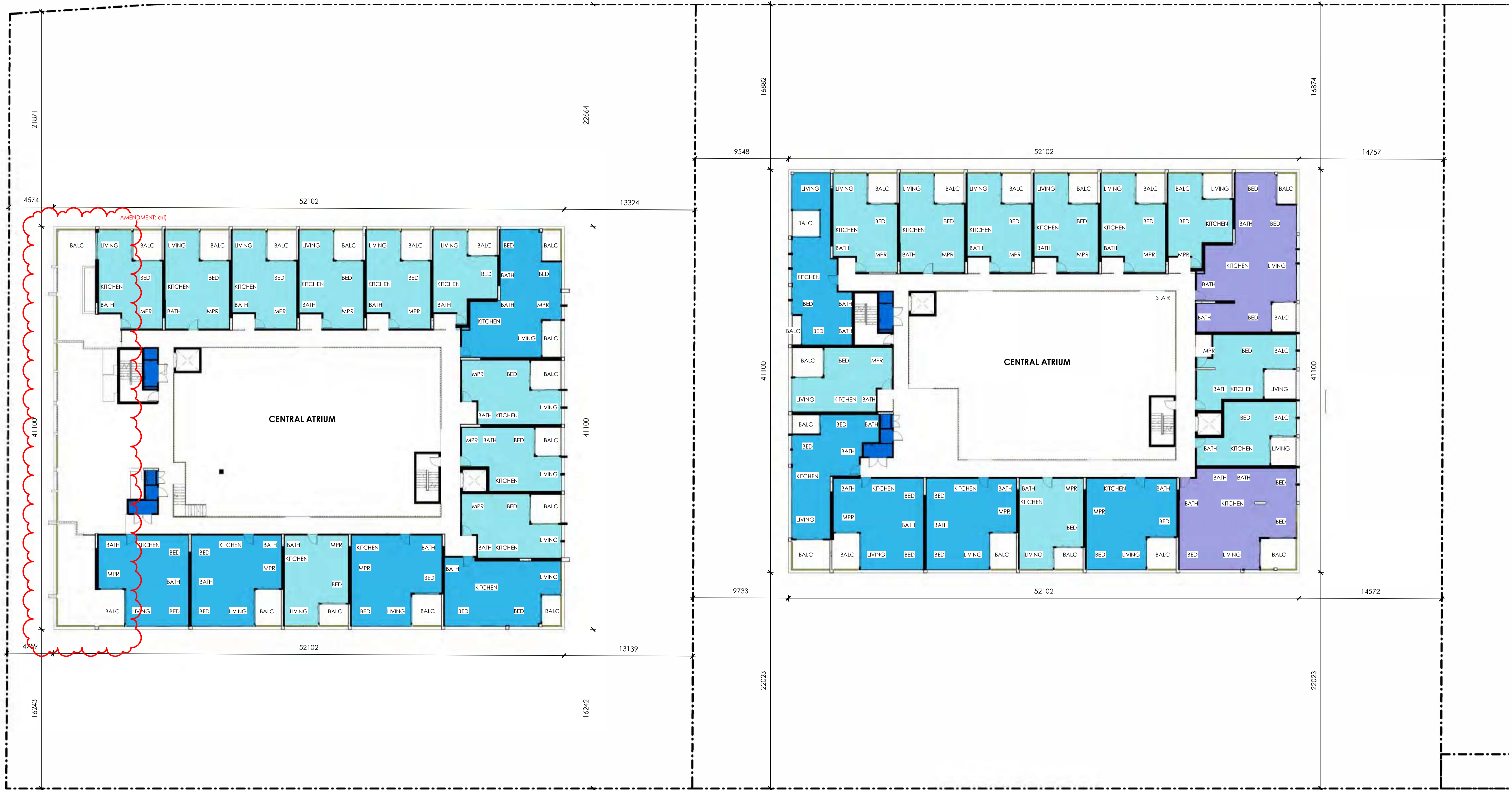


SUMMERFIELD CLOSE



JOHN GORTON DRIVE

1 DA - PUBLIC NOTIFICATION - LEVEL 06 A,B
SCALE: 1 : 200 (REF SHEET/ DETAIL: A 201.1 / 6)

NOD ITEMS:

