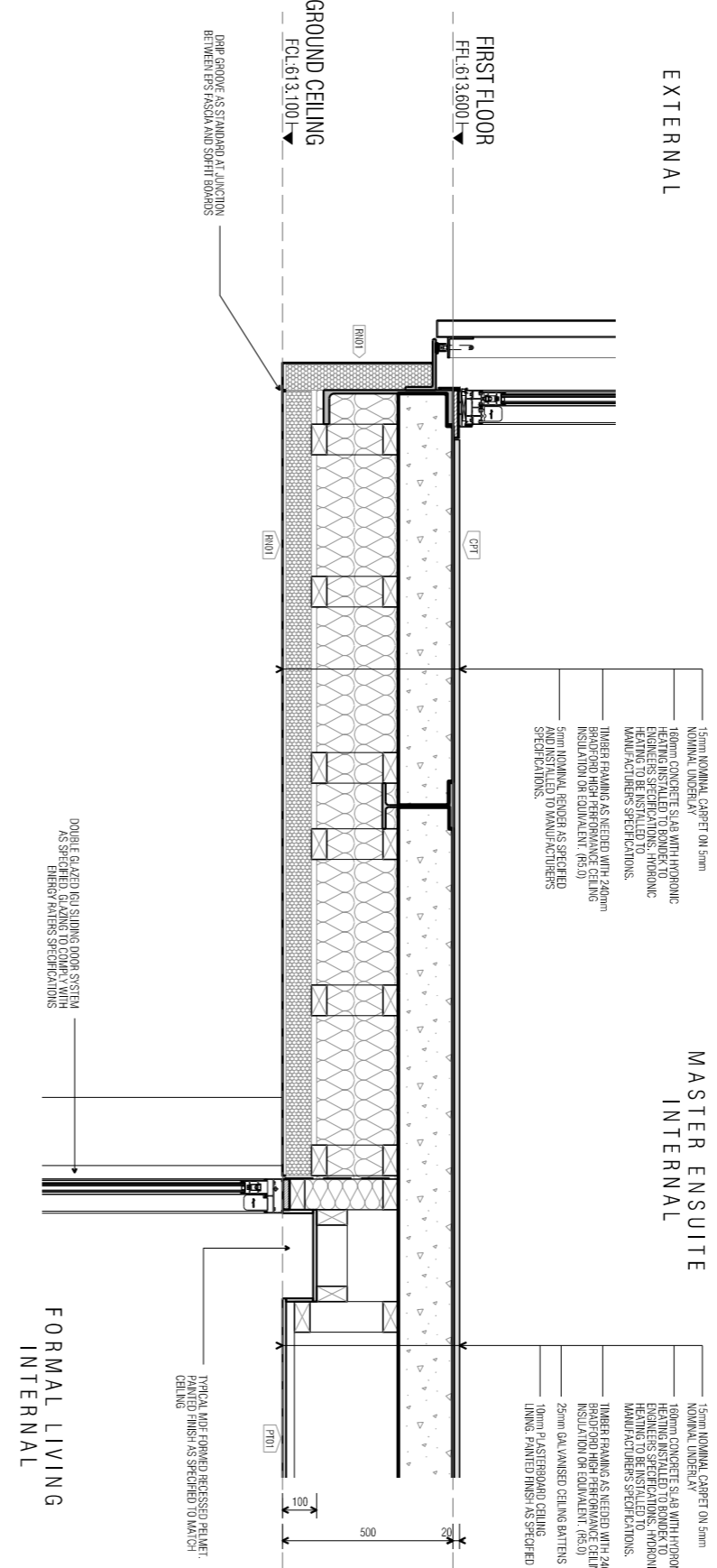
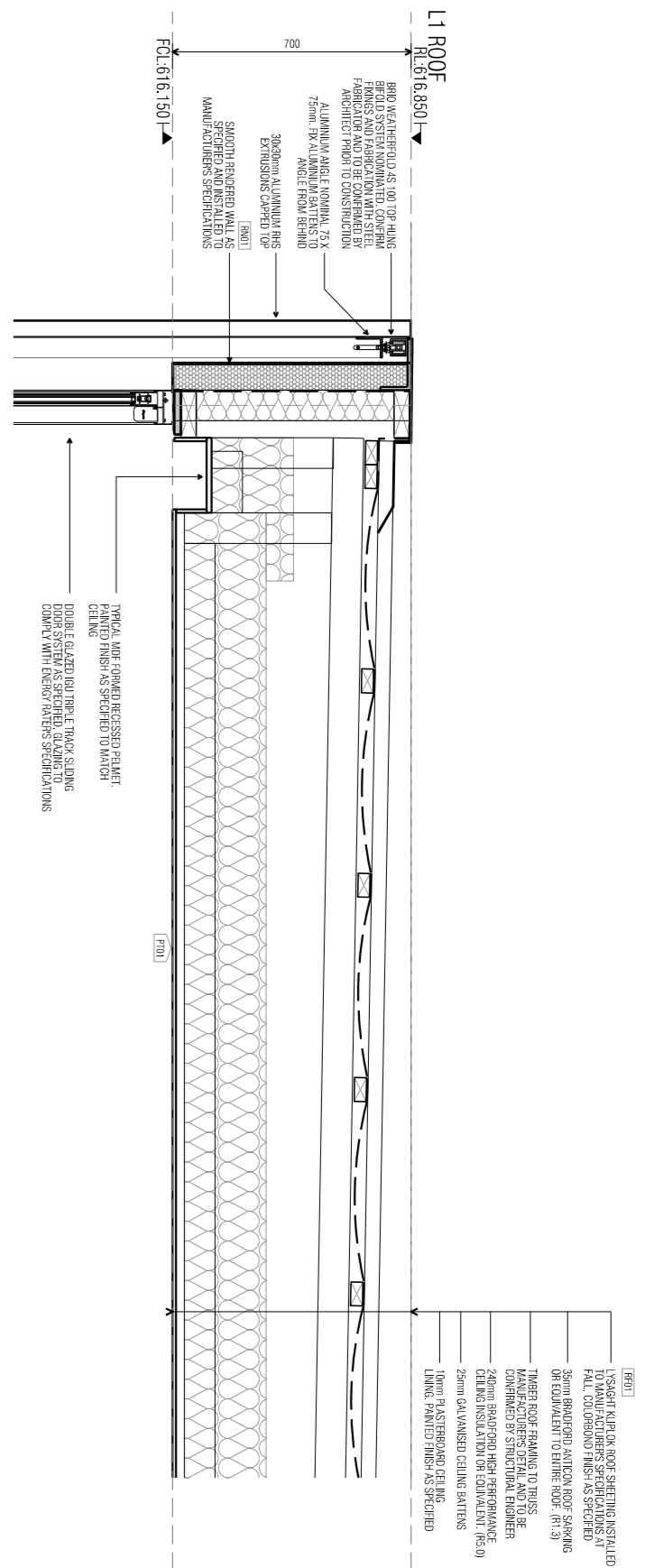
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-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

**NOTE:**  
 ALL WORK IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, THE SAULT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REGULATIONS. CAREY OUT ALL WORK IN THE BEST AND PRACTICAL MANNER AND TO THE SATISFACTION OF THE SUPERINTENDENT.  
 ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED

PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN
GENERAL NOTES:		
DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF SHOP DRAWINGS OR PROVISIONAL. ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECT/ENGINEER/DESIGNER PRIOR TO THE COMMENCEMENT OF WORK.		

DRAWING TITLE		
SECTION DETAILS		
SHEET 02		
SCALE	DRAWN	CHECKED
1:10 @A1	MP	MT
1:20 @A3		
JOB NO.	DATE	
TA2056	08.06.2022	
STATUS	DRAWING NO.	REVISION
WD	A402	05





**GENERAL NOTES:**

- ALL SINKING DOORS WITHIN 1200mm OF TOILET PAN TO HAVE LEFT OFF HINGES
- ALL LINER DRAINS TO HAVE A MINIMUM WATER HOLDING PROVIDED. 50mm WHERE A 50mm SLP DOWN HAS NOT BEEN PROVIDED
- ALL SINKERS / RAINWATER HEADS ARE TO BE PROVIDED WITH AN OVERFLOW PROVISION
- ROOFING TO COMPLY WITH PROVISIONS OF NCC 3.9.1.3
- ROOF DRAINAGE & DOWNPIPES IN ACCORDANCE WITH NCC 3.5.3.5.
- ALL STAIRS TO HAVE A NON-SLIP RATING OF R9 OR R10 MINIMUM.
- GLAZING TO AS1288 & 2047.
- STAIRS TO BE BUILT IN ACCORDANCE WITH NCC 2019 PART 3.9.1.2
- WET AREAS TO BE BUILT IN ACCORDANCE WITH NCC 2019 PART 3.9.1 - WET AREAS AND EXTERNAL WATERPROOFING, ALL EXHAUST FANS ARE TO BE DUCTED DIRECTLY TO THE OUTSIDE AIR VIA DUCTS.
- ALL TIMBER FRAMING TO COMPLY WITH THE PROVISIONS OF NCC 3.4.3

**Select Structure Certification**

Building Approval is amended under Section 32 of Building Act 2004

Date: 03/03/2025

*Livij Krovatin*

ACT Lic. No. 2023473

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
29/07/22		ISSUED FOR BUILDING APPROVAL	02				

**CONSTRUCTION**

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Location

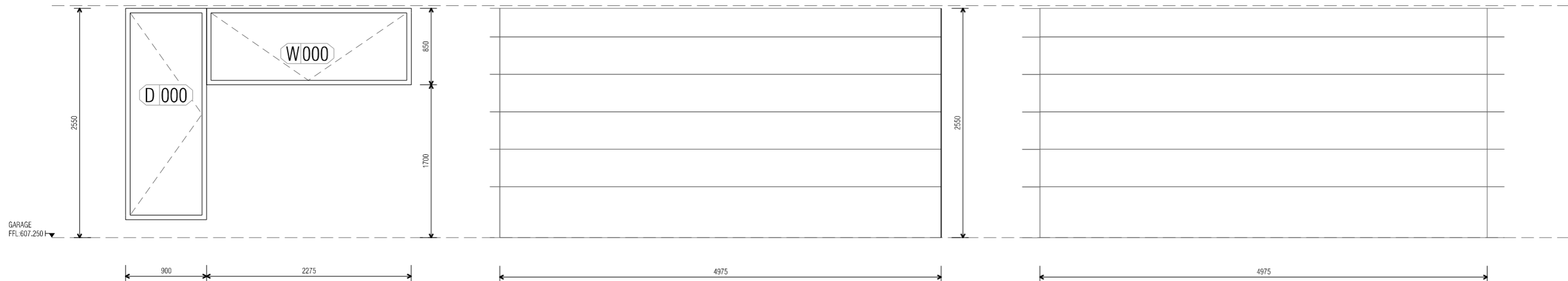
Suite 30, 2 King Street Deakin  
Carberra ACT 2600  
+61 6162 0735  
e. carberra@turcoassociates.com.au  
w. turcoassociates.com.au

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER

NOTE:  
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RElevant AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REGULATIONS SHOWN OUT ALL WORK IN THE BEST AND PRACTICAL MANNER AND TO THE SATISFACTION OF THE SUPERINTENDENT.  
ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED

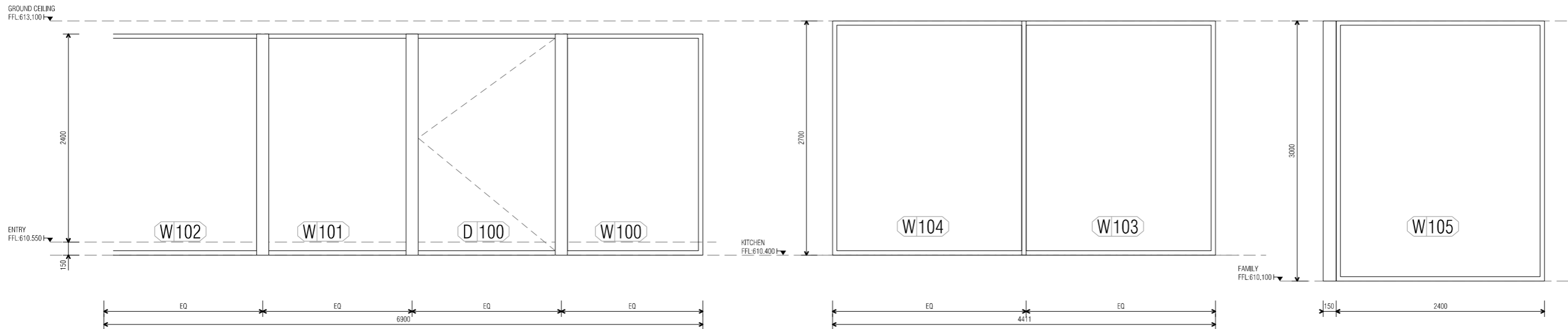
PROJECT		
<b>NORTHCOTE HOUSE</b>		
CLIENT	ALEKSANDAR	
BLOCK	SECTION	DIVISION
11	09	DEAKIN
GENERAL NOTES: <small>DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF SHOP DRAWINGS OR FABRICATION. ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECT/ENGINEER/DESIGNER PRIOR TO THE COMMENCEMENT OF WORK.</small>		

DRAWING TITLE		
<b>SECTION DETAILS</b>		
SHEET 04		
SCALE	DRAWN	CHECKED
1:10 @A1	MP	MT
1:20 @A3		
JOB NO.	DATE	
TA2056	08.06.2022	
STATUS	DRAWING NO.	REVISION
WD	A404	02



**Select Structure Certification**  
 Building Approval is amended under Section 32 of Building Act 2004  
 Date: 03/03/2025  
*Livij Krovatin*  
 ACT Lic. No. 2023473

FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	HINGE / AWNING
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N



2400mm MAX WIDTH FOR SINGLE WINDOW

FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	FIXED
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N

**Protection of openable windows to be installed in accordance with BCA 3.9.2.6**

FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	FIXED
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N

FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	FIXED
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
29/07/2022		ISSUED FOR BUILDING APPROVAL	02				

**CONSTRUCTION**

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Location

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 Page 105 of 133

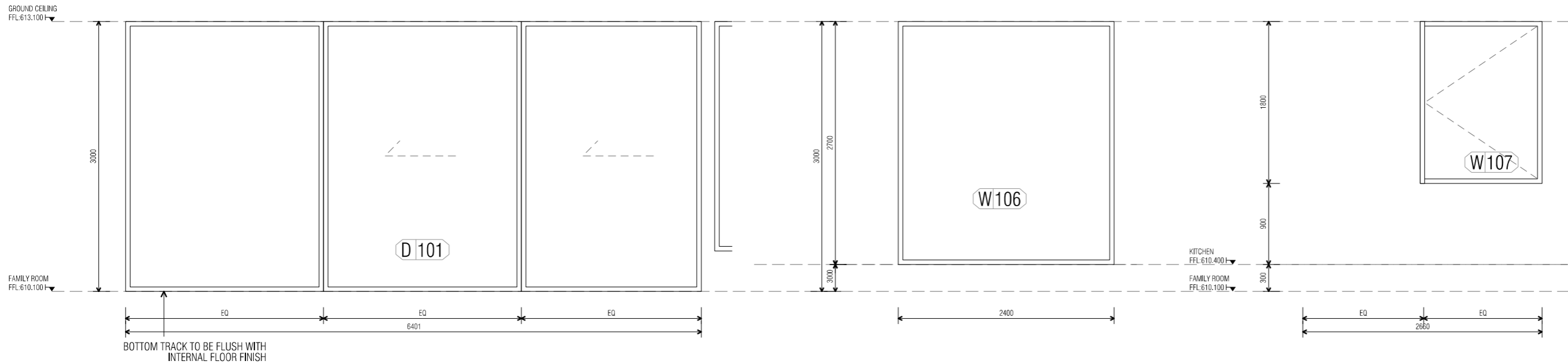
Suite 30, 2 King Street Deakin  
 Carbera ACT 2600  
 +61 6162 0735  
 e: carberra@turcoassociates.com.au  
 w: turcoassociates.com.au

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

NOTE:  
 ALL WORK IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA,  
 RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REGULATIONS. CARRY OUT ALL WORK IN THE BEST  
 AND TRADESMAN LIKE MANNER AND TO THE SATISFACTION OF THE SUPERINTENDENT.  
 ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED

PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN
GENERAL NOTES:		
DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF SHOP DRAWINGS OR FABRICATION. ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECT/ENGINEER/DRAWN PRIOR TO THE COMMENCEMENT OF WORK.		