- i)** Revised site plan, floor plans, landscape plan and elevations and sections, based on the relevant drawings submitted as part of the application, including:
- ii)** Detail elevation of the proposed fencing/courtyard walls/retaining walls along the southern boundary and also along the western boundary addressing Rule 11 of the Denman Prospect Precinct Map and Code and Rule 42A of the Multi Unit Housing Development Code (MUHDC);
- iii)** Revised pedestrian entrance to Summerfield Close. The concierge building is not supported and considered inconsistent with Rule/Criteria 29 of the MUHDC
- iv)** Landscaping on service spaces/service parking area on the northern part of the Summerfield Close frontage;
- v)** Updated Landscape plan to show height to the top of retaining walls shown in metres above relevant ground level;
- vi)** Height of the retaining wall, not to exceed 750mm along the southern edge of the verge crossing to comply with sight line;
- vii)** External stairs leading from Block 2 to Block 6 park to be reversed in direction (to descend towards the west) to further reduce bulk and scale of the development built to the southern boundary of Block 2. Landscaping area to be extended in the westerly direction to replace the space previously occupied by the stairs;
- viii)** Retaining walls around the swimming pool to be revisited to address Rule/Criteria 42A (Courtyard walls) of MUHDC;
- ix)** Elevation of the retaining walls/garden bed/stair/landscaping structures to be shown in detail to the satisfaction of EPSDD, addressing the relevant provisions,
- including RL's or AHD values of these structures;
- x)** Balustrade details complying with Rule/Criteria 64 (obscure glass panels or solid panels)
- b)** Endorsement from ACT Emergency Services Agency (ACTESA) in support of the proposed development. Please refer to the comments received from ACTESA.

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
SUBJECT TO THE CONDITIONS SET OUT IN THE NOTICE OF DECISION PURSUANT TO SECTION 162
Delegate name **Fawzia Majid**
Date 29/11/2022

PER LEVEL AREAS

- BED 1**
- BED 2**
- BED 3**
- SERVICES**

GENERAL NOTES

NOTE:
• WHERE INDICATED, PLAZA/ LANDSCAPING ELEMENTS INDICATIVE ONLY. REFER LANDSCAPE ARCHITECTS PLANS FOR DETAILS
• RESIDENTIAL LAYOUTS SHOWN (REFER TYPICAL UNITS PLANS FOR EXAMPLES OF POSSIBLE ALTERNATIVE LAYOUTS)

- DO NOT SCALE OFF DRAWINGS -

REFER SHEET: DA - OF THE SAME DRAWING NUMBER WITH -C FOR CONTINUATION (NOTE: LEVELS MAY VARY FROM DA1 - AB TO DA 1 - C SHEETS)

SUMMERFIELD CLOSE



JOHN GORTON DRIVE

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
SUBJECT TO THE CONDITIONS SET OUT IN THE
NOTICE OF DECISION
PURSUANT TO SECTION 162
Delegate name **Fawzia Majid**
Date 29/11/2022

PER LEVEL AREAS

- BED 1
- BED 2
- BED 3
- COMMUNAL SPACE
- SERVICES

GENERAL NOTES

NOTE:
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LANDSCAPING ELEMENTS INDICATIVE
ONLY. REFER LANDSCAPE ARCHITECTS
PLANS FOR DETAILS
• RESIDENTIAL LAYOUTS SHOWN
(REFER TYPICAL UNITS
PLANS FOR EXAMPLES OF POSSIBLE
ALTERNATIVE LAYOUTS)

- DO NOT SCALE OFF DRAWINGS -

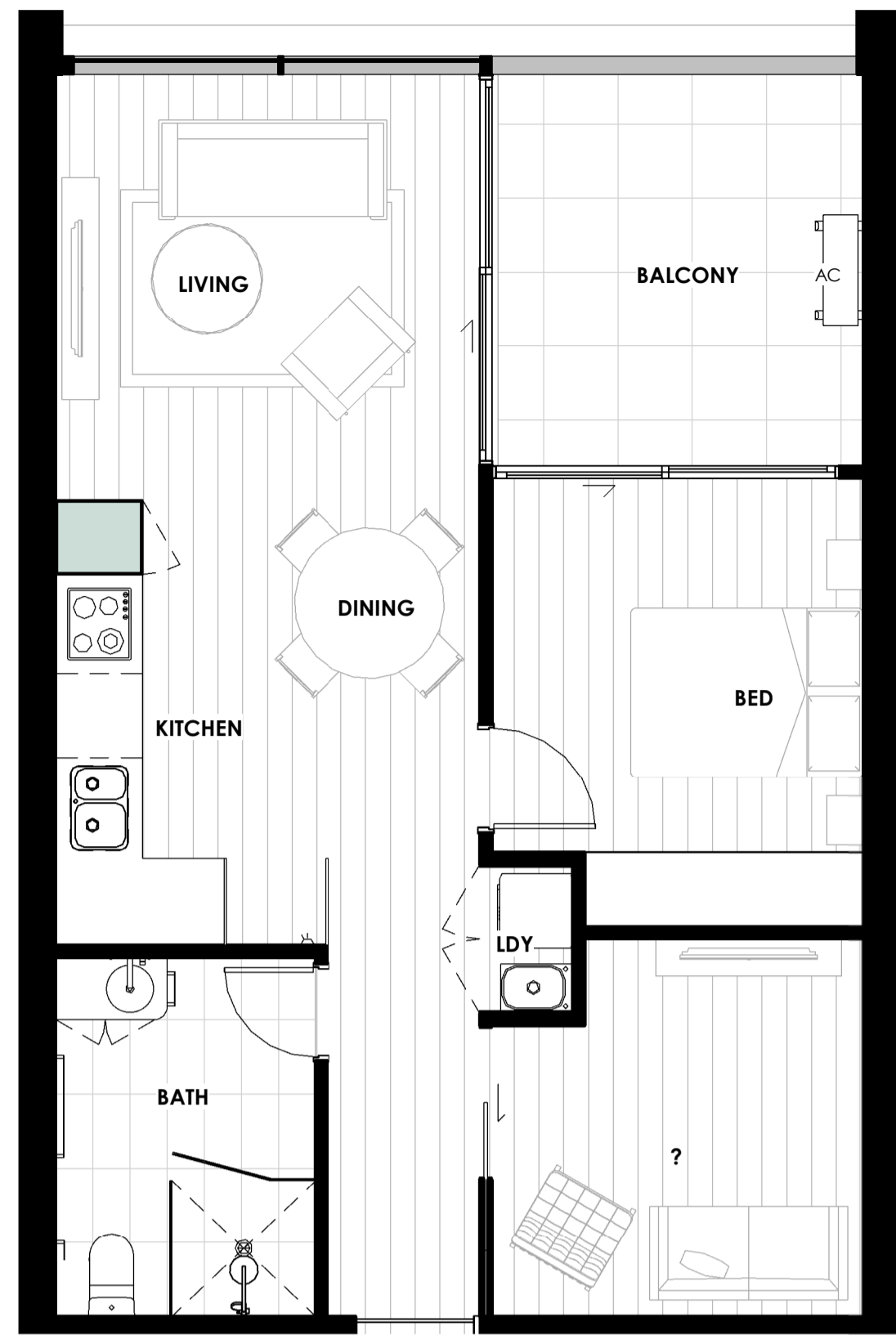
REFER SHEET: DA - OF THE SAME DRAWING NUMBER WITH .C FOR CONTINUATION
(NOTE: LEVELS MAY VARY