DRAWING TITLE		
WINDOW & DOOR SCHEDULE		
SCHEDULE 01		
SCALE	DRAWN	CHECKED
1:25 @A1	MP	MT
1:50 @A3		
JOB NO.	DATE	
TA2056	29/07/2022	
STATUS	DRAWING NO.	REVISION
WD	A600	02



FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	FIXED
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N

**Protection of openable windows to be installed in accordance with BCA 3.9.2.6**

FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	FIXED
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N

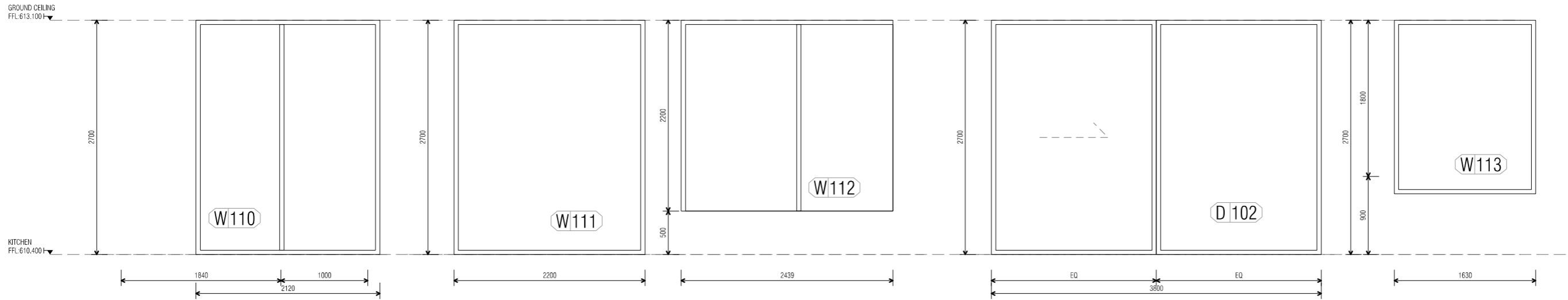
FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	SLIDING
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N

**Select Structure Certification**  
**Building Approval** is amended under Section 32 of Building Act 2004

Date: **03/03/2025**

*Livij Krovatin*

ACT Lic. No. 2023473



FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	SLIDING
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N

FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	FIXED
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N

FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	FIXED
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N

FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	SLIDING
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N

FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	FIXED
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
29/07/2022		ISSUED FOR BUILDING APPROVAL	02				

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Location

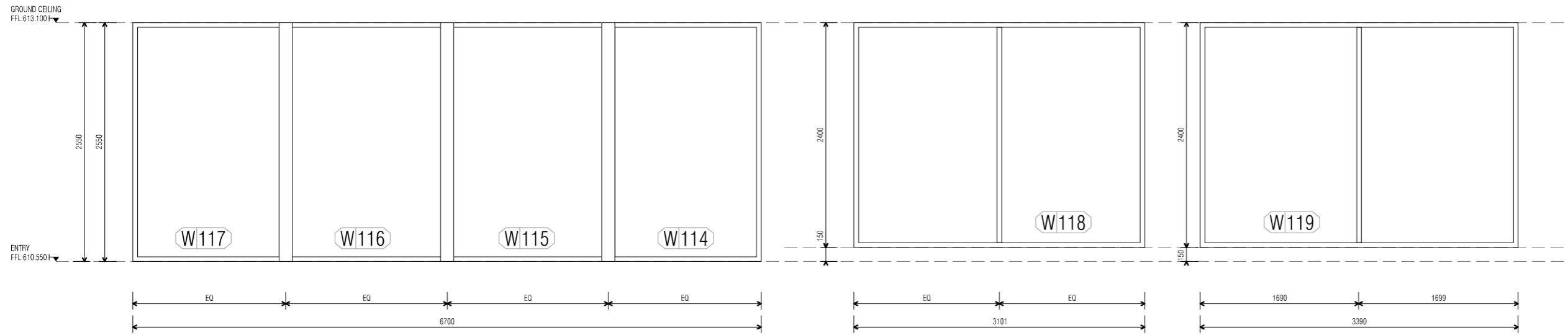
Suite 30, 2 King Street Deakin  
 Canberra ACT 2600  
 +61 6162 0735  
 e: carberra@turcoassociates.com.au  
 w: turcoassociates.com.au

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

NOTE:  
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PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN
GENERAL NOTES:		
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DRAWING TITLE		
WINDOW & DOOR SCHEDULE		
SCHEDULE 01		
SCALE	DRAWN	CHECKED
1:25 @A1	MP	MT
1:50 @A3		
JOB NO.	DATE	
TA2056	29/07/2022	
STATUS	DRAWING NO.	REVISION
DD	A601	02

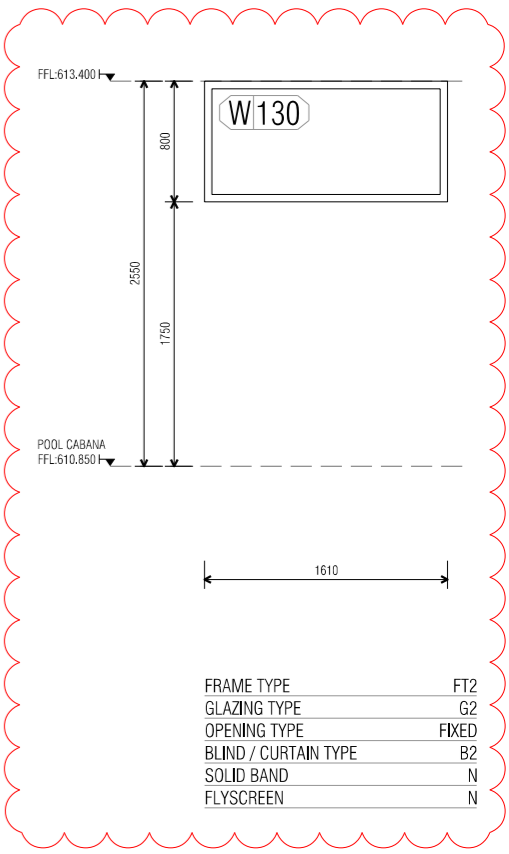


FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	FIXED
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N

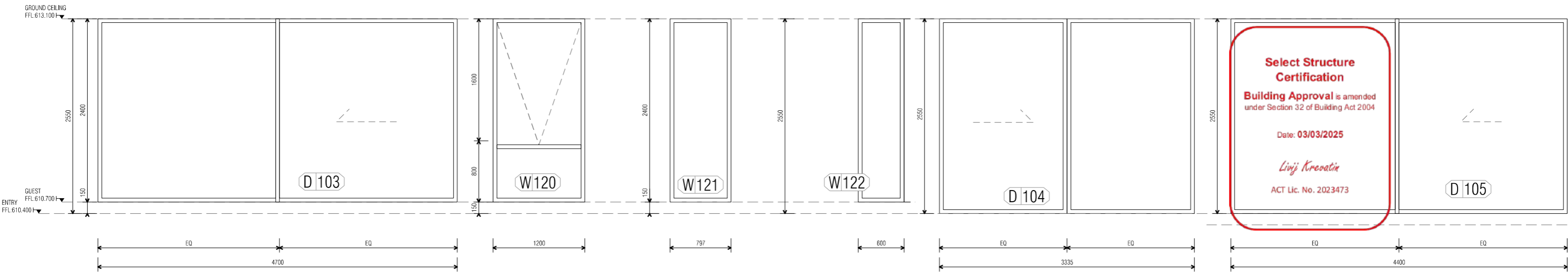
Protection of openable windows to be installed in accordance with BCA 3.9.2.6

FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	FIXED
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N

FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	SLIDING
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N



FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	FIXED
BLIND / CURTAIN TYPE	B2
SOLID BAND	N
FLYSCREEN	N



FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	SLIDING
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N

FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	AWNING / FIXED
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N

FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	FIXED
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N

FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	FIXED
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N

FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	SLIDING
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N

FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	SLIDING
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N

**Select Structure Certification**  
**Building Approval is amended**  
 under Section 32 of Building Act 2004  
  
 Date: **03/03/2025**  
  
*Livij Krenatin*  
 ACT Lic. No. 2023473

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
29/07/2022		WINDOW 130 ADDED	02				
29/07/2022		ISSUED FOR BUILDING APPROVAL	02				

CONSTRUCTION

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Page 107 of 133

Suite 30, 2 King Street Deakin  
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 w: turcoassociates.com.au

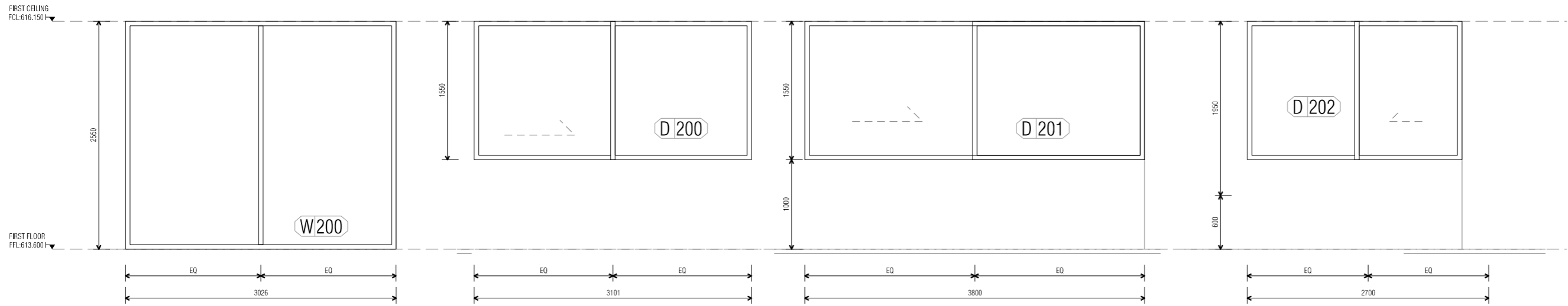
STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

NOTE:  
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PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN
GENERAL NOTES:		
DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF SHOP DRAWINGS OR FABRICATION. ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECT/ENGINEER/DESIGNER PRIOR TO THE COMMENCEMENT OF WORK.		

DRAWING TITLE		
WINDOW & DOOR SCHEDULE		
SCHEDULE 02		
SCALE	DRAWN	CHECKED
1:25 @A1	MP	MT
1:50 @A3		
JOB NO.	DATE	
TA2056	29/07/2022	
STATUS	DRAWING NO.	REVISION
DD	A602	02

Protection of openable windows to be installed in accordance with BCA 3.9.2.6



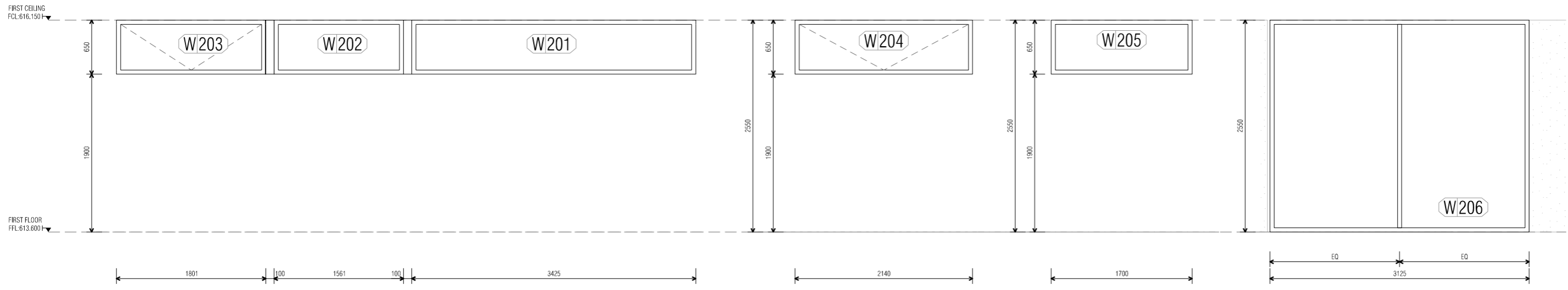
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GLAZING TYPE	G2
OPENING TYPE	FIXED
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N

FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	SLIDING
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N

FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	SLIDING
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N

FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	SLIDING
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N

**Select Structure Certification**  
**Building Approval** is amended under Section 32 of Building Act 2004  
 Date: **03/03/2025**  
*Livij Krovatin*  
 ACT Lic. No. 2023473



FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	AWNING / FIXED
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N

FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	AWNING
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N

FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	FIXED
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N

FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	SLIDING
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
29/07/2022		ISSUED FOR BUILDING APPROVAL	02				
08/08/2022		REVISED WINDOW DETAILS	03				

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Location

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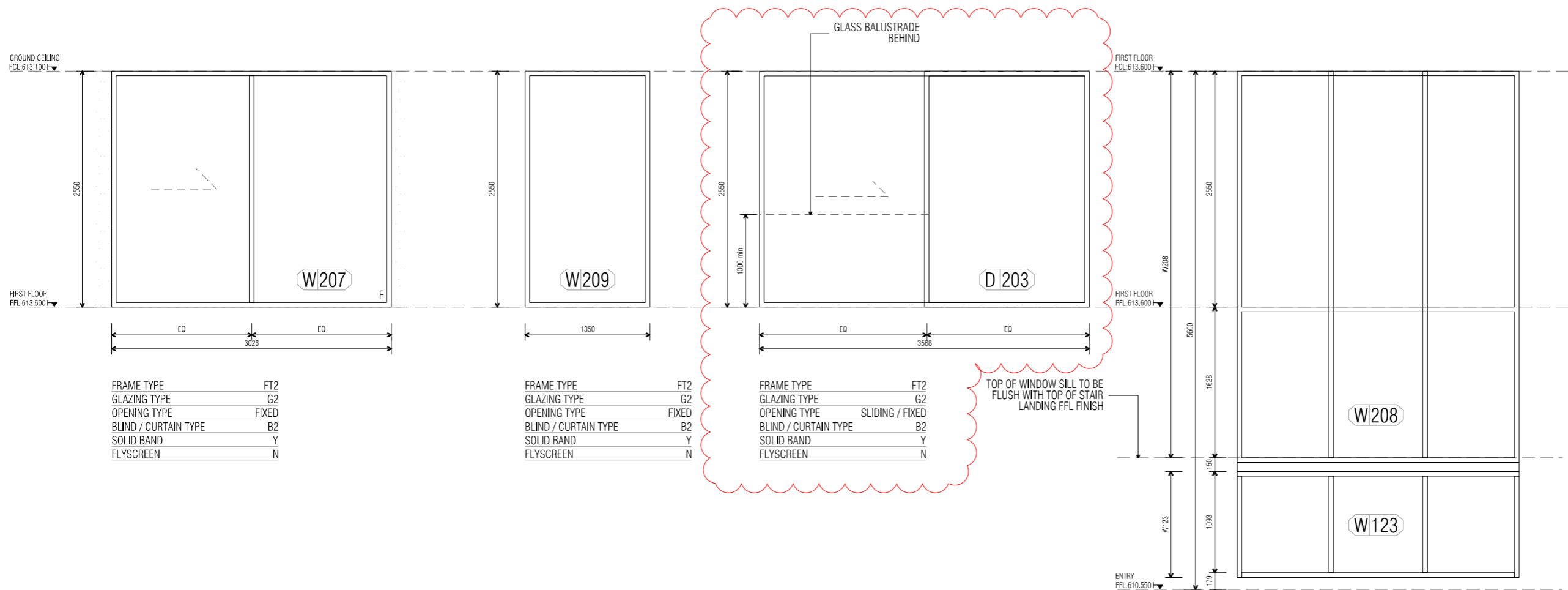
Suite 30, 2 King Street, Deakin  
 Canberra ACT 2600  
 +61 6162 0735  
 e: canberra@turcoassociates.com.au  
 w: turcoassociates.com.au

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

NOTE:  
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 RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REGULATIONS. CARRY OUT ALL WORK IN THE BEST AND TRADESMANLIKE MANNER AND TO THE SATISFACTION OF THE SUPERINTENDENT.  
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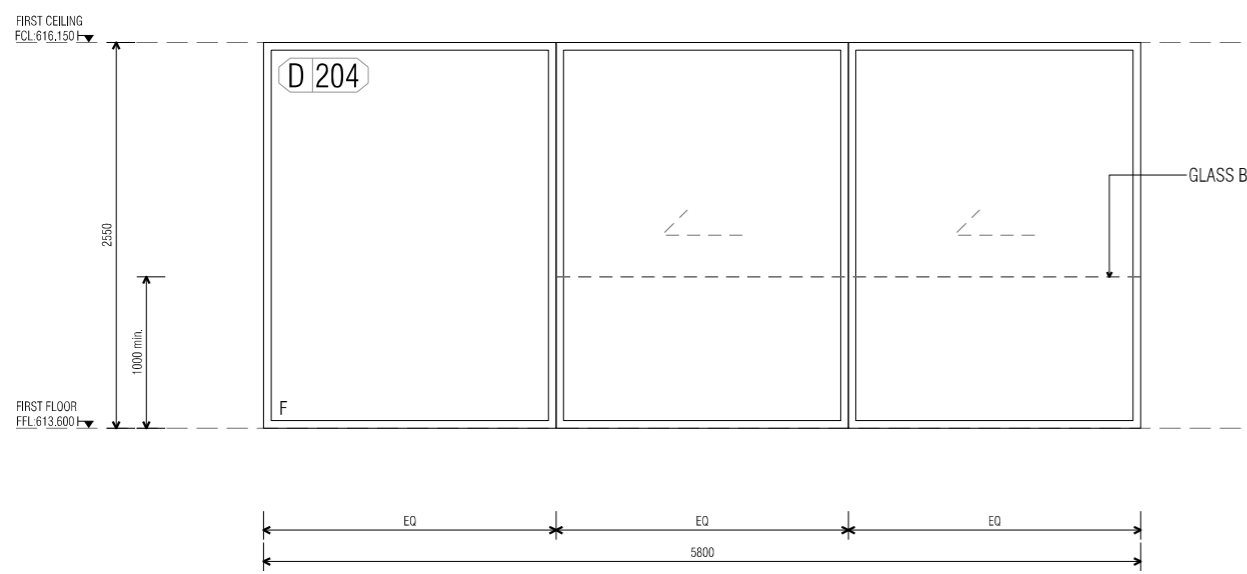
PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN
GENERAL NOTES:		
DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK. DIMENSIONS OF FABRICATION AND CLEARANCES ARE TO BE REFERRED TO THE ARCHITECT/ENGINEER/DESIGNER PRIOR TO THE COMMENCEMENT OF WORK.		

DRAWING TITLE		
WINDOW & DOOR SCHEDULE		
SCHEDULE 03		
SCALE	DRAWN	CHECKED
1:25 @A1	MP	MT
1:50 @A3		
JOB NO.	DATE	
TA2056	08/08/2022	
STATUS	DRAWING NO.	REVISION
DD	A603	03



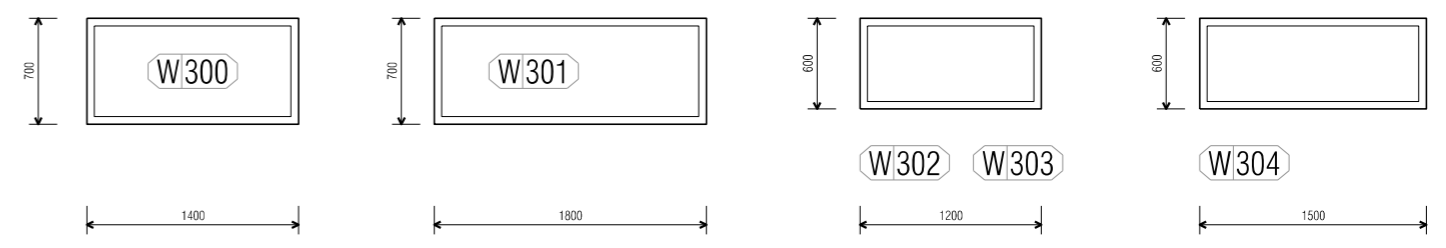
**Select Structure Certification**  
 Building Approval is amended under Section 32 of Building Act 2004  
 Date: 03/03/2025  
 Livi Kroatin  
 ACT Lic. No. 2023473

Protection of openable windows to be installed in accordance with BCA 3.9.2.6



FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	FIXED
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N

FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	SLIDING / FIXED
BLIND / CURTAIN TYPE	B2
SOLID BAND	Y
FLYSCREEN	N



FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	FIXED SKYLIGHT
BLIND / CURTAIN TYPE	B2
SOLID BAND	N
FLYSCREEN	N

FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	FIXED SKYLIGHT
BLIND / CURTAIN TYPE	B2
SOLID BAND	N
FLYSCREEN	N

FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	FIXED SKYLIGHT
BLIND / CURTAIN TYPE	B2
SOLID BAND	N
FLYSCREEN	N

FRAME TYPE	FT2
GLAZING TYPE	G2
OPENING TYPE	FIXED SKYLIGHT
BLIND / CURTAIN TYPE	B2
SOLID BAND	N
FLYSCREEN	N

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
29/07/2022		REVISED WINDOW	02				
29/07/2022		ISSUED FOR BUILDING APPROVAL	03				
08/08/2022		REVISED WINDOW	03				

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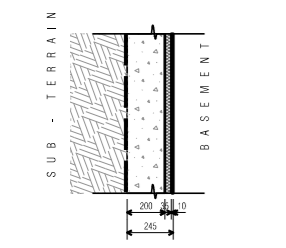
Location

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

NOTE:  
 ALL WORK IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REGULATIONS. CARRY OUT ALL WORK IN THE BEST AND TRUEST MANNER AND TO THE SATISFACTION OF THE SUPERINTENDENT.  
 ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED

PROJECT		
NORTHCOTE HOUSE		
CLIENT ALEKSANDAR		
BLOCK 11	SECTION 09	DIVISION DEAKIN
GENERAL NOTES: DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECT/ENGINEER/DESIGNER PRIOR TO THE COMMENCEMENT OF WORK.		