FROM DA1 - .AB TO DA 1 - .C SHEETS)

1 DA - PUBLIC NOTIFICATION - LEVEL 07 A.B

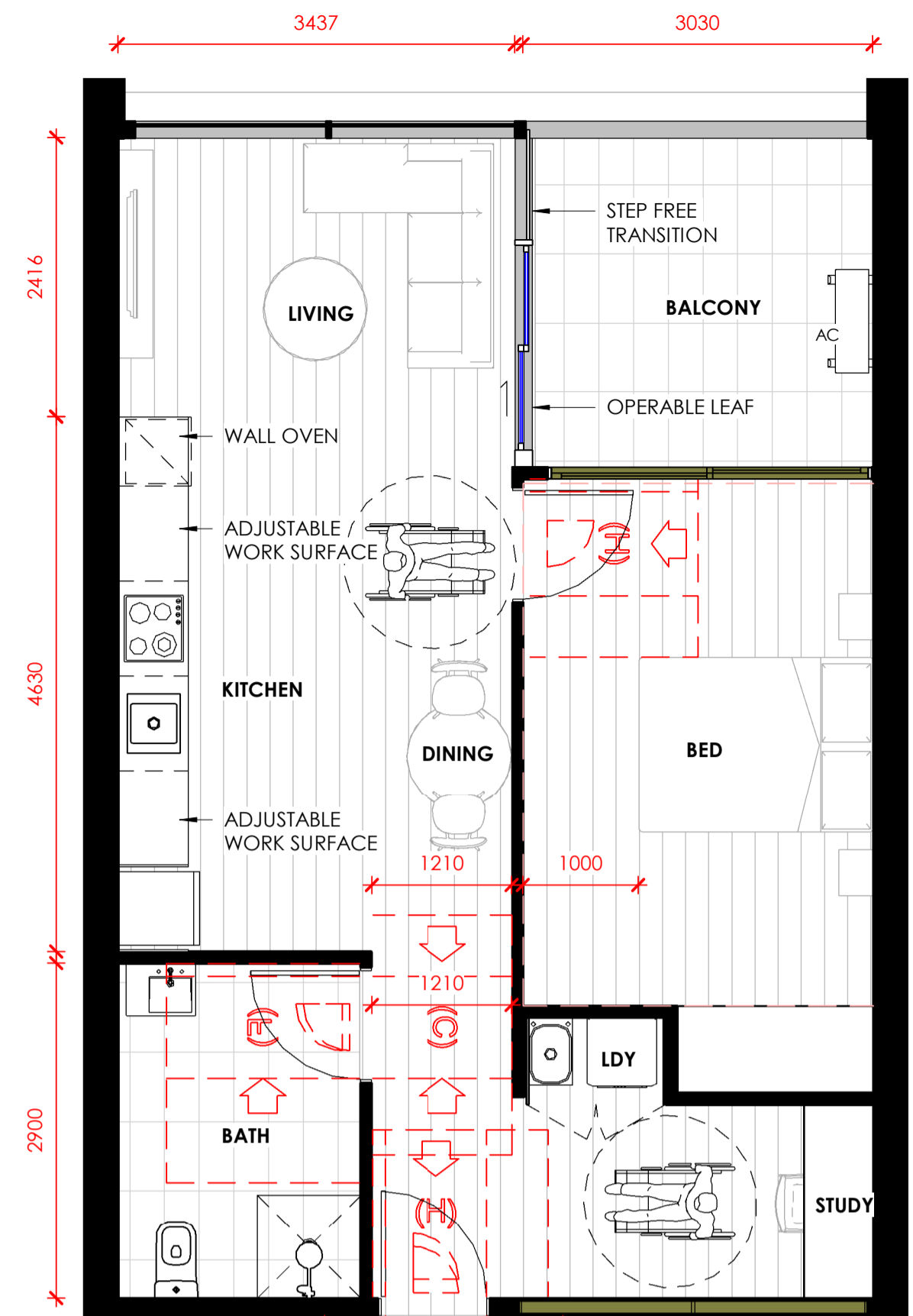
SCALE: 1 : 200 (REF SHEET/ DETAIL: A 201.1 / 6)