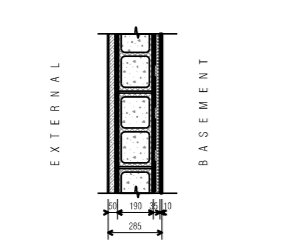
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WINDOW & DOOR SCHEDULE SCHEDULE 04		
SCALE 1:25 @A1 1:50 @A3	DRAWN MP	CHECKED MT
JOB NO. TA2056	DATE 08/08/2022	REVISION
STATUS DD	DRAWING NO. A604	REVISION 03



**WALL TYPE 01**  
 BASEMENT: CONCRETE DINCEL WALL LINED & INSULATED

CONTROLLED BACKFILL  
 WATERPROOF MEMBRANE OR EQUIVALENT SYSTEM  
 200mm CONCRETE DINCEL WALL TO ENGINEERS DETAIL  
 35mm GALVANISED STEEL BATTEN  
 25mm KINGSPAN KOOL THERM K8 CAVITY BOARD (R1.2)  
 12mm THICK FC BOARD, PAINTED FINISH AS SPECIFIED

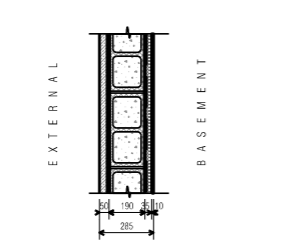
PERFORMANCE REQUIREMENTS	
REQUIRED THERMAL PERFORMANCE 'R VALUE'	N/A
REQUIRED FIRE PERFORMANCE 'FRL'	N/A
REQUIRED ACOUSTIC PERFORMANCE 'Rw + Ctr'	N/A
DISCONTINUOUS CONSTRUCTION	N



**WALL TYPE 10**  
 BASEMENT: STONE CLAD BLOCKWORK WALL INSULATED

40mm NOMINAL THICKNESS STONE CLADDING ON 10mm BEDDING  
 190mm CORE FILLED BLOCK WALL TO ENGINEERS DETAIL  
 35mm GALVANISED STEEL BATTEN  
 25mm KINGSPAN KOOL THERM K8 CAVITY BOARD (R1.2)  
 12mm THICK FC BOARD, PAINTED FINISH AS SPECIFIED

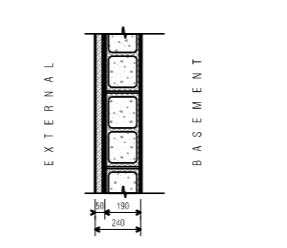
PERFORMANCE REQUIREMENTS	
REQUIRED THERMAL PERFORMANCE 'R VALUE'	N/A
REQUIRED FIRE PERFORMANCE 'FRL'	N/A
REQUIRED ACOUSTIC PERFORMANCE 'Rw + Ctr'	N/A
DISCONTINUOUS CONSTRUCTION	N



**WALL TYPE 11**  
 BASEMENT: STONE CLAD BLOCKWORK WALL INSULATED

40mm NOMINAL THICKNESS STONE CLADDING ON 10mm BEDDING  
 190mm CORE FILLED BLOCK WALL TO ENGINEERS DETAIL  
 35mm GALVANISED STEEL BATTEN  
 25mm KINGSPAN KOOL THERM K8 CAVITY BOARD (R1.2)  
 12mm THICK FC BOARD, PAINTED FINISH AS SPECIFIED

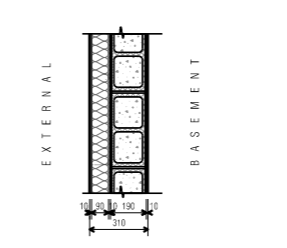
PERFORMANCE REQUIREMENTS	
REQUIRED THERMAL PERFORMANCE 'R VALUE'	N/A
REQUIRED FIRE PERFORMANCE 'FRL'	N/A
REQUIRED ACOUSTIC PERFORMANCE 'Rw + Ctr'	N/A
DISCONTINUOUS CONSTRUCTION	N



**WALL TYPE 12**  
 BASEMENT: STONE CLAD BLOCKWORK WALL INSULATED

40mm NOMINAL THICKNESS STONE CLADDING ON 10mm BEDDING  
 190mm CORE FILLED BLOCK WALL TO ENGINEERS DETAIL  
 35mm GALVANISED STEEL BATTEN  
 25mm KINGSPAN KOOL THERM K8 CAVITY BOARD (R1.2)  
 12mm THICK FC BOARD, PAINTED FINISH AS SPECIFIED

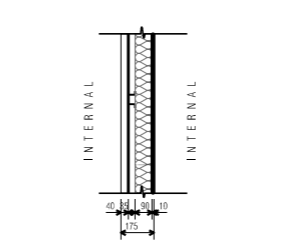
PERFORMANCE REQUIREMENTS	
REQUIRED THERMAL PERFORMANCE 'R VALUE'	N/A
REQUIRED FIRE PERFORMANCE 'FRL'	N/A
REQUIRED ACOUSTIC PERFORMANCE 'Rw + Ctr'	N/A
DISCONTINUOUS CONSTRUCTION	N



**WALL TYPE 13**  
 BASEMENT: STONE CLAD BLOCKWORK WALL INSULATED

40mm NOMINAL THICKNESS STONE CLADDING ON 10mm BEDDING  
 190mm CORE FILLED BLOCK WALL TO ENGINEERS DETAIL  
 35mm GALVANISED STEEL BATTEN  
 25mm KINGSPAN KOOL THERM K8 CAVITY BOARD (R1.2)  
 12mm THICK FC BOARD, PAINTED FINISH AS SPECIFIED

PERFORMANCE REQUIREMENTS	
REQUIRED THERMAL PERFORMANCE 'R VALUE'	N/A
REQUIRED FIRE PERFORMANCE 'FRL'	N/A
REQUIRED ACOUSTIC PERFORMANCE 'Rw + Ctr'	N/A
DISCONTINUOUS CONSTRUCTION	N



**WALL TYPE 15**  
 BASEMENT INTERNAL: FC LINED LIGHTWEIGHT WALL (BASEMENT)

40mm DEEP LVSAGHT ENSEAM SHEET METAL CLADDING  
 35mm TOP HAT ROLLED STEEL SECTION  
 ENVIROSEAL PROCTORWRAP VAPOUR PERMEABLE WALL WRAP  
 92mm GALVANISED STEEL WALL FRAME TO AUS STANDARDS  
 90mm BRADFORD GOLD HI PERFORMANCE INSULATION BETWEEN STUDS. (R2.7)  
 12mm THICK FC BOARD, FINISH AS SPECIFIED

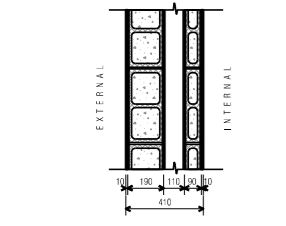
PERFORMANCE REQUIREMENTS	
REQUIRED THERMAL PERFORMANCE 'R VALUE'	N/A
REQUIRED FIRE PERFORMANCE 'FRL'	N/A
REQUIRED ACOUSTIC PERFORMANCE 'Rw + Ctr'	N/A
DISCONTINUOUS CONSTRUCTION	N

FINISHES CODES	
W6	MC1
↑	↑
WALL TYPE	WALL FINISH

**WALL TYPES LEGEND**

CODE	DESCRIPTION
WT 01	EXT: 200mm DINCEL RETAINING WALL
WT 02	EXT: 200mm RENDERED DINCEL RETAINING WALL
WT 10	EXT: 190mm CORE FILLED BLOCKWORK VENEER
WT 11	EXT: 50mm FOAM BOARD CLAD LIGHTWEIGHT WALL
WT 15	EXT: SHEET METAL CLAD WALL
WT 20	EXT: 190mm CORE FILLED BLOCKWORK VENEER CAVITY WALL
WT 21	EXT: 190mm CORE FILLED BLOCKWORK VENEER RENDERED
WT 22	EXT: 90mm BLOCKWORK VENEER RENDERED
WT 23	EXT: 190mm CORE FILLED BLOCKWORK TO VISIBLE FACES
WT 40	INT: INSULATED PARTITION WALL
WT 41	INT: INSULATED PARTITION WALL
WT 42	INT: INSULATED PARTITION CAVITY WALL

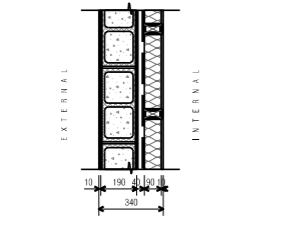
NOTE: REFER TO FLOOR PLANS AND DETAILS FOR LOCALISED PACKING OUT OR THICKENING OF WALLS.



**WALL TYPE 20**  
 EXTERNAL: 190mm CORE FILLED BLOCKWORK WALL

CONSTRUCTION  
 RENDER AS SPECIFIED NOMINAL 10mm  
 190mm CORE FILLED BLOCKWORK WALL TO ENGINEERS SPECIFICATIONS.  
 110mm CAVITY  
 90mm BLOCKWORK WALL  
 NOMINAL 10mm RENDER AS SPECIFIED

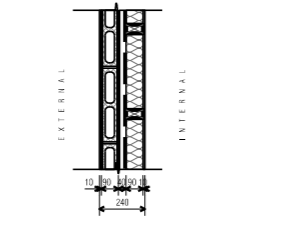
PERFORMANCE REQUIREMENTS	
REQUIRED THERMAL PERFORMANCE 'R VALUE'	N/A
REQUIRED FIRE PERFORMANCE 'FRL'	N/A
REQUIRED ACOUSTIC PERFORMANCE 'Rw + Ctr'	N/A
DISCONTINUOUS CONSTRUCTION	N



**WALL TYPE 21**  
 BASEMENT / INTERNAL: CORE FILLED BLOCK WALL

RENDER AS SPECIFIED NOMINAL 10mm  
 190mm CORE FILLED BLOCK WALL TO ENGINEERS DETAIL  
 40mm AIR GAP  
 ENVIROSEAL PROCTORWRAP VAPOUR PERMEABLE WALL WRAP  
 90mm TIMBER FRAME TO AS1684  
 88mm BRADFORD SOUND SCREEN INSULATION BETWEEN STUDS. (R2.5)  
 13mm PLASTERBOARD, FINISH AS SPECIFIED.  
 WATER RESISTANT PLASTERBOARD FOR WET AREAS.

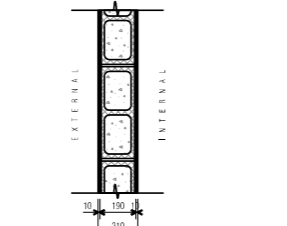
PERFORMANCE REQUIREMENTS	
REQUIRED THERMAL PERFORMANCE 'R VALUE'	N/A
REQUIRED FIRE PERFORMANCE 'FRL'	N/A
REQUIRED ACOUSTIC PERFORMANCE 'Rw + Ctr'	N/A
DISCONTINUOUS CONSTRUCTION	N



**WALL TYPE 22**  
 GROUND / INTERNAL: BLOCK VENEER WALL

RENDER AS SPECIFIED NOMINAL 10mm  
 190mm BLOCKWORK WALL  
 40mm AIR GAP  
 ENVIROSEAL PROCTORWRAP VAPOUR PERMEABLE WALL WRAP  
 90mm TIMBER FRAME TO AS1684  
 88mm BRADFORD SOUND SCREEN INSULATION BETWEEN STUDS. (R2.5)  
 13mm PLASTERBOARD, FINISH AS SPECIFIED.  
 WATER RESISTANT PLASTERBOARD FOR WET AREAS.

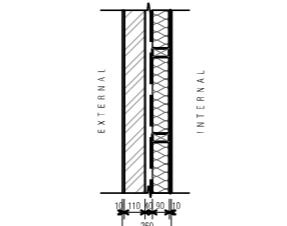
PERFORMANCE REQUIREMENTS	
REQUIRED THERMAL PERFORMANCE 'R VALUE'	N/A
REQUIRED FIRE PERFORMANCE 'FRL'	N/A
REQUIRED ACOUSTIC PERFORMANCE 'Rw + Ctr'	N/A
DISCONTINUOUS CONSTRUCTION	N



**WALL TYPE 23**  
 BASEMENT / INTERNAL: CORE FILLED BLOCK WALL

RENDER AS SPECIFIED NOMINAL 10mm  
 190mm CORE FILLED BLOCK WALL TO ENGINEERS DETAIL  
 RENDER AS SPECIFIED NOMINAL 10mm

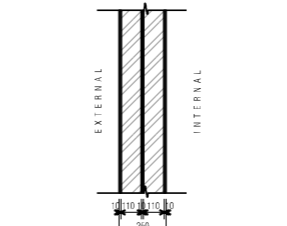
PERFORMANCE REQUIREMENTS	
REQUIRED THERMAL PERFORMANCE 'R VALUE'	N/A
REQUIRED FIRE PERFORMANCE 'FRL'	N/A
REQUIRED ACOUSTIC PERFORMANCE 'Rw + Ctr'	N/A
DISCONTINUOUS CONSTRUCTION	N



**WALL TYPE 25**  
 BASEMENT / INTERNAL: RENDERED BRICK VENEER

RENDER AS SPECIFIED NOMINAL 10mm  
 110mm BRICK UNIT  
 40mm AIR GAP CAVITY  
 ENVIROSEAL PROCTORWRAP VAPOUR PERMEABLE WALL WRAP  
 90mm TIMBER FRAME TO AS1684  
 88mm BRADFORD SOUND SCREEN INSULATION BETWEEN STUDS. (R2.5)  
 13mm PLASTERBOARD, FINISH AS SPECIFIED.  
 WATER RESISTANT PLASTERBOARD FOR WET AREAS.

PERFORMANCE REQUIREMENTS	
REQUIRED THERMAL PERFORMANCE 'R VALUE'	N/A
REQUIRED FIRE PERFORMANCE 'FRL'	N/A
REQUIRED ACOUSTIC PERFORMANCE 'Rw + Ctr'	N/A
DISCONTINUOUS CONSTRUCTION	N



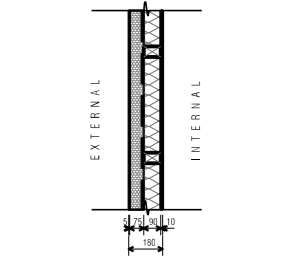
**WALL TYPE 26**  
 BASEMENT / INTERNAL: DOUBLE BRICK RENDERED

RENDER AS SPECIFIED NOMINAL 10mm TO ALL VISIBLE FACES  
 110mm BRICK UNIT  
 10mm MORTAR  
 110mm BRICK UNIT  
 RENDER AS SPECIFIED NOMINAL 10mm TO ALL VISIBLE FACES

PERFORMANCE REQUIREMENTS	
REQUIRED THERMAL PERFORMANCE 'R VALUE'	N/A
REQUIRED FIRE PERFORMANCE 'FRL'	N/A
REQUIRED ACOUSTIC PERFORMANCE 'Rw + Ctr'	N/A
DISCONTINUOUS CONSTRUCTION	N

**EXTERNAL WALL CLADDING SYSTEM**  
 Cladding system to be compliant and installed with all relevant provisions of:  
 \*The National Construction Code;  
 \*The Building Code of Australia;  
 \*The Australian Standards;  
 approved condition of use application, or any other application law or regulation.

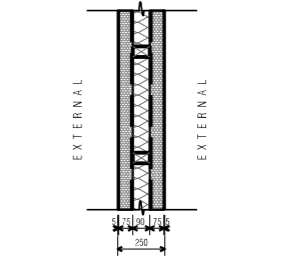
Select Structure Certification  
 Building Approval is amended under Section 32 of Building Act 2004  
 Date: 03/03/2025  
 Lijvi Kroatin  
 ACT Lic. No. 2023473



**WALL TYPE 30**  
 EXTERNAL: 75mm FOAM BOARD CLAD LIGHTWEIGHT WALL

CONSTRUCTION  
 RENDER AS SPECIFIED NOMINAL 10mm  
 75mm EPS BOARD EXTERNAL WALL SYSTEM (R1.9)  
 25mm TIMBER BATTEN  
 ENVIROSEAL PROCTORWRAP VAPOUR PERMEABLE WALL WRAP  
 90mm TIMBER FRAME TO AS1684  
 90mm BRADFORD GOLD HI PERFORMANCE INSULATION BETWEEN STUDS. (R2.7)  
 13mm PLASTERBOARD, FINISH AS SPECIFIED.  
 WATER RESISTANT PLASTERBOARD FOR WET AREAS.

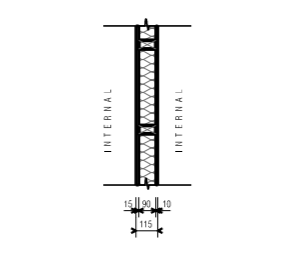
PERFORMANCE REQUIREMENTS	
REQUIRED THERMAL INSULATION 'R VALUE'	R2.8
REQUIRED FIRE PERFORMANCE 'FRL'	N/A
REQUIRED ACOUSTIC PERFORMANCE 'Rw + Ctr'	N/A
DISCONTINUOUS CONSTRUCTION	N



**WALL TYPE 31**  
 EXTERNAL: 75mm FOAM BOARD CLAD LIGHTWEIGHT WALL

CONSTRUCTION  
 RENDER AS SPECIFIED NOMINAL 10mm  
 75mm EPS BOARD EXTERNAL WALL SYSTEM (R1.9)  
 25mm TIMBER BATTEN  
 ENVIROSEAL PROCTORWRAP VAPOUR PERMEABLE WALL WRAP  
 90mm TIMBER FRAME TO AS1684  
 90mm BRADFORD GOLD HI PERFORMANCE INSULATION BETWEEN STUDS. (R2.7)  
 13mm PLASTERBOARD, FINISH AS SPECIFIED.  
 WATER RESISTANT PLASTERBOARD FOR WET AREAS.