NOD ITEMS:

- i)** Revised site plan, floor plans, landscape plan and elevations and sections, based on the relevant drawings submitted as part of the application, including:
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- b)** Endorsement from ACT Emergency Services Agency (ACTESA) in support of the proposed development. Please refer to the comments received from ACTESA.



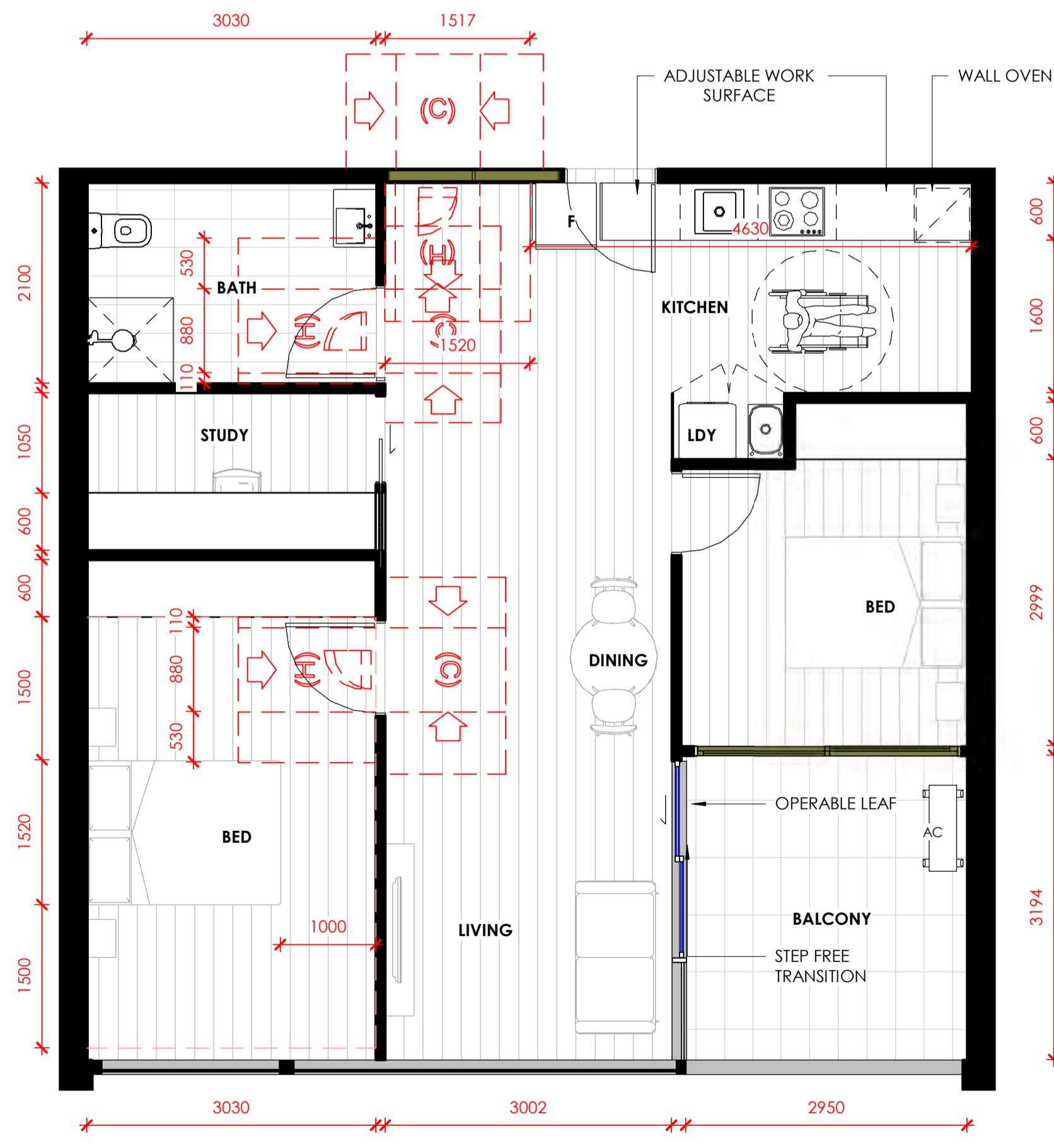
1 DA - 1 BED - PRE ADAPTED - 56 SQM
SCALE: 1:50