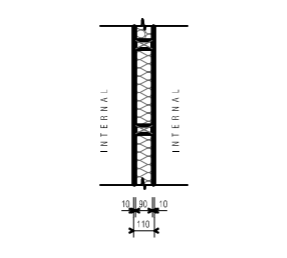
PERFORMANCE REQUIREMENTS	
REQUIRED THERMAL INSULATION 'R VALUE'	R2.8
REQUIRED FIRE PERFORMANCE 'FRL'	N/A
REQUIRED ACOUSTIC PERFORMANCE 'Rw + Ctr'	N/A
DISCONTINUOUS CONSTRUCTION	N



**WALL TYPE 40**  
 INTERNAL: INSULATED PARTITION WALL

15mm NOMINAL THICKNESS TIMBER VENEER AS SPECIFIED TO ALL VISIBLE FACES  
 90mm TIMBER FRAME TO AS1684  
 88mm BRADFORD SOUND SCREEN INSULATION BETWEEN STUDS. (R2.5)  
 13mm PLASTERBOARD, FINISH AS SPECIFIED.  
 WATER RESISTANT PLASTERBOARD FOR WET AREAS.

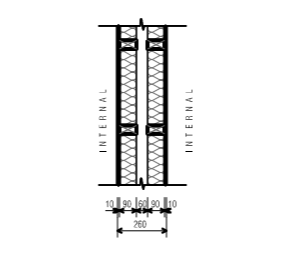
PERFORMANCE REQUIREMENTS	
REQUIRED THERMAL PERFORMANCE 'R VALUE'	N/A
REQUIRED FIRE PERFORMANCE 'FRL'	N/A
REQUIRED ACOUSTIC PERFORMANCE 'Rw + Ctr'	N/A
DISCONTINUOUS CONSTRUCTION	N



**WALL TYPE 41**  
 INTERNAL: INSULATED PARTITION WALL

13mm PLASTERBOARD, FINISH AS SPECIFIED. WATER RESISTANT PLASTERBOARD FOR WET AREAS.  
 90mm TIMBER FRAME TO AS1684  
 88mm BRADFORD SOUND SCREEN INSULATION BETWEEN STUDS. (R2.5)  
 13mm PLASTERBOARD, FINISH AS SPECIFIED. WATER RESISTANT PLASTERBOARD FOR WET AREAS.

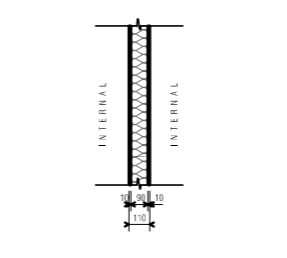
PERFORMANCE REQUIREMENTS	
REQUIRED THERMAL PERFORMANCE 'R VALUE'	N/A
REQUIRED FIRE PERFORMANCE 'FRL'	N/A
REQUIRED ACOUSTIC PERFORMANCE 'Rw + Ctr'	N/A
DISCONTINUOUS CONSTRUCTION	N



**WALL TYPE 42**  
 INTERNAL: INSULATED DOUBLE PARTITION CAVITY WALL

13mm PLASTERBOARD, FINISH AS SPECIFIED. WATER RESISTANT PLASTERBOARD FOR WET AREAS.  
 90mm TIMBER FRAME TO AS1684  
 88mm BRADFORD SOUND SCREEN INSULATION BETWEEN STUDS. (R2.5)  
 13mm PLASTERBOARD, FINISH AS SPECIFIED. WATER RESISTANT PLASTERBOARD FOR WET AREAS.

PERFORMANCE REQUIREMENTS	
REQUIRED THERMAL PERFORMANCE 'R VALUE'	N/A
REQUIRED FIRE PERFORMANCE 'FRL'	N/A
REQUIRED ACOUSTIC PERFORMANCE 'Rw + Ctr'	N/A
DISCONTINUOUS CONSTRUCTION	N



**WALL TYPE 45**  
 INTERNAL: INSULATED DOUBLE PARTITION CAVITY WALL

13mm PLASTERBOARD, FINISH AS SPECIFIED. WATER RESISTANT PLASTERBOARD FOR WET AREAS.  
 90mm STEEL FRAME  
 88mm BRADFORD SOUND SCREEN INSULATION BETWEEN STUDS. (R2.5)  
 13mm PLASTERBOARD, FINISH AS SPECIFIED. WATER RESISTANT PLASTERBOARD FOR WET AREAS.

PERFORMANCE REQUIREMENTS	
REQUIRED THERMAL PERFORMANCE 'R VALUE'	N/A
REQUIRED FIRE PERFORMANCE 'FRL'	N/A
REQUIRED ACOUSTIC PERFORMANCE 'Rw + Ctr'	N/A
DISCONTINUOUS CONSTRUCTION	N

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
11/02/22		REVISED WALL TYPES	01				
29/07/22		ISSUED FOR BUILDING APPROVAL	03				

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Location

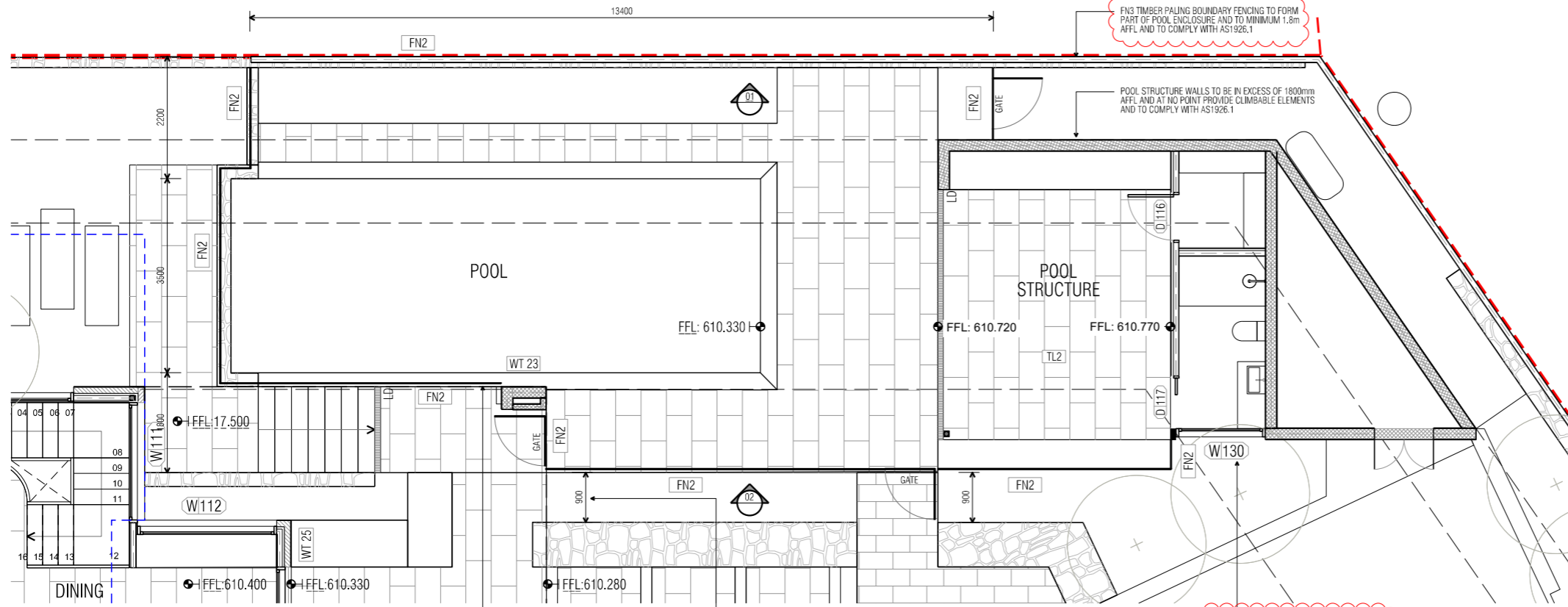
Suite 30, 2 King Street Deakin  
 Carberra ACT 2600  
 +61 6 162 0735  
 e: carberra@turcoassociates.com.au  
 w: turcoassociates.com.au

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

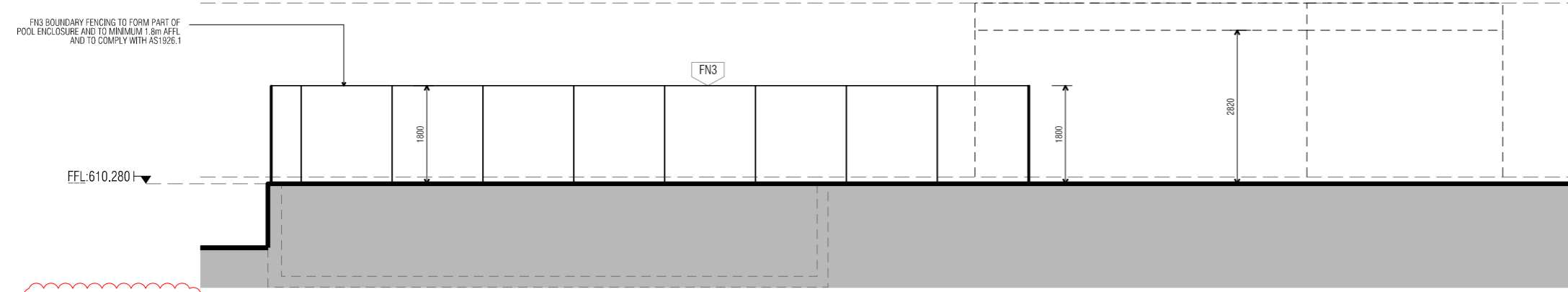
NOTE:  
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 RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REGULATIONS, CARRY OUT ALL WORK IN THE BEST AND TRADESMAN LIKE MANNER AND TO THE SATISFACTION OF THE SUPERVISOR.  
 ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED

PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIMSION
11	09	DEAKIN

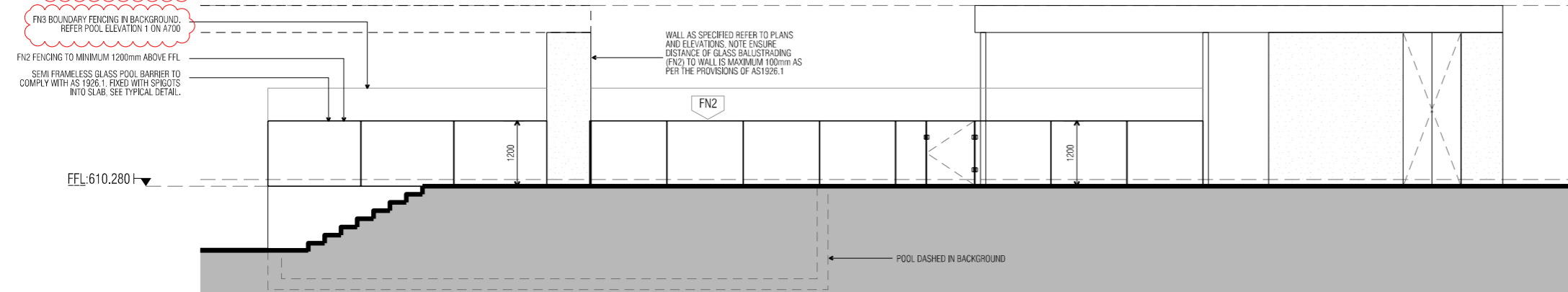
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WALL SCHEDULE SCHEDULE 01		
SCALE	DRAWN	CHECKED
1:20 @A1	MP	MT
1:40 @A3		
JOB NO.	DATE	
TA2056	29/07/2022	
STATUS	DRAWING NO.	REVISION
DD	A620	03



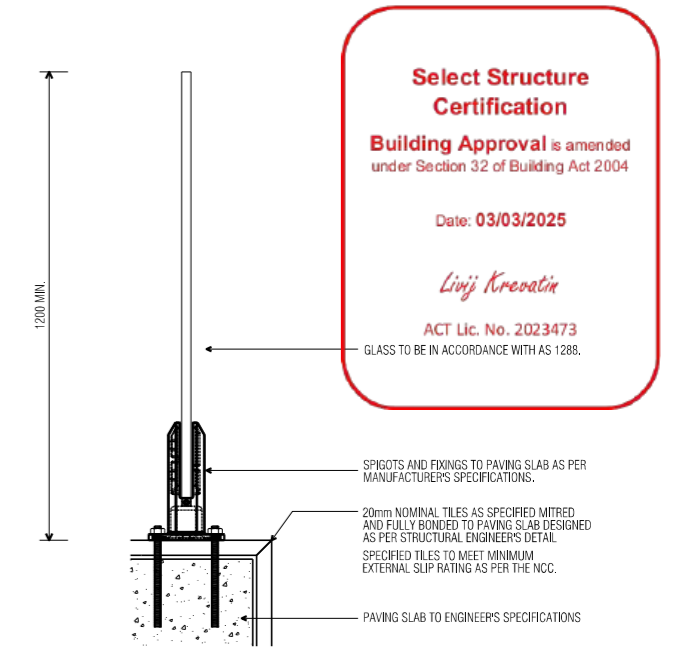
**00 POOL FENCING DETAIL PLAN**  
1:50 @ A1



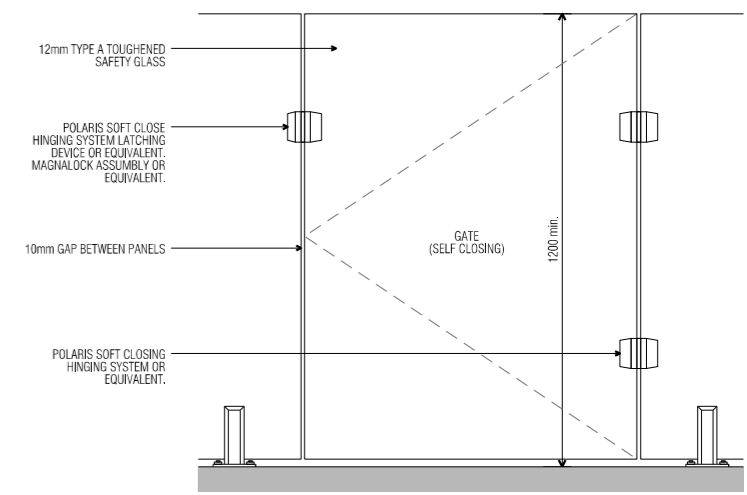
**01 POOL ELEVATION**  
1:50 @ A1



**02 POOL ELEVATION**  
1:50 @ A1



**03 TYPICAL POOL BARRIER DETAIL**  
1:5 @ A1



**04 TYPICAL POOL GATE ELEVATION**  
1:10 @ A1

**Select Structure Certification**  
**Building Approval** is amended under Section 32 of Building Act 2004  
Date: **03/03/2025**  
*Livij Kresatin*  
ACT Lic. No. 2023473  
GLASS TO BE IN ACCORDANCE WITH AS 1288.

**GENERAL NOTES**  
POOL BARRIER FENCING TO BE MINIMUM 1200mm AFFL AND CLEARANCES TO POOL FENCING TO ADHERE TO REQUIREMENTS OF AS1926.1  
ALL POOL BARRIER GATES ARE TO SWING OUTWARDS AND BE SELF CLOSING, SELF LATCHING AND FULLY SATISFY REQUIREMENTS OF AS 1926.1  
ALL POOL DRAWINGS ARE TO BE REFERRED TO SELECTED POOL CONTRACTOR FOR THEIR APPROVAL AND COMPLIANCE IN ACCORDANCE WITH AS1926.1  
ANY CHANGES TO POOL ENCLOSURE EXTENT, FIXING DETAILS, OR GLASS SPECIFICATIONS ARE TO ENSURE COMPLIANCE IN ACCORDANCE WITH AS1926.1

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
11/07/2022		REVISED POOL GATE & BARRIER DETAIL	01				
29/07/2022		REVISED NOTES, ISSUED FOR BUILDING APPROVAL	02				

**CONSTRUCTION**  
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e: carberra@turcoassociates.com.au  
w: turcoassociates.com.au

**turco and associates**

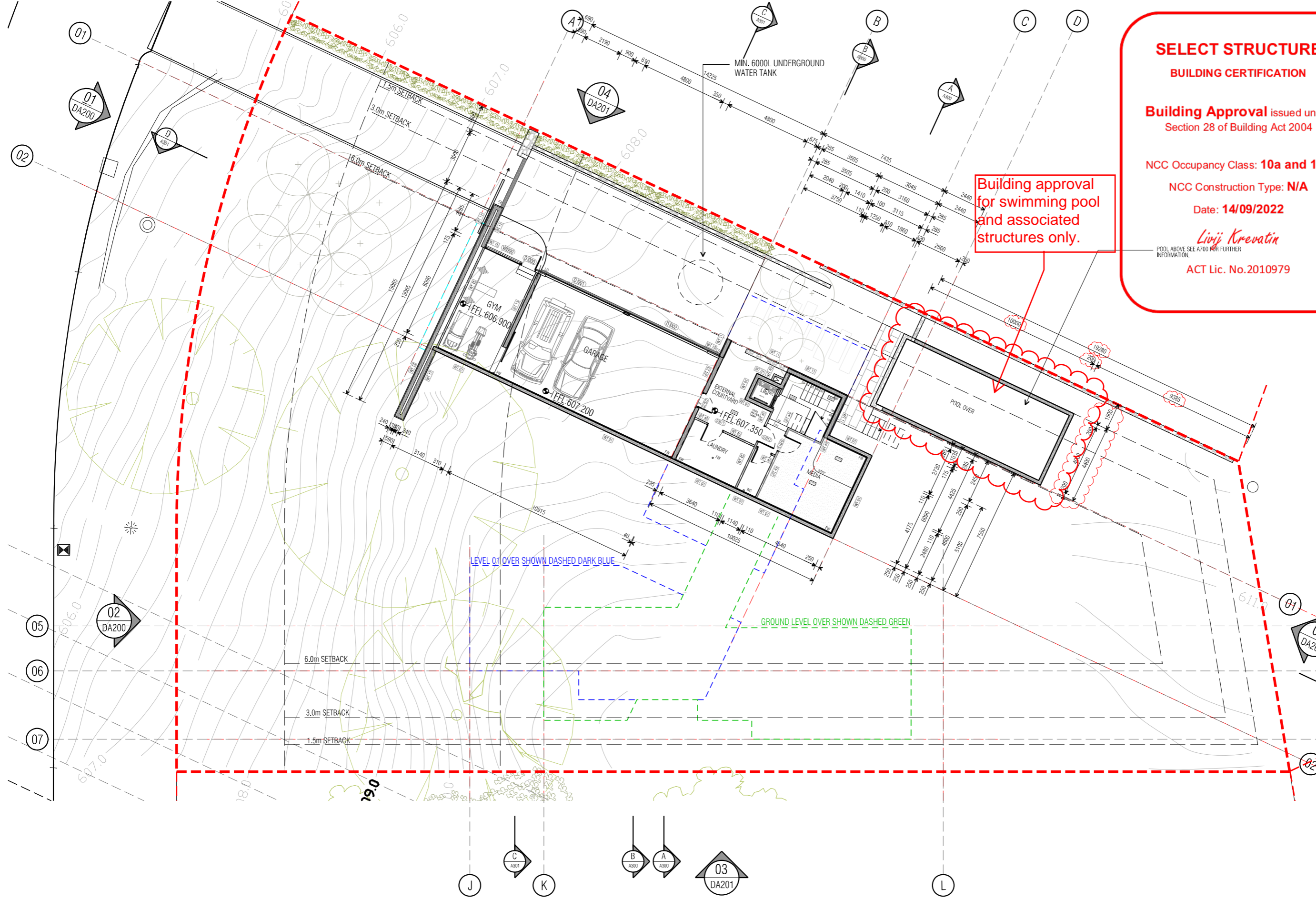
Page 111 of 133

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

**NOTE:**  
ALL WORK IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REGULATIONS. CARRY OUT ALL WORK IN THE BEST AND TRADESMAN LIKE MANNER AND TO THE SATISFACTION OF THE SUPERINTENDENT.  
ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED

PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN
GENERAL NOTES:		
DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF SHOP DRAWINGS OR FABRICATION. ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECT/ENGINEER/DESIGNER PRIOR TO THE COMMENCEMENT OF WORK.		

DRAWING TITLE		
POOL BARRIER DETAILS		
SHEET 01		
SCALE	DRAWN	CHECKED
1:50 @A1	MP	MT
1:100 @A3		
JOB NO.	DATE	
TA2056	29/07/2022	
STATUS	DRAWING NO.	REVISION
WD	A700	02



**SELECT STRUCTURE BUILDING CERTIFICATION**

Building Approval issued under Section 28 of Building Act 2004

NCC Occupancy Class: 10a and 10b

NCC Construction Type: N/A

Date: 14/09/2022

*Livji Krevatin*

ACT Lic. No.2010979

Building approval for swimming pool and associated structures only.

**GENERAL LEGEND**

CODE	DESCRIPTION
AC	AIR CONDITIONING UNIT TO SERVICE ENGINEERS SPEC.
DP	DOWNPIPE, REFER HYDRAULIC DOCUMENTATION
FW	FLOOR WASTE
HW	BOILER UNIT - HEATING SYSTEM
LD	LINEAR DRAIN
LB	LETTERBOX
MN	HYDRONIC HEATING MANIFOLD AND RELATED EQUIP LOCATION
PT	PIT TO CIVIL ENGINEERS DETAIL
RWH	RAINWATER HEAD
RWT	RAINWATER TANK
RR	RADIATOR LOCATION
SC	STEEL COLUMN
SD	SMOKE DETECTOR
SH	SHOWER
SL	SOLAR BATTERY RELATED EQUIP. LOCATION
SP	RAINWATER SPREADER
WO	WATER OUTLET
WT	RAINWATER HARVEST WATERTANK
-	FLOOR OUTLINE ABOVE
-	FLOOR OUTLINE BELOW

**EXTERNAL WALL FINISHES**

CODE	DESCRIPTION
BL1	BALUSTRADING TO COMPLY WITH NCC 3.9.2
BL2	GLASS BALUSTRADE PERIMETER FIXED
FG1	BATTEN FENCE AND GATE
FG2	GLASS POOL FENCE
FG3	TIMBER PALING BOUNDARY FENCING TO BE 1.8m IN ACCORDANCE TO AS1926.1. FINISH AS SPECIFIED.
LVL 1	POWDERCOATED ALUMINIUM WEATHER LOUVRE PANEL
LVL2	BASEMENT EXHAUST & INTAKE WEATHER LOUVRES
PT11	PAINT FINISH - TO MATCH WINDOW FRAME
RM1	RENDERED FINISH - NATURAL CONCRETE
RM2	TEXTURED RENDERED FINISH - MID GREY
SM1	DOWNHOLE SHEET METAL CLADDING
STN	STONE CLADDING
TL11	TILE FINISH TO MATCH POOL SURROUND

**EXTERNAL ROOF FINISHES**

CODE	DESCRIPTION
RF01	STRAIT SPEED DECK ULTRA CONCEALED FINING. COLORBOND FINISH 'BASALT'

NOTE:  
ROOFING TO COMPLY WITH PROVISIONS OF NCC 3.5.1.3.  
ROOF DRAINAGE & DOWNPIPES IN ACCORDANCE WITH NCC 3.5.3.5.

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
11/07/22		REVISED POOL BARRIER FENCING	06				
29/07/22		ISSUED FOR BUILDING APPROVAL	07				
11/08/22		DIMENSIONS UPDATED	08				
02/09/22		POOL UPDATED	09				

**CONSTRUCTION**  
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Location

03 DA201

turco and associates

Suite 30, 2 King Street Deakin  
Carberra ACT 2600  
+61 6162 0735  
e: carberra@turcoassociates.com.au  
w: turcoassociates.com.au

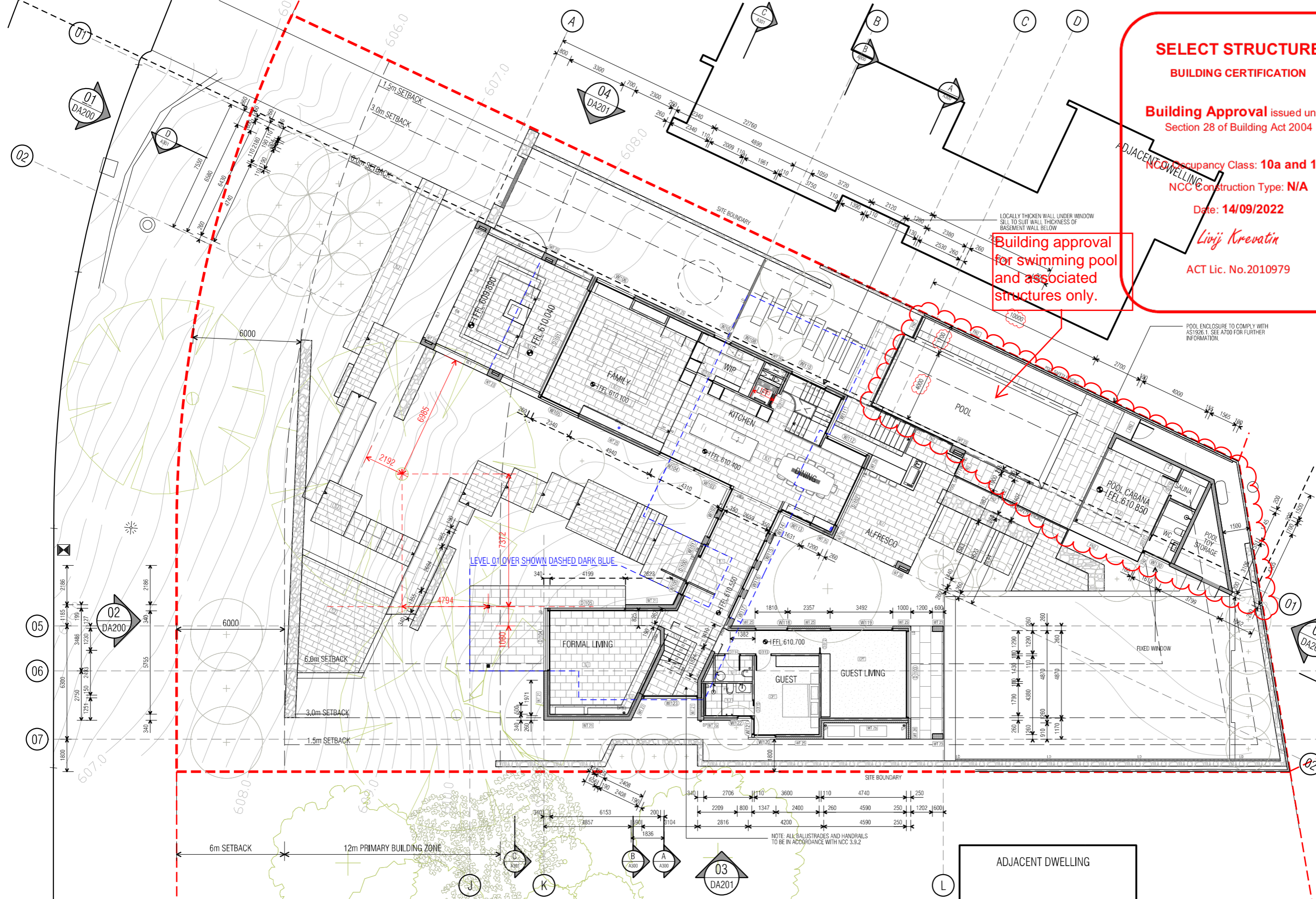
STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

NOTE:  
ALL WORK IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REGULATIONS. CARRY OUT ALL WORK IN THE BEST AND TRADESMAN LIKE MANNER AND TO THE SATISFACTION OF THE SUPERVISOR.  
ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED

PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN

GENERAL NOTES:  
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DRAWING TITLE		
FLOOR PLANS		
BASEMENT		
SCALE	DRAWN	CHECKED
1:100 @A1	MP	MT
1:200 @A3		
JOB NO.	DATE	
TA2056	02/09/22	
STATUS	DRAWING NO.	REVISION
WD	A100	09



**SELECT STRUCTURE BUILDING CERTIFICATION**

**Building Approval issued under Section 28 of Building Act 2004**

NCC Occupancy Class: **10a and 10b**  
 NCC Construction Type: **N/A**

Date: **14/09/2022**  
*Livij Krevatin*  
 ACT Lic. No.2010979

GENERAL LEGEND	
CODE	DESCRIPTION
AC	AIR CONDITIONING UNIT TO SERVICE ENGINEERS SPEC.
DP	DOWNPIPE, REFER HYDRAULIC DOCUMENTATION
FW	FLOOR WASTE
HW	BOILER UNIT - HEATING SYSTEM
LD	LINEAR DRAIN
LB	LETTERBOX
MN	HYDRONIC HEATING MAINFOLD AND RELATED EQUIP LOCATION
PT	PIT TO CIVIL ENGINEERS DETAIL
RWH	RAINWATER HEAD
RWT	RAINWATER TANK
RR	RADIATOR LOCATION
SC	STEEL COLUMN
SD	SMOKE DETECTOR
SH	SHOWER
SL	SOLAR BATTERY RELATED EQUIP. LOCATION
SP	RAINWATER SPREADER
WO	WATER OUTLET
WT	RAINWATER HARVEST WATERTANK
-	FLOOR OUTLINE ABOVE
-	FLOOR OUTLINE BELOW

EXTERNAL WALL FINISHES	
CODE	DESCRIPTION
BL1	BALUSTADING TO COMPLY WITH NCC 3.9.2
BL2	GLASS BALUSTRADE PERIMETER FIXED
FG1	BATTEN FENCE AND GATE
FG2	GLASS POOL FENCE
FG3	TIMBER PALING BOUNDARY FENCING TO BE 1.8m IN ACCORDANCE TO AS1926.1. FINISH AS SPECIFIED.
LVL 1	POWDERCOATED ALUMINIUM WEATHER LOUVRE PANEL
LVL2	BASEMENT EXHAUST & INTAKE WEATHER LOUVRES
PT11	PAINT FINISH - TO MATCH WINDOW FRAME
RN1	RENDERED FINISH - NATURAL CONCRETE
RN2	TEXTURED RENDERED FINISH - MID GREY
SM1	DOWNHOLE SHEET METAL CLADDING
STN	STONE CLADDING
TL11	TILE FINISH TO MATCH POOL SURROUND

EXTERNAL ROOF FINISHES	
CODE	DESCRIPTION
RF01	STRAIT SPEED DECK ULTRA CONCEALED FINING. COLORBOND FINISH 'BASALT'

NOTE:  
 ROOFING TO COMPLY WITH PROVISIONS OF NCC 3.5.1.3.  
 ROOF DRAINAGE & DOWNPIPES IN ACCORDANCE WITH NCC 3.5.3.5.  
 ALL POOL FENCING TO COMPLY WITH AS 1926.1 SWIMMING POOL FENCING REQUIREMENTS

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
11/07/22		REVISED POOL BARRIER FENCING	06				
29/07/22		REVISED NOTES AND POOL HOUSE WINDOW	07				
29/07/22		ISSUED FOR BUILDING APPROVAL	07				
11/08/22		DIMENSIONS UPDATED	08				
02/09/22		POOL UPDATED	09				

**CONSTRUCTION**  
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Location

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 Page 115 of 155

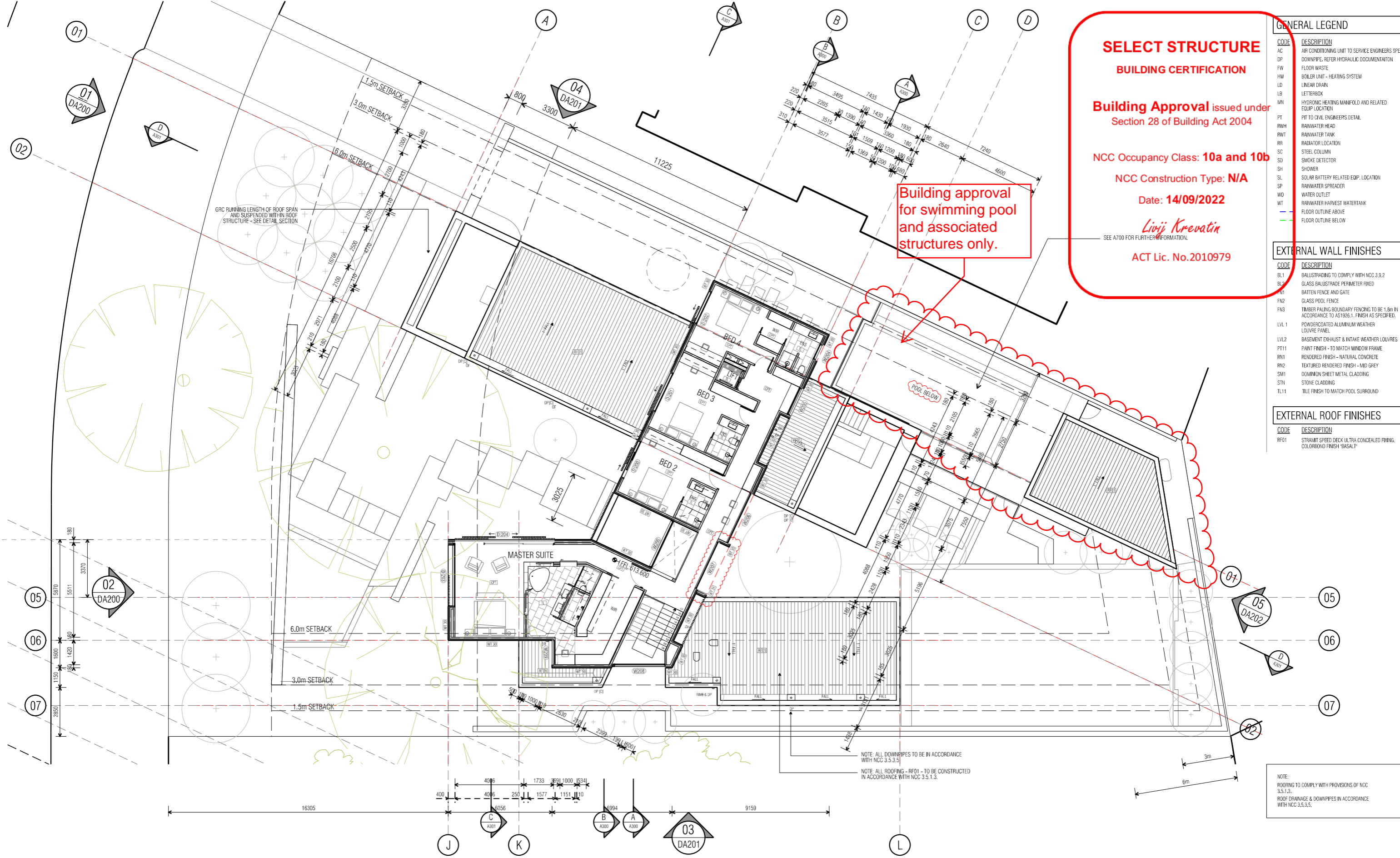
Suite 30, 2 King Street Deakin  
 Canberra ACT 2600  
 +61 6162 0735  
 e: canberra@turcoassociates.com.au  
 w: turcoassociates.com.au

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-

NOTE:  
 ALL WORK IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REGULATIONS. CARRY OUT ALL WORK IN THE BEST AND TRADESMAN LIKE MANNER AND TO THE SATISFACTION OF THE SUPERVISOR.  
 ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED

PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN
GENERAL NOTES:		
DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK. SHORT DRAWINGS OR SUB-DRAWINGS, ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECT/ENGINEER/DESIGNER PRIOR TO THE COMMENCEMENT OF WORK.		

DRAWING TITLE		
FLOOR PLANS		
GROUND PLAN		
SCALE	DRAWN	CHECKED
1:100 @A1	MP	MT
1:200 @A3		
JOB NO.	DATE	
TA2056	02/09/22	
STATUS	DRAWING NO.	REVISION
WD	A101	09



**SELECT STRUCTURE BUILDING CERTIFICATION**

Building Approval issued under Section 28 of Building Act 2004

NCC Occupancy Class: 10a and 10b

NCC Construction Type: N/A

Date: 14/09/2022

*Livji Krevatin*

SEE A700 FOR FURTHER INFORMATION.

ACT Lic. No.2010979

Building approval for swimming pool and associated structures only.