2 DA - 1 BED - POST ADAPTED - 56 SQM
SCALE: 1:50



3 DA - 2 BED - PRE ADAPTED - 77 SQM
SCALE: 1:50



4 DA - 2 BED - POST ADAPTED - 77 SQM
SCALE: 1:50

DA - UNIT SCHEDULE - ADAPTABLE		
UNIT TYPE	BED NUMBER	COUNT
1 BED + STUDY (ADAPTABLE) - TYPE 01	1	19
2 BED (ADAPTABLE) - TYPE 01	2	18
3 BED (ADAPTABLE) - TYPE 01	3	2
3 BED (ADAPTABLE) - TYPE 03	3	1
3 BED (ADAPTABLE) - TYPE 04	3	1
TOTAL		41

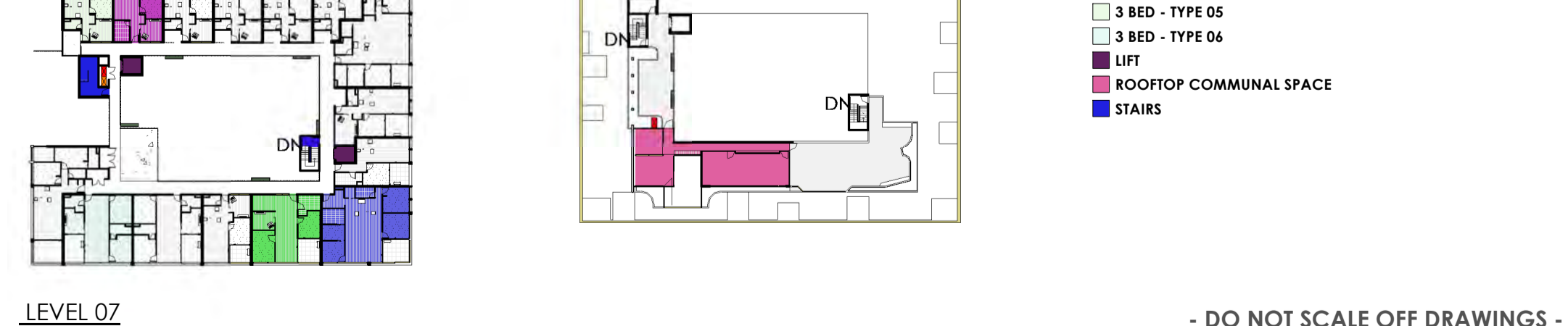
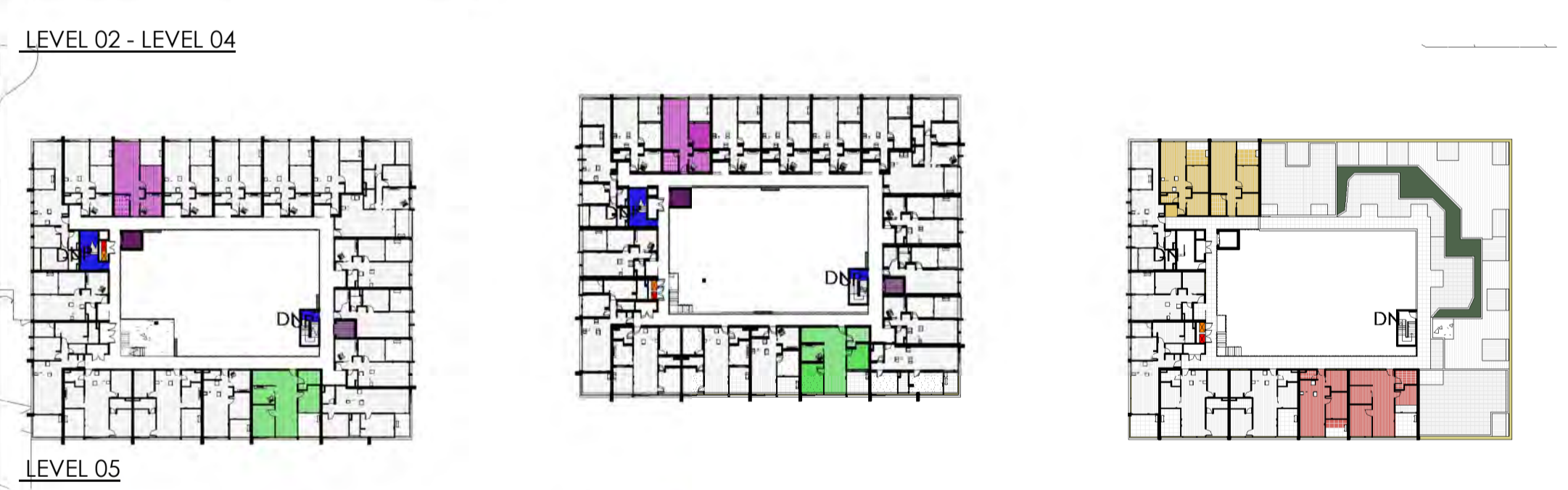
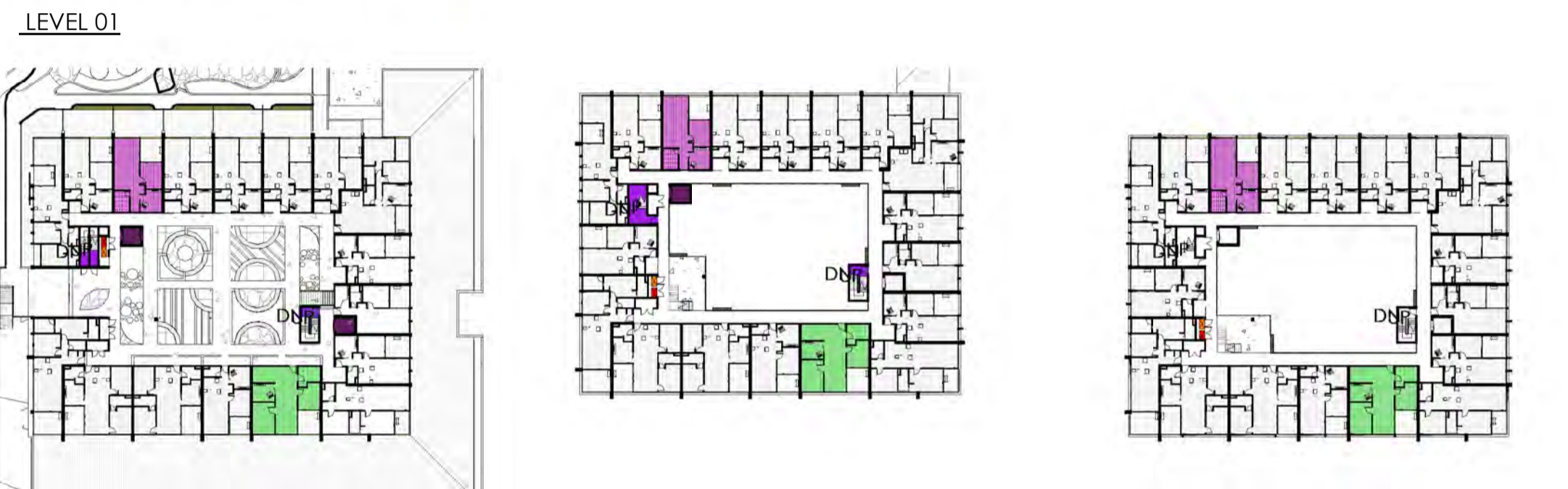
DEVELOPMENT - UNIT COUNT BY BED NUMBER	
BED 1	276
BED 2	124
BED 3	6
TOTAL	406