GENERAL LEGEND	
CODE	DESCRIPTION
AC	AIR CONDITIONING UNIT TO SERVICE ENGINEERS SPEC.
DP	DOWNPIPE, REFER HYDRAULIC DOCUMENTATION
FW	FLOOR WASTE
HW	BOILER UNIT - HEATING SYSTEM
LD	LINEAR DRAIN
LB	LETTERBOX
MN	HYDRONIC HEATING MANIFOLD AND RELATED EQUIP LOCATION
PT	PIT TO CIVIL ENGINEERS DETAIL
RWH	RAINWATER HEAD
RWT	RAINWATER TANK
RR	RADIATOR LOCATION
SC	STEEL COLUMN
SD	SMOKE DETECTOR
SH	SHOWER
SL	SOLAR BATTERY RELATED EQUIP. LOCATION
SP	RAINWATER SPREADER
WO	WATER OUTLET
WT	RAINWATER HARVEST WATERTANK
-	FLOOR OUTLINE ABOVE
-	FLOOR OUTLINE BELOW

EXTERNAL WALL FINISHES	
CODE	DESCRIPTION
BL1	BALUSTADING TO COMPLY WITH NCC 3.9.2
BL2	GLASS BALUSTRADE PERIMETER FIXED
FG1	BATTEN FENCE AND GATE
FG2	GLASS POOL FENCE
FG3	TIMBER PALING BOUNDARY FENCING TO BE 1.8m IN ACCORDANCE TO AS1926.1. FINISH AS SPECIFIED.
LVL 1	POWDERCOATED ALUMINIUM WEATHER LOUVER PANEL
LVL2	BASEMENT EXHAUST & INTAKE WEATHER LOUVRES
PT11	PAINT FINISH - TO MATCH WINDOW FRAME
RM1	RENDERED FINISH - NATURAL CONCRETE
RM2	TEXTURED RENDERED FINISH - MID GREY
SM1	DOWNHILL SHEET METAL CLADDING
STN	STONE CLADDING
TL11	TILE FINISH TO MATCH POOL SURROUND

EXTERNAL ROOF FINISHES	
CODE	DESCRIPTION
RF01	STRAIT SPEED DECK ULTRA CONCEALED FINING. COLORBOND FINISH 'BASALT'

NOTE:  
ROOFING TO COMPLY WITH PROVISIONS OF NCC 3.5.1.3.  
ROOF DRAINAGE & DOWNPIPES IN ACCORDANCE WITH NCC 3.5.3.5.

NOTE: ALL DOWNPIPES TO BE IN ACCORDANCE WITH NCC 3.5.3.5.  
NOTE: ALL ROOFING - RF01 - TO BE CONSTRUCTED IN ACCORDANCE WITH NCC 3.5.1.3.

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
11/07/22		REVISED POOL BARRIER FENCING	07				
23/07/22		ISSUED FOR BUILDING APPROVAL	08				
02/09/22		POOL UPDATED	09				

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Location

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Page 114 of 155

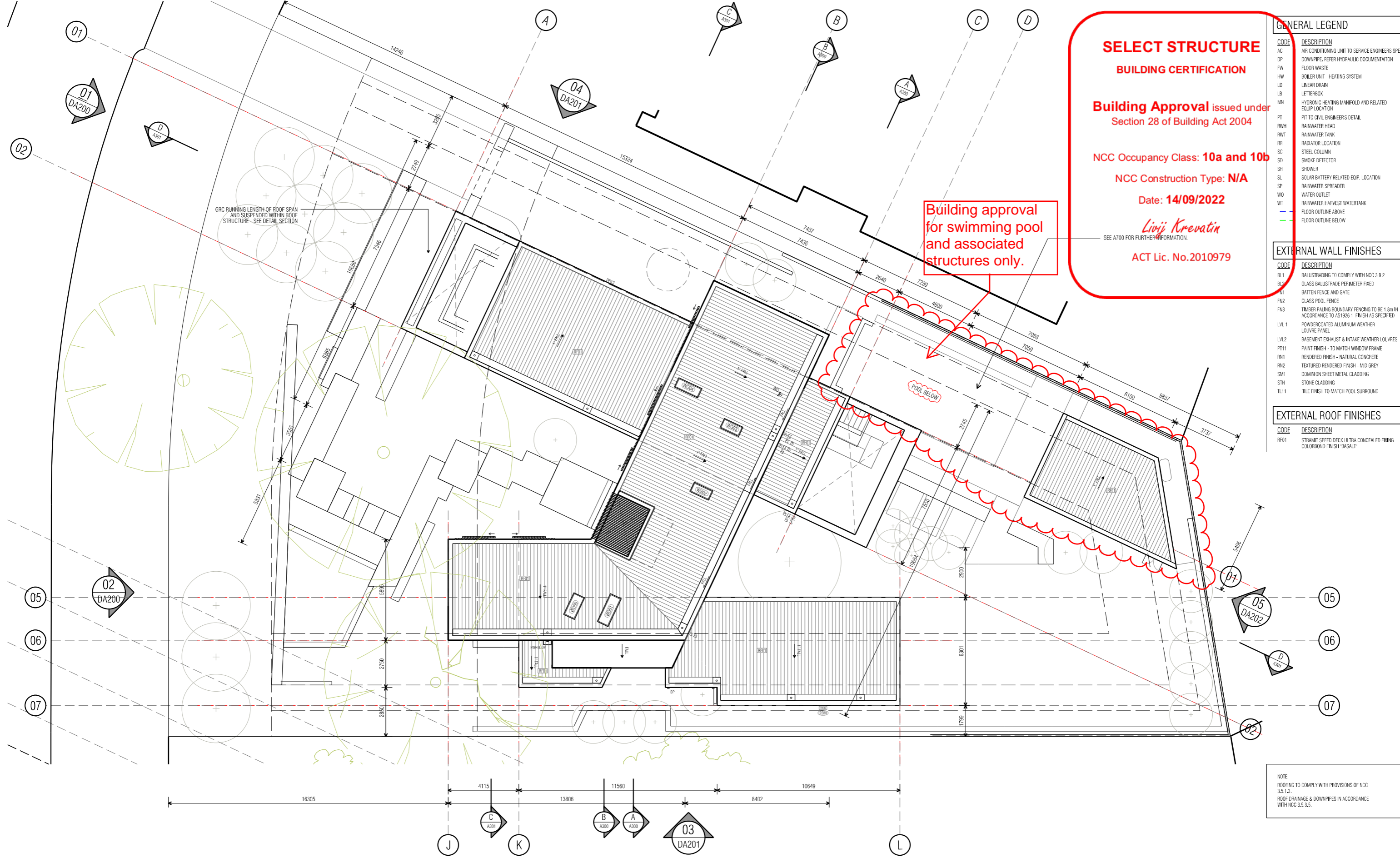
Suite 30, 2 King Street Deakin  
Carberra ACT 2600  
+61 6162 0735  
e: carberra@turcoassociates.com.au  
w: turcoassociates.com.au

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-

NOTE:  
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ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED

PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN
GENERAL NOTES:		
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DRAWING TITLE		
FLOOR PLANS		
FIRST FLOOR		
SCALE	DRAWN	CHECKED
1:100 @A1	MP	MT
1:200 @A3		
JOB NO.	DATE	
TA2056	02/09/22	
STATUS	DRAWING NO.	REVISION
WD	A102	09



**SELECT STRUCTURE  
BUILDING CERTIFICATION**

**Building Approval issued under  
Section 28 of Building Act 2004**

**NCC Occupancy Class: 10a and 10b**

**NCC Construction Type: N/A**

**Date: 14/09/2022**

*Livji Krevatin*

SEE A700 FOR FURTHER INFORMATION.

**ACT Lic. No.2010979**

Building approval  
for swimming pool  
and associated  
structures only.

GENERAL LEGEND	
CODE	DESCRIPTION
AC	AIR CONDITIONING UNIT TO SERVICE ENGINEERS SPEC.
DP	DOWNPIPE, REFER HYDRAULIC DOCUMENTATION
FW	FLOOR WASTE
HW	BOILER UNIT - HEATING SYSTEM
LD	LINEAR DRAIN
LB	LETTERBOX
MN	HYDRONIC HEATING MANIFOLD AND RELATED EQUIP LOCATION
PT	PIT TO CIVIL ENGINEERS DETAIL
RWH	RAINWATER HEAD
RWT	RAINWATER TANK
RR	RADIATOR LOCATION
SC	STEEL COLUMN
SD	SMOKE DETECTOR
SH	SHOWER
SL	SOLAR BATTERY RELATED EQUIP. LOCATION
SP	RAINWATER SPREADER
WO	WATER OUTLET
WT	RAINWATER HARVEST WATERTANK
-	FLOOR OUTLINE ABOVE
-	FLOOR OUTLINE BELOW

EXTERNAL WALL FINISHES	
CODE	DESCRIPTION
BL1	BALUSTADING TO COMPLY WITH NCC 3.9.2
BL2	GLASS BALUSTRADE PERIMETER FIXED
FG1	BATTEN FENCE AND GATE
FN2	GLASS POOL FENCE
FN3	TIMBER PALING BOUNDARY FENCING TO BE 1.8m IN ACCORDANCE TO AS1926.1. FINISH AS SPECIFIED.
LVL 1	POWDERCOATED ALUMINIUM WEATHER LOUVRE PANEL
LVL2	BASEMENT EXHAUST & INTAKE WEATHER LOUVRES
PT11	PAINT FINISH - TO MATCH WINDOW FRAME
RM1	RENDERED FINISH - NATURAL CONCRETE
RM2	TEXTURED RENDERED FINISH - MID GREY
SM1	DOWNHOLE SHEET METAL CLADDING
STN	STONE CLADDING
TL11	TILE FINISH TO MATCH POOL SURROUND

EXTERNAL ROOF FINISHES	
CODE	DESCRIPTION
RF01	STRAIT SPEED DECK ULTRA CONCEALED FINING. COLORBOND FINISH 'BASALT'

NOTE:  
ROOFING TO COMPLY WITH PROVISIONS OF NCC 3.5.1.3.  
ROOF DRAINAGE & DOWNPIPES IN ACCORDANCE WITH NCC 3.5.3.5.

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
11/07/22		REVISED POOL BARRIER FENCING	06				
23/07/22		ISSUED FOR BUILDING APPROVAL	07				
02/09/22		POOL UPDATED	08				

**CONSTRUCTION**

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Location

03  
DA201

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Page 115 of 155

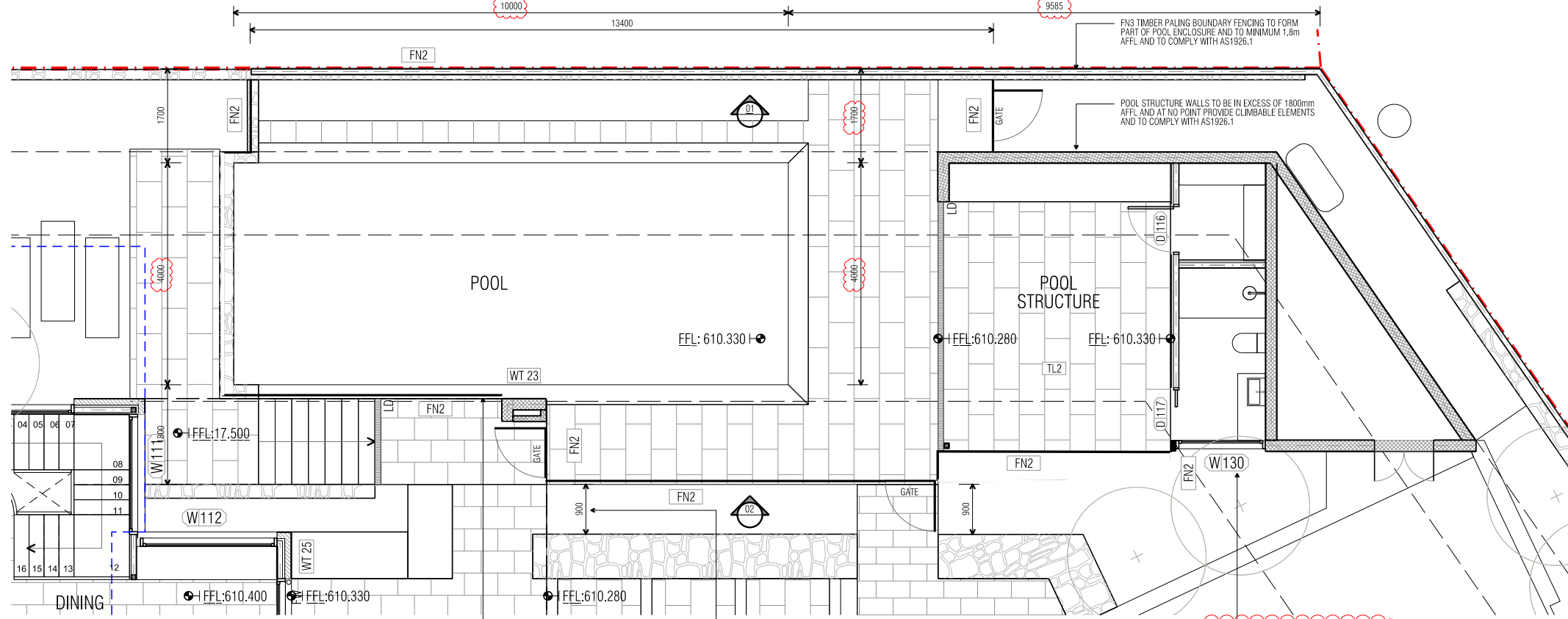
Suite 30, 2 King Street Deakin  
Carberra ACT 2600  
+61 6162 0735  
e: carberra@turcoassociates.com.au  
w: turcoassociates.com.au

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-

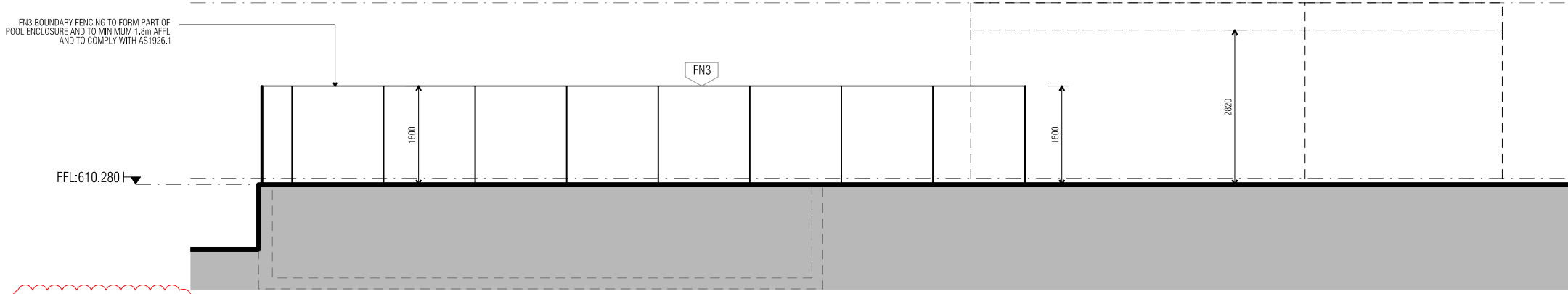
NOTE:  
ALL WORK IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REGULATIONS. CARRY OUT ALL WORK IN THE BEST AND PRACTICABLE MANNER AND TO THE SATISFACTION OF THE SUPERINTENDENT.  
ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED

PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN
GENERAL NOTES:		
DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF SHOP DRAWINGS OR CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECT/ENGINEER/DESIGNER PRIOR TO THE COMMENCEMENT OF WORK.		

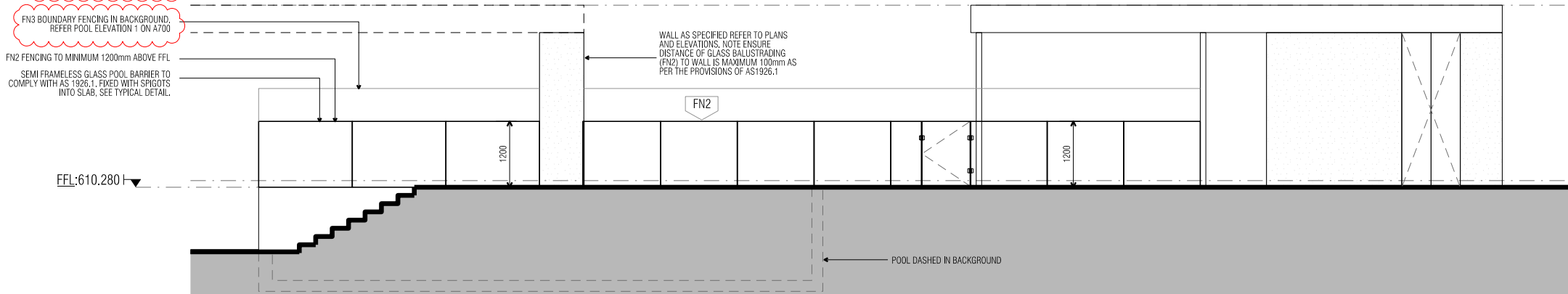
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FLOOR PLANS		
ROOF		
SCALE	DRAWN	CHECKED
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1:200 @A3		
JOB NO.	DATE	
TA2056	02/09/22	
STATUS	DRAWING NO.	REVISION
WD	A103	08



**00 POOL FENCING DETAIL PLAN**  
1:50 @ A1



**01 POOL ELEVATION**  
1:50 @ A1



**02 POOL ELEVATION**  
1:50 @ A1

**SELECT STRUCTURE**

**BUILDING CERTIFICATION**

**Building Approval** issued under  
Section 28 of Building Act 2004

**NCC Occupancy Class: 10a and 10b**

**NCC Construction Type: N/A**

**Date: 14/09/2022**

*Livija Krevatin*

**ACT LIC. NO 2018979**

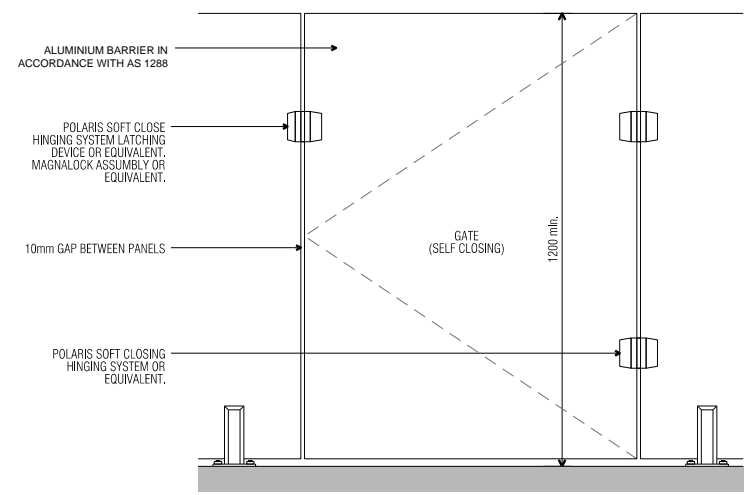
ALUMINIUM BARRIER IN ACCORDANCE WITH AS 1288

SPIGOTS AND FIXINGS TO PAVING SLAB AS PER MANUFACTURER'S SPECIFICATIONS.

20mm NOMINAL TILES AS SPECIFIED MITRED AND FULLY BONDED TO PAVING SLAB DESIGNED AS PER STRUCTURAL ENGINEER'S DETAIL SPECIFIED TILES TO MEET MINIMUM EXTERNAL SLIP RATING AS PER THE NCC.

PAVING SLABS TO ENGINEER'S SPECIFICATIONS

**03 TYPICAL POOL BARRIER DETAIL**  
1:5 @ A1



**04 TYPICAL POOL GATE ELEVATION**  
1:10 @ A1

**GENERAL NOTES**

POOL BARRIER FENCING TO BE MINIMUM 1200mm AFFL AND CLEARANCES TO POOL FENCING TO ADHERE TO REQUIREMENTS OF AS1926.1

ALL POOL BARRIER GATES ARE TO SWING OUTWARDS AND BE SELF CLOSING, SELF LATCHING AND FULLY SATISFY REQUIREMENTS OF AS 1926.1

ALL POOL DRAWINGS ARE TO BE REFERRED TO SELECTED POOL CONTRACTOR FOR THEIR APPROVAL AND COMPLIANCE IN ACCORDANCE WITH AS1926.1

ANY CHANGES TO POOL ENCLOSURE EXTENT, FIXING DETAILS, OR GLASS SPECIFICATIONS ARE TO ENSURE COMPLIANCE IN ACCORDANCE WITH AS1926.1

DATE	AI NO.	COMMENT	REV.	DATE	AI NO.	COMMENT	REV.
11/07/2022		REVISED POOL GATE & BARRIER DETAIL	01				
23/07/2022		REVISED NOTES, ISSUED FOR BUILDING APPROVAL	02				
08/09/2022		REVISED POOL DIMENSIONS	03				
14/09/2022		REVISED POOL DIMENSIONS	04				

**CONSTRUCTION**

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Location

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Page 118 of 133

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w: turcoassociates.com.au

STRUCTURAL ENGINEER	HYDRAULIC ENGINEER	MECHANICAL ENGINEER
-	-	-
-	-	-
-	-	-
-	-	-

**NOTE:**  
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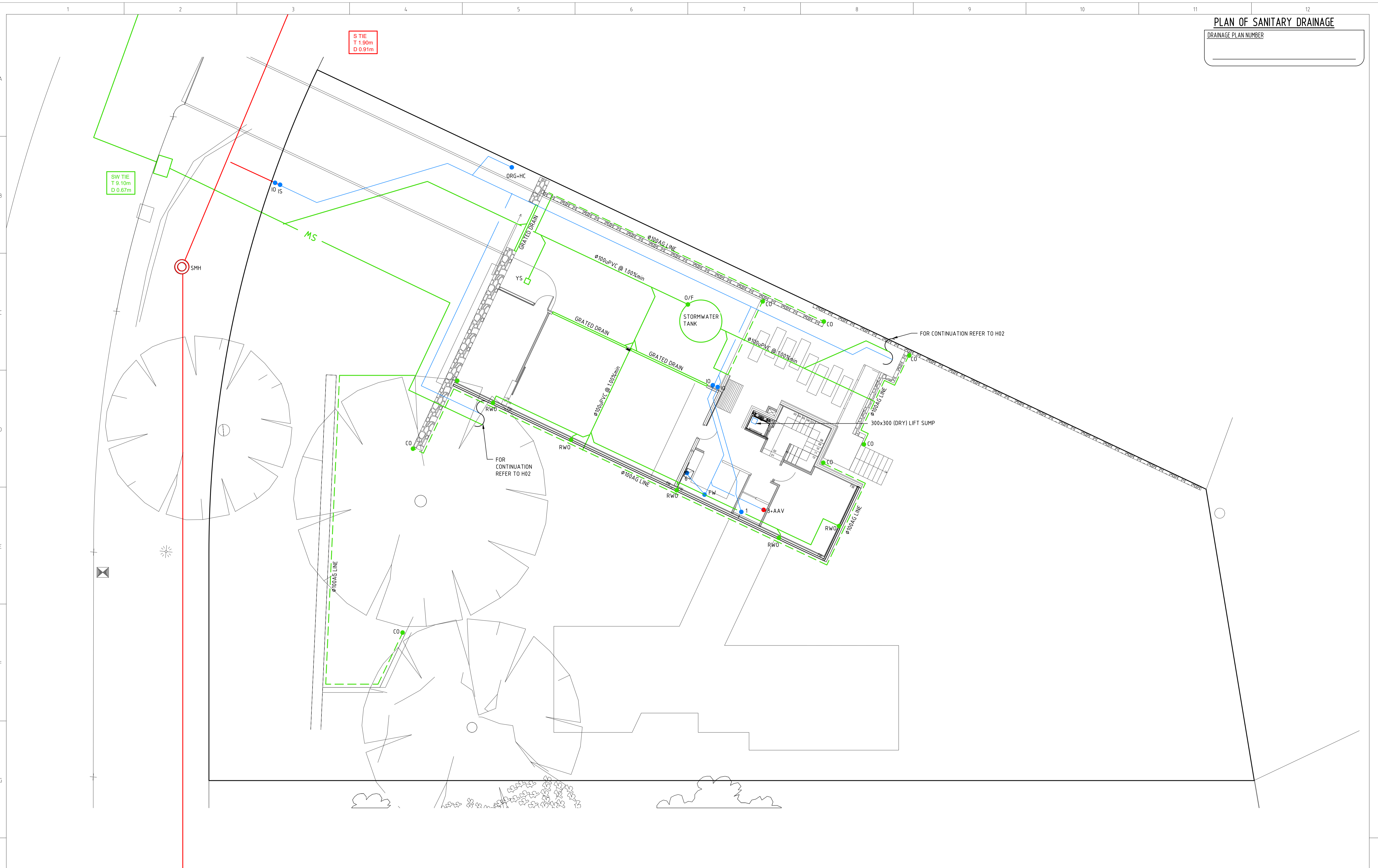
PROJECT		
NORTHCOTE HOUSE		
CLIENT		
ALEKSANDAR		
BLOCK	SECTION	DIVISION
11	09	DEAKIN
GENERAL NOTES:		
DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF SHOP DRAWINGS OR FIXING. ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECT/ENGINEER/DESIGNER PRIOR TO THE COMMENCEMENT OF WORK.		

DRAWING TITLE		
POOL BARRIER DETAILS		
SHEET 01		
SCALE	DRAWN	CHECKED
1:50 @A1	MP	MT
1:100 @A3		
JOB NO.	DATE	
TA2056	14.09.22	
STATUS	DRAWING NO.	REVISION
WD	A700	04

PLAN OF SANITARY DRAINAGE

DRAINAGE PLAN NUMBER

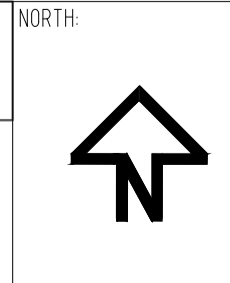
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WORK AS EXECUTED

**ACT CONSULTING ENGINEERS**  
 CIVIL • STRUCTURAL • HYDRAULIC  
 5 TORRENS STREET BRADDON, ACT, 2612  
 WWW.ACTCE.COM.AU - OFFICE@ACTCE.COM.AU - 02 6103 0671

0 1 2 3 4 5m  
 SCALE 1:100 @ A1  
 NORTH  
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REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED
A	INTERIM PLAN - FOR REVIEW	06.09.2021	JP	JP	IK
B	INTERIM PLAN - FOR REVIEW	03.03.2022	JP	JP	IK
C	WORK AS EXECUTED	07.04.2025	JP	JP	IK

CLIENT:

ALEXANDER MILADINOVIC

PROJECT:

PROPOSED RESIDENCE

SITE ADDRESS:

BLOCK 11 SECTION 9  
 DEAKIN

SCALE:  
 1:100 @ A1  
 PROJECT No:  
 21-944

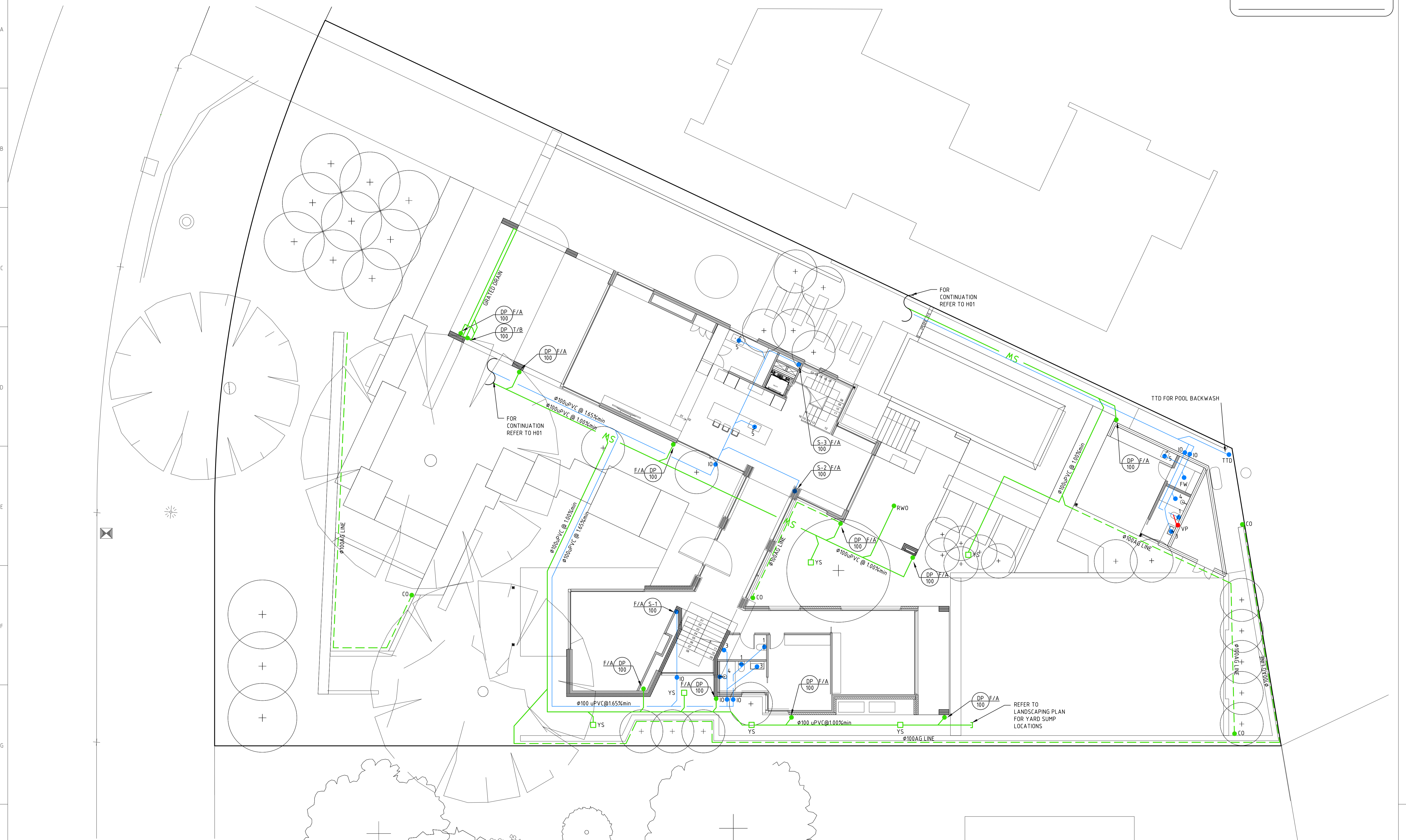
DATE:  
 06.09.2021  
 REVISION:  
 C

DWG No:  
 H01

HYDRAULIC SERVICES  
 BASEMENT FLOOR PLAN

PLAN OF SANITARY DRAINAGE

DRAINAGE PLAN NUMBER

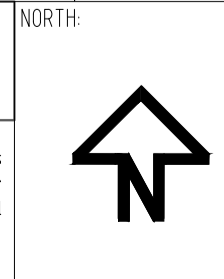


WORK AS EXECUTED

**ACT CONSULTING ENGINEERS**  
CIVIL • STRUCTURAL • HYDRAULIC  
 5 TORRENS STREET BRADDON, ACT, 2612  
 WWW.ACTCE.COM.AU - OFFICE@ACTCE.COM.AU - 02 6103 0671

0 1 2 3 4 5m  
 SCALE 1:100 @ A1

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REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED
A	INTERIM PLAN - FOR REVIEW	06.09.2021	JP	JP	IK
B	INTERIM PLAN - FOR REVIEW	03.03.2022	JP	JP	IK
C	WORK AS EXECUTED	07.04.2025	JP	JP	IK

CLIENT: ALEXANDER MILADINOVIC

PROJECT: PROPOSED RESIDENCE

SITE ADDRESS: BLOCK 11 SECTION 9 DEAKIN

SCALE: 1:100 @ A1 DATE: 06.09.2021 DWG No.: H02

PROJECT No.: 21-944 REVISION: C

DRAWING TITLE: HYDRAULIC SERVICES GROUND FLOOR PLAN



# Energy Efficiency Rating



## UNDERSTANDING YOUR ENERGY EFFICIENCY RATING (EER)

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An energy efficiency rating (EER) is a rating used to identify the energy efficiency of homes in the ACT.

The Civil Law (Sale of Residential Property) Act 2003 requires all homes being sold in the ACT to carry an energy efficiency rating (EER). This enables owners and buyers to compare a home's passive energy performance characteristics with others for sale in the Territory.

In the ACT, established homes are assessed using 1st generation software, and can achieve **0 to 6 stars** in the rating scheme.

Houses with a higher EER are more cost and energy efficient, use less energy for heating and cooling, generate lower greenhouse gas emissions, and are more comfortable.

### **What information is taken into account when assessing my homes energy efficiency?**

- Layout of the home
- Construction of its roof, walls, windows, and floor
- Wall, floor, and ceiling insulations
- Orientation of windows and shading of the sun's path and local breezes
- Influence of the local climate
- Air leakages

### **What information is not applicable when assessing my homes energy efficiency?**

- Heating and cooling
- Hot water systems
- Lighting systems and appliances
- Solar panels

### **How can I improve my energy efficiency rating?**

Your energy efficiency report will include a list of design options (unless it's already achieved the maximum rating of 6 stars). This will outline the improvements that can be made to gain additional points and increase the overall star rating of your home.

### **When I built my home, I was provided with a 10-star energy rating. Why has this decreased?**

The ACT Government has two software systems in place to generate energy efficiency ratings:

1. Established homes: An on site assessment using 1st generation software. A maximum of 6 stars can be achieved.
2. Brand new homes: A computer based assessment using 2nd generation software. A maximum of 10 stars can be achieved.

If you hold an energy efficiency rating that exceeds 6 stars, it is a 2nd generation EER and would have been provided when your home was brand new.

When assessing a home's energy efficiency for the purpose of sale, property inspection companies are required to use 1st generation software, which will achieve a maximum of 6 stars.

# FirstRate Report



**YOUR HOUSE ENERGY RATING IS:** ★★☆☆

**4 STARS**

**in Climate: 24**

**SCORE: -10 POINTS**

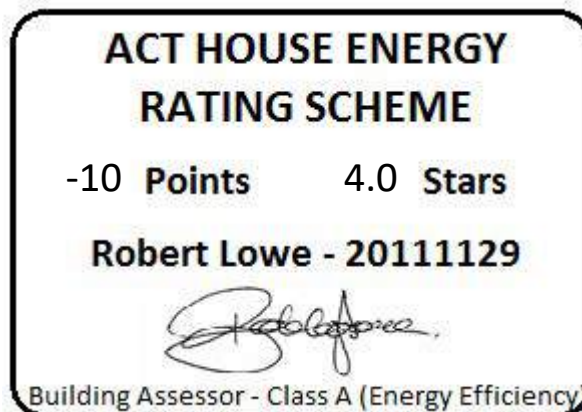
**Name:** Miladinovic

**Ref No:** 70589

**House Title:** Block 11 Section 9 DEAKIN

**Date:** 17-06-2026

**Address:** 5 Northcote Cres, Deakin ACT 2600



This rating only applies to the floor plan, construction details, orientation and climate as submitted and included in the attached Rating Summary. Changes to any of these could affect the rating.

# IMPROVING YOUR RATING

The table below shows the current rating of your house and its potential for improvement.

Star Rating	POOR			AVERAGE				GOOD				V. GOOD
	0 Star	★	★★	★★★	★★★★	★★★★★	★★★★★★	★★★★★★★	★★★★★★★★	★★★★★★★★★	★★★★★★★★★★	
Point Score	-71	-70	-46	-45	-26	-25	-11	-10	4	5	16	17
Current	-10											
Potential	14											

Incorporating these design options will add the additional points required to achieve the potential rating shown in the table Each point represents about a 1% change in energy efficiency. This list is only a guide to the range of options that could be used.

Design options		Additional points
Change curtain to	Heavy Drapes & Pelmets	19
Add northerly blinds	100 %	2
Add westerly blinds	100 %	3

## ORIENTATION

Orientation is one of the key factors which influences energy efficiency. This dwelling will achieve different scores and star ratings for different orientations.

<b>Current Rating</b>	<b>-10</b>	<b>★★★★</b>
-----------------------	------------	-------------

Largest windows in the dwelling;

**Direction : WNW**

**Area : 65 m<sup>2</sup>**

The table below shows the total score for the dwelling when these windows face the direction indicated.

**Note that obstructions overshadowing windows have been removed from all windows in these ratings to allow better comparisons to be made between orientations.**

<b>ORIENTATION</b>	<b>POINT SCORE</b>	<b>STAR RATING</b>
<b>1. West</b>	<b>-8</b>	<b>★★★★</b>
<b>2. North West</b>	<b>-7</b>	<b>★★★★</b>
<b>3. North</b>	<b>-4</b>	<b>★★★★</b>
<b>4. North East</b>	<b>-4</b>	<b>★★★★</b>
<b>5. East</b>	<b>-9</b>	<b>★★★★</b>
<b>6. South East</b>	<b>-13</b>	<b>★★★☆☆</b>
<b>7. South</b>	<b>-10</b>	<b>★★★☆☆</b>
<b>8. South West</b>	<b>-11</b>	<b>★★★☆☆</b>

FirstRate Mode
Climate: 24

**RATING SUMMARY for: Block 11 Section 9 DEAKIN, 5 Northcote Cres, Deakin ACT 2600,**

Assessor's Name:

Net Conditioned Floor Area: 419.4 m<sup>2</sup>

				Points		
Feature				Winter	Summer	Total
<b>CEILING</b>				<b>12</b>	<b>0</b>	<b>12</b>
Surface Area:	5	Insulation:	9			
<b>WALL</b>				<b>7</b>	<b>-1</b>	<b>6</b>
Surface Area:	-1	Insulation:	8	Mass:	-1	
<b>FLOOR</b>				<b>9</b>	<b>-1</b>	<b>8</b>
Surface Area:	3	Insulation:	-1	Mass:	5	
<b>AIR LEAKAGE (Percentage of score shown for each element)</b>				<b>7</b>	<b>0</b>	<b>7</b>
Fire Place	0 %	Vented Skylights	0 %			
Fixed Vents	0 %	Windows	49 %			
Exhaust Fans	15 %	Doors	17 %			
Down Lights	0 %	Gaps (around frames)	19 %			
<b>DESIGN FEATURES</b>				<b>0</b>	<b>1</b>	<b>1</b>
Cross Ventilation	1					
<b>ROOF GLAZING</b>				<b>-1</b>	<b>-3</b>	<b>-4</b>
Winter Gain	2	Winter Loss	-2			
<b>WINDOWS</b>				<b>0</b>	<b>-31</b>	<b>-31</b>
Window Direction	Area		Point Scores			
	m2	%NCFA	Winter* Loss	Winter Gain	Summer Gain	Total
<b>N</b>	12	3%	-3	6	-2	1
<b>NNE</b>	25	6%	-7	12	-4	1
<b>E</b>	12	3%	-3	4	-2	-1
<b>ESE</b>	49	12%	-15	15	-6	-6
<b>S</b>	18	4%	-6	3	-2	-5
<b>SSW</b>	20	5%	-6	2	-2	-5
<b>WSW</b>	8	2%	-2	3	-2	-2
<b>W</b>	2	1%	-1	0	0	-1
<b>WNW</b>	65	15%	-19	16	-10	-13
<b>NNW</b>	10	2%	-3	3	-1	-1
<b>Total</b>	<b>222</b>	<b>53%</b>	<b>-65</b>	<b>65</b>	<b>-31</b>	<b>-31</b>

\* Air movement over glazing can significantly increase winter heat losses. SEAV recommends heating/cooling duct outlets be positioned to avoid air movement across glass or use deflectors to direct air away from glass.