SECTION 144

- SUMMERFIELD CLOSE INTERFACE IMPROVED WITH: PLANTING BETWEEN POOL AREA AND BOUNDARY, CONCERGE BUILDING REMAGINED & LANDSCAPING TREATMENTS AMENDED ALONGSIDE SERVICE DRIVEWAY
- BUILDING A INTERFACE AND OVERSHADOWING IMPACT IMPROVED ONTO PRZ ZONE. SOFTENED LANDSCAPING, REVISED GROUND LEVEL ELEVATION & REDUCED BUILDING BULK
- PEDESTRIAN PERMEABILITY IMPROVED WITH BRIDGE LINK ADDED BETWEEN BUILDING A AND B.
- SUBSTATION LOCATED TO MEET ENTITY REQ'S
- REDUCTION TO YIELD/ CHANGED UNIT DESIGN AND COMMUNAL SPACE
- ADJUSTMENT TO BUILDING/ COURTYARD LINE (REQUIRED BY ICON WATER)
- CHANGES TO COURTYARD PAVING/ WALKWAYS REQUIRED BY ICON WATER

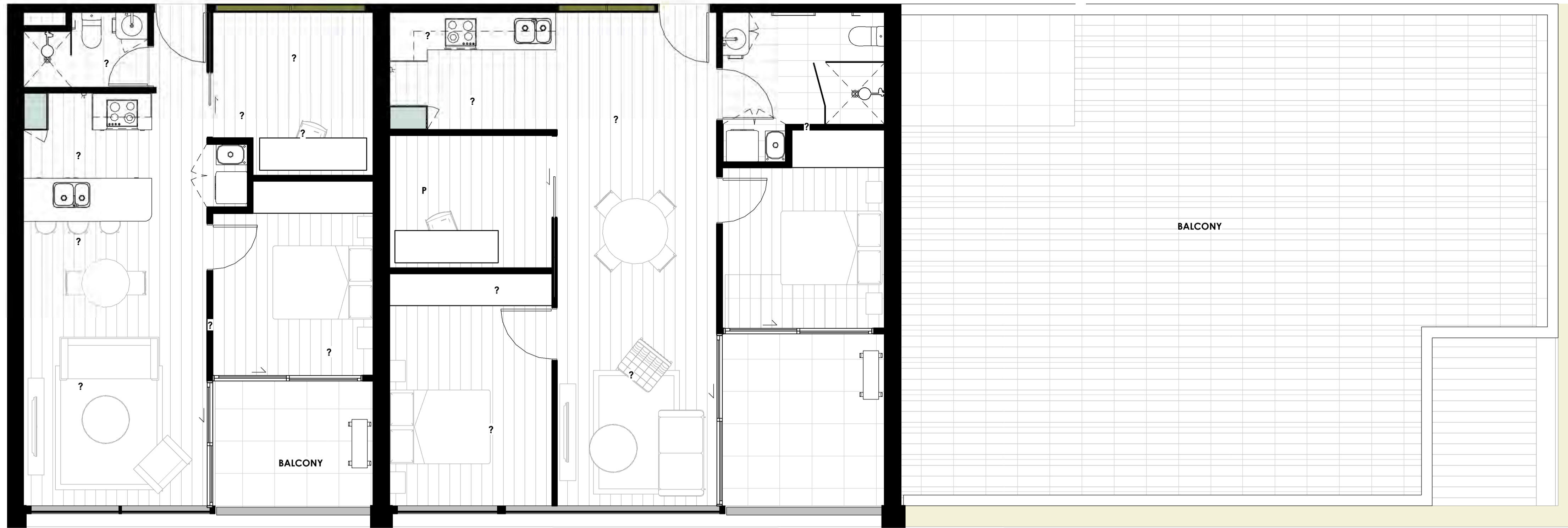
PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
SUBJECT TO THE CONDITIONS SET OUT IN THE NOTICE OF DECISION PURSUANT TO SECTION 162