The contribution of heavyweight materials to the window score is 9 points

			Winter	Summer	Total
<b>RATING</b>	<b>★★★★</b>	<b>SCORE</b>	<b>34</b>	<b>-35</b>	<b>-10*</b>

\* includes -8 points from Area Adjustment

# Detailed House Data

## House Details

ClientName Miladinovic  
HouseTitle Block 11 Section 9 DEAKIN  
StreetAddress 5 Northcote Cres, Deakin ACT 2600  
FileCreated 17-06-2026

## Climate Details

State  
Town Canberra  
Postcode 2600  
Zone 24

## Floor Details

ID	Construction	Sub Floor	Upper	Shared	Foil	Carpet	Ins RValue	Area
1	Timber	NA	Yes	No	No	Tiles	R0.0	32.0m <sup>2</sup>
2	Timber	NA	Yes	No	No	Carp	R0.0	154.6m <sup>2</sup>
3	Concrete Slab on ground	No Subfloor	No	No	No	Carp	R0.0	50.0m <sup>2</sup>
4	Concrete Slab on ground	No Subfloor	No	No	No	Tiles	R0.0	85.4m <sup>2</sup>
5	Suspended Slab	Enclosed	No	No	No	Tiles	R4.0	136.2m <sup>2</sup>

## Wall Details

ID	Construction	Shared	Ins RValue	Length	Height
1	Brick Veneer	No	R2.5	84.6m	2.7m
2	Framed: FC Sheet Clad	No	R6.0	84.9m	2.6m
3	Brick Veneer	No	R2.5	30.0m	3.0m

## Ceiling Details

ID	Construction	Shared	Foil	Ins RValue	Area
1	Attic - Low Ventilation	No	Yes	R5.0	271.6m <sup>2</sup>

## Window Details

ID	Dir	Height	Width	Utility	Glass	Frame	Curtain	Blind	Fixed & Adj Eave	Fixed Eave	Head to Eave
2	NNE	2.6m	2.0m	No	DG2	ALIMPR	HB	No	0.0m	0.0m	0.0m
3	ESE	2.6m	2.2m	No	DG2	ALIMPR	HB	No	0.0m	0.0m	0.0m
4	NNE	2.6m	2.0m	No	DG2	ALIMPR	HB	No	0.0m	0.0m	0.0m
5	NNE	2.2m	2.3m	No	DG2	ALIMPR	HB	No	2.4m	2.4m	0.0m
6	ESE	2.6m	4.5m	No	DG2	ALIMPR	HB	No	2.4m	2.4m	0.0m
7	SSW	1.8m	1.5m	No	DG2	ALIMPR	HB	No	2.4m	2.4m	0.0m
8	ESE	2.6m	1.3m	No	DG2	ALIMPR	NC	No	0.6m	0.6m	0.0m
9	ESE	2.6m	1.3m	No	DG2	ALIMPR	NC	No	0.6m	0.6m	0.0m
10	ESE	2.6m	1.3m	No	DG2	ALIMPR	NC	No	0.6m	0.6m	0.0m
11	ESE	2.6m	1.3m	No	DG2	ALIMPR	NC	No	0.6m	0.6m	0.0m
12	ESE	2.6m	1.3m	No	DG2	ALIMPR	NC	No	0.6m	0.6m	0.0m
13	N	2.4m	1.7m	No	DG2	ALIMPR	HB	No	0.0m	0.0m	0.0m
14	N	2.4m	3.4m	No	DG2	ALIMPR	HB	No	0.0m	0.0m	0.0m
15	E	2.4m	4.8m	No	DG2	ALIMPR	HB	No	0.0m	0.0m	0.0m
16	S	2.4m	1.1m	No	DG2	ALIMPR	HB	No	0.0m	0.0m	0.0m
17	W	2.4m	0.9m	No	DG2	ALIMPR	HB	No	0.0m	0.0m	0.0m
18	S	2.4m	0.7m	No	DG2	ALIMPR	NC	No	0.0m	0.0m	0.0m
19	S	5.0m	2.8m	No	DG2	ALIMPR	NC	No	0.0m	0.0m	0.0m
20	WNW	2.4m	3.6m	No	DG2	ALIMPR	NC	No	0.0m	0.0m	0.0m
21	WNW	2.4m	4.0m	No	DG2	ALIMPR	HB	Yes	2.4m	0.0m	0.0m
22	WNW	3.0m	3.0m	No	DG2	ALIMPR	HB	No	4.0m	4.0m	0.0m
23	WNW	1.5m	2.4m	No	DG2	ALIMPR	HB	Yes	1.5m	0.0m	0.0m
24	WNW	1.5m	2.4m	No	DG2	ALIMPR	HB	Yes	1.5m	0.0m	0.0m
25	WNW	1.5m	2.4m	No	DG2	ALIMPR	HB	Yes	1.5m	0.0m	0.0m
26	ESE	2.4m	1.0m	No	DG2	ALIMPR	NC	No	0.0m	0.0m	0.0m
27	ESE	2.0m	3.1m	No	DG2	ALIMPR	NC	No	0.0m	0.0m	0.0m

28	ESE	2.0m	3.1m	No	DG2	ALIMPR	NC	No	0.0m	0.0m	0.0m
29	WSW	2.4m	3.4m	No	DG2	ALIMPR	HB	No	0.0m	0.0m	0.0m
30	NNW	2.4m	4.3m	No	DG2	ALIMPR	HB	No	2.0m	2.0m	0.0m
31	WNW	2.4m	0.6m	No	DG2	ALIMPR	HB	No	4.0m	4.0m	0.2m
32	WNW	2.4m	0.6m	No	DG2	ALIMPR	HB	No	4.0m	4.0m	0.2m
33	WNW	2.4m	1.2m	No	DG2	ALIMPR	HB	No	4.0m	4.0m	0.2m
34	WNW	2.4m	1.2m	No	DG2	ALIMPR	HB	No	4.0m	4.0m	0.2m
35	SSW	2.7m	4.0m	No	DG2	ALIMPR	HD	No	4.0m	4.0m	0.2m
36	SSW	3.0m	2.2m	No	DG2	ALIMPR	HD	No	0.0m	0.0m	0.0m
37	WNW	3.0m	6.0m	No	DG2	ALIMPR	HD	No	0.0m	0.0m	0.0m
38	NNE	2.7m	2.2m	No	DG2	ALIMPR	HD	No	0.0m	0.0m	0.0m
39	NNE	1.6m	2.2m	No	DG2	ALIMPR	HB	No	0.0m	0.0m	0.0m

### Window Shading Details

ID	Dir	Height	Width	Obst Height	Obst Dist	Obst Width	Obst Offset	LShape Left Fin	LShape Left Off	LShape Right Fin	LShape Right Off
5	NNE	2.2m	2.3m	0.0m	0.0m	0.0m	0.0m	2.4m	0.0m	0.0m	0.0m
7	SSW	1.8m	1.5m	3.0m	5.0m	9.6m	-8.1m	0.0m	0.0m	6.9m	0.0m
8	ESE	2.6m	1.3m	0.0m	0.0m	0.0m	0.0m	3.0m	0.0m	7.0m	5.0m
9	ESE	2.6m	1.3m	0.0m	0.0m	0.0m	0.0m	3.0m	2.0m	7.0m	4.0m
10	ESE	2.6m	1.3m	0.0m	0.0m	0.0m	0.0m	3.0m	3.0m	7.0m	3.0m
11	ESE	2.6m	1.3m	0.0m	0.0m	0.0m	0.0m	3.0m	5.0m	7.0m	1.0m
12	ESE	2.6m	1.3m	0.0m	0.0m	0.0m	0.0m	3.0m	5.0m	7.0m	1.0m
13	N	2.4m	1.7m	3.0m	5.0m	3.0m	0.0m	6.9m	1.0m	0.0m	0.0m
17	W	2.4m	0.9m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	10.0m	0.0m
20	WNW	2.4m	3.6m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	3.0m	0.0m
22	WNW	3.0m	3.0m	0.0m	0.0m	0.0m	0.0m	4.0m	0.0m	4.0m	0.0m
33	WNW	2.4m	1.2m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	10.0m	1.4m
34	WNW	2.4m	1.2m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	10.0m	0.0m
35	SSW	2.7m	4.0m	0.0m	0.0m	0.0m	0.0m	6.0m	0.0m	0.0m	0.0m

### Sky Light Details

ID	Dir	Tilt	Type	Shade	Utility	Width	Length
1	N	0 degrees	Double Clear	No	No	1.0m	2.1m
2	N	0 degrees	Double Clear	No	No	1.0m	1.8m
3	N	0 degrees	Double Clear	No	No	0.5m	1.2m
4	N	0 degrees	Double Clear	No	No	0.5m	1.2m
5	N	0 degrees	Double Clear	No	No	0.5m	1.2m
6	N	0 degrees	Double Clear	No	No	0.5m	1.2m

### Zoning Details

Is there Cross Flow Ventilation ? Good

### Air Leakage Details

Location Suburban  
 Is there More than One Storey ? Yes  
 Is the Stairwell Separated by Doors ? No  
 Is the Entry open to the Living Area ? Yes  
 Is the Entry Door Weather Stripped ? Yes  
 Area of Heavyweight Mass 0m<sup>2</sup>  
 Area of Lightweight Mass 0m<sup>2</sup>

	Sealed	UnSealed
Chimneys	0	0
Vents	0	0
Fans	5	0
Downlights	0	0
Skylights	0	0
Utility Doors	0	0
External Doors	0	0

Unflued Gas Heaters 0  
 Percentage of Windows Sealed 98%  
 Windows - Average Gap Small  
 External Doors - Average Gap Small

Gaps & Cracks Sealed

Yes

# Insurance Certificates & Tax Invoice



# If a home was built before 1990 it may contain dangerous asbestos material

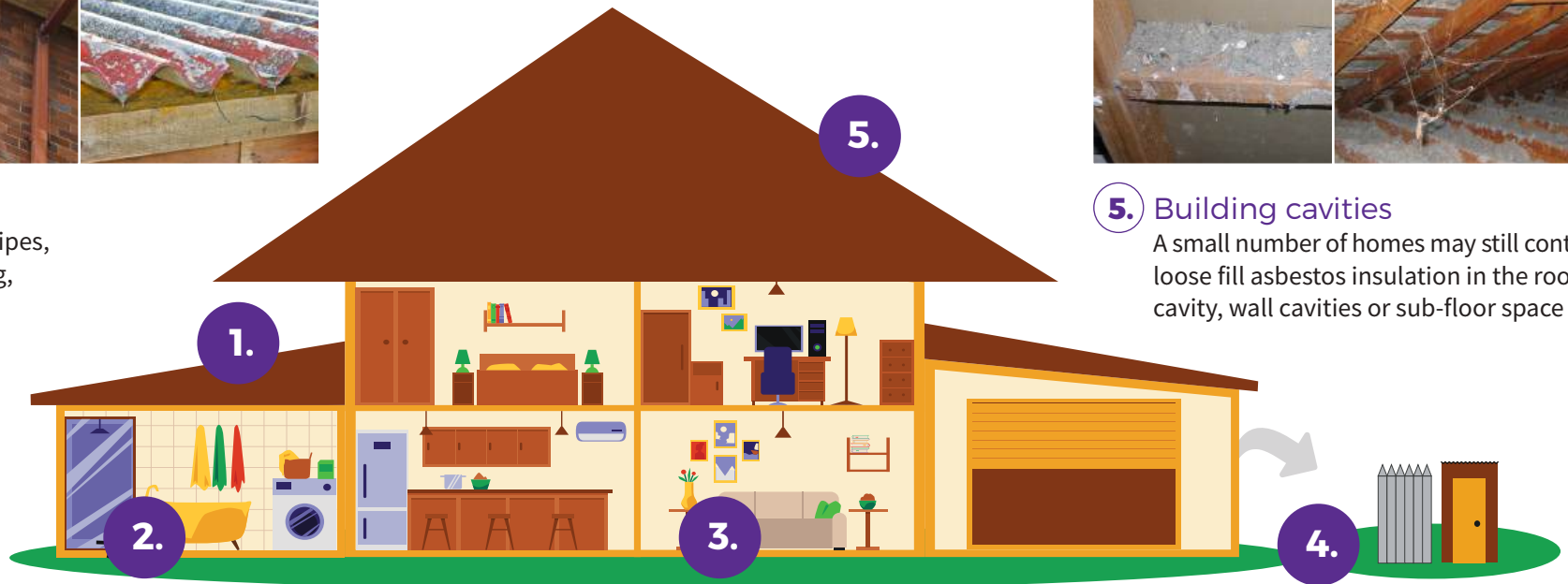
Identify where asbestos materials might be. Five common places are:



- 1.** Exterior  
roof sheeting, gutters, downpipes,  
ridge capping, eaves, cladding,  
electrical switchboards



- 5.** Building cavities  
A small number of homes may still contain  
loose fill asbestos insulation in the roof  
cavity, wall cavities or sub-floor space



- 2.** Wet areas - bathroom, laundry and kitchen  
wall and ceiling panels, vinyl floor tiles, backing for wall tiles  
and splashbacks, hot water pipe insulation



- 3.** Internal areas  
wall and ceiling panels, carpet underlay,  
textured panels, insulation in domestic  
heaters



- 4.** Backyard  
fences, sheds, garages, carports, dog kennels, buried or  
dumped waste, letterboxes, swimming pools

# If a home was built before 1990 it may contain dangerous asbestos material

## Assess the risk

A licensed asbestos assessor can help identify asbestos in your home and its condition.

### Asbestos materials become dangerous when:



Broken or in poor  
condition



Damaged  
accidentally



Disturbed during  
renovation or repairs



Loose fill asbestos  
insulation



## Manage asbestos safely

- Monitor the condition of asbestos in your home
- Inform tradespeople of locations of asbestos in your home
- Avoid disturbing or damaging asbestos if working on your home
- Engage a licensed asbestos removalist to remove asbestos

If you suspect your home contains loose fill asbestos insulation, contact Access Canberra

For more information, visit [www.worksafe.act.gov.au](http://www.worksafe.act.gov.au) or call Access Canberra contact centre – 13 22 81

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If you need interpreting help, telephone the Translating and Interpreting Service on 131 450

Authorised by the ACT Parliamentary Counsel—also accessible at [www.legislation.act.gov.au](http://www.legislation.act.gov.au)

\*Advice based on the Asbestos Safety and Eradication Agency's residential asbestos disclosure research.

**TO WHOM THIS MAY CONCERN**

9<sup>th</sup> March 2026

**Certificate of Currency**

Dear Sir or Madam,

We, the undersigned Insurance Brokers acting on behalf of the Insured, hereby certify that the following described insurance is in force at this date.

**TYPE OF INSURANCE:** Professional Indemnity Insurance

**INSURED:** ACT Property Inspections Pty Ltd.

**ADDRESS OF INSURED:** Unit 1/33 Atree Court, Phillip ACT 2606, Australia.

**POLICY NUMBER:** B0507OE2600060

**PERIOD:** From: 30<sup>th</sup> March 2026 to: 30<sup>th</sup> March 2027  
At 4pm Local Standard Time at the Principal Address of the Insured.

**LIMIT OF LIABILITY:** AUD 5,000,000 in the annual aggregate inclusive of costs and expenses plus one reinstatement.

**INSURERS:** 100% Lloyd's of London

This letter is provided as a matter of information only and confers no rights on the holder. Our duties in relation to this insurance are to our client and we accept no duty of care or responsibility to you or any other third party and any liability to you or a third party is excluded. This letter does not amend, extend, or alter the coverage afforded by the policy, nor does it purport to set out all of the policy terms, conditions and exclusions. The policy terms, conditions, limits, and exclusions may alter after the date of this document or the insurance may terminate or be cancelled, and the limits shown may be reduced to pay claims. We have no obligation to advise you of any changes which may be made to the policy or to advise you of their cancellation or termination.

Issued on behalf of Price Forbes & Partners



Adam Power  
**Executive Director**



**ACT  
PROPERTY  
INSPECTIONS**

# TAX INVOICE

Aleksandar Miladinovic & Mojgan Miladinovic  
5 Northcote Cres  
DEAKIN ACT 2600  
AUSTRALIA

**Invoice Date**  
10 Jun 2026

**Invoice Number**  
INV-70589

ACT Property Inspections  
(02) 6232 4540  
Unit 1, 33 Altree Ct  
PHILLIP ACT 2606  
ABN: 33 600 397 466

Description	Quantity	Unit Price	GST	Amount AUD
New Property Report	1.00	822.73	10%	822.73
			Subtotal	822.73
			TOTAL GST 10%	82.27
			<b>TOTAL AUD</b>	<b>905.00</b>

## Due Date: 7 Dec 2026

Payment terms – Deferred payment account. This account should be paid in full within 14 days on the earlier of:

- (a) Settlement of the property
- (b) If the Property has not been listed for sale within 3 months of the Property Inspection Date
- (c) If the property is no longer listed for sale
- (d) 180 days after the Property Inspection Date

Please pay within the payment terms to avoid the Deferred Payment Fee. Note: all bank/legal fees incurred in obtaining payment will be the customer's responsibility

### Payment Options

Pexa : please quote the invoice number as the reference

Direct Deposit : BSB: 012084 Account Number: 194679655  
Account Name: ACT Property Inspections Pty Ltd  
Please reference your name and invoice number

Cheques : please make payable to ACT Property Inspections Pty Ltd

[View and pay online now](#)