Delegate name: **Fawzia Majid**
Date: **29/11/2022**



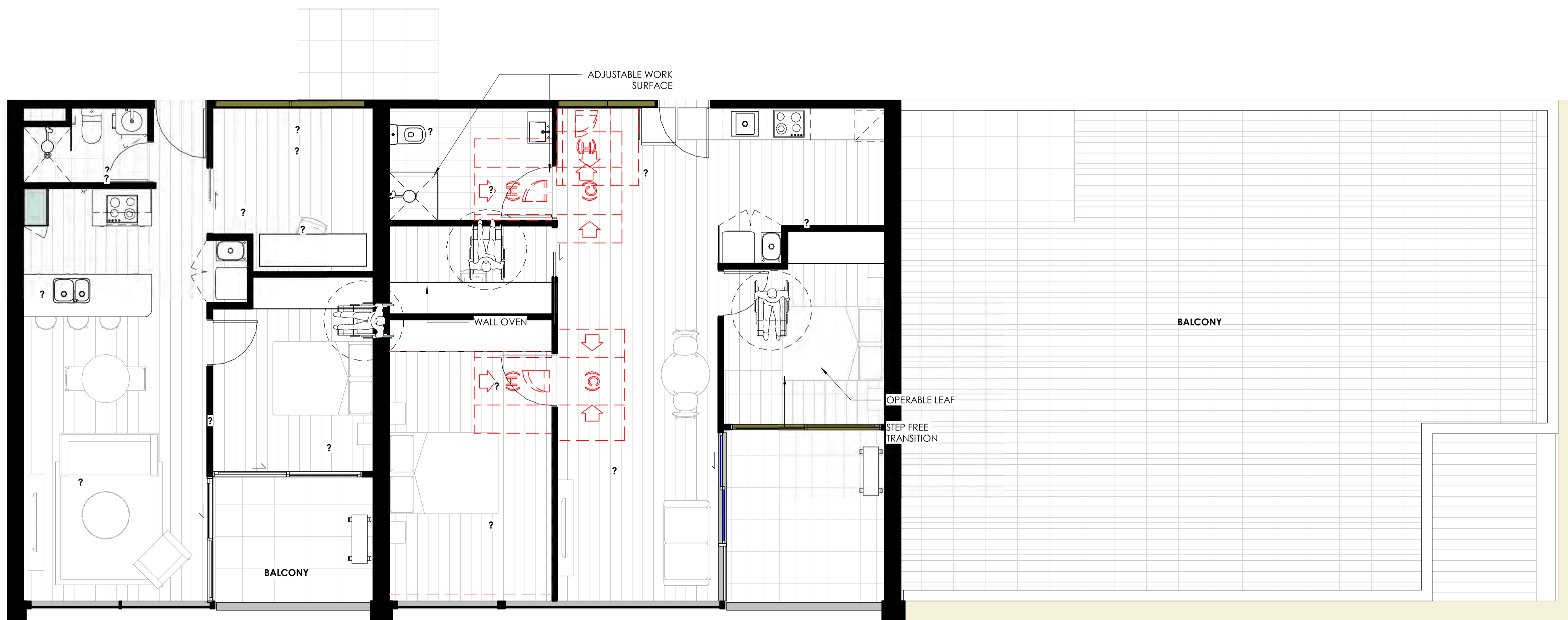
- BED COUNT**
- 1 BED + STUDY (ADAPTABLE) - TYPE 01
 - 2 BED (ADAPTABLE) - TYPE 01
 - 3 BED (ADAPTABLE) - TYPE 01
 - 3 BED - TYPE 05
 - 3 BED - TYPE 06
 - LIFT
 - ROOFTOP COMMUNAL SPACE
 - STAIRS

- DO NOT SCALE OFF DRAWINGS -



DA - UNIT SCHEDULE - ADAPTABLE		
UNIT TYPE	BED NUMBER	COUNT
1 BED + STUDY (ADAPTABLE) - TYPE 01	1	19
2 BED (ADAPTABLE) - TYPE 01	2	18
3 BED (ADAPTABLE) - TYPE 01	3	2
3 BED (ADAPTABLE) - TYPE 03	3	1
3 BED (ADAPTABLE) - TYPE 04	3	1
		41

1 DA - 3 BED - (TYPE-4) PRE ADAPTED - 139 SQM
SCALE: 1 : 50



PLANNING AND DEVELOPMENT ACT 2007
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2 DA - 3 BED - (TYPE-4) POST ADAPTED - 139 SQM
SCALE: 1 : 50

SECTION 144

- SUMMERFIELD CLOSE INTERFACE IMPROVED WITH PLANTING BETWEEN POOL AREA AND BOUNDARY, CONCERGE BUILDING REIMAGINED & LANDSCAPING TREATMENTS AMENDED ALONGSIDE SERVICE DRIVEWAY
- BUILDING A INTERFACE AND OVERSHADOWING IMPACT IMPROVED ONTO PRZ ZONE; SOFTENED LANDSCAPING, REVISED GROUND LEVEL ELEVATION & REDUCED BUILDING BULK
- PEDESTRIAN PERMEABILITY IMPROVED WITH BRIDGE LINK ADDED BETWEEN BUILDING A AND B.
- SUBSTATION LOCATED TO MEET ENTITY REG'S
- REDUCTION TO YIELD/ CHANGED UNIT DESIGN AND COMMUNAL SPACE
- ADJUSTMENT TO BUILDING/ COURTYARD LINE (REQUIRED BY ICON WATER)
- CHANGES TO COURTYARD PAVING/ WALKWAYS REQUIRED BY ICON WATER

GENERAL NOTES

NOTE:
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 • RESIDENTIAL LAYOUTS SHOWN (REFER TYPICAL UNITS PLANS FOR EXAMPLES OF POSSIBLE ALTERNATIVE LAYOUTS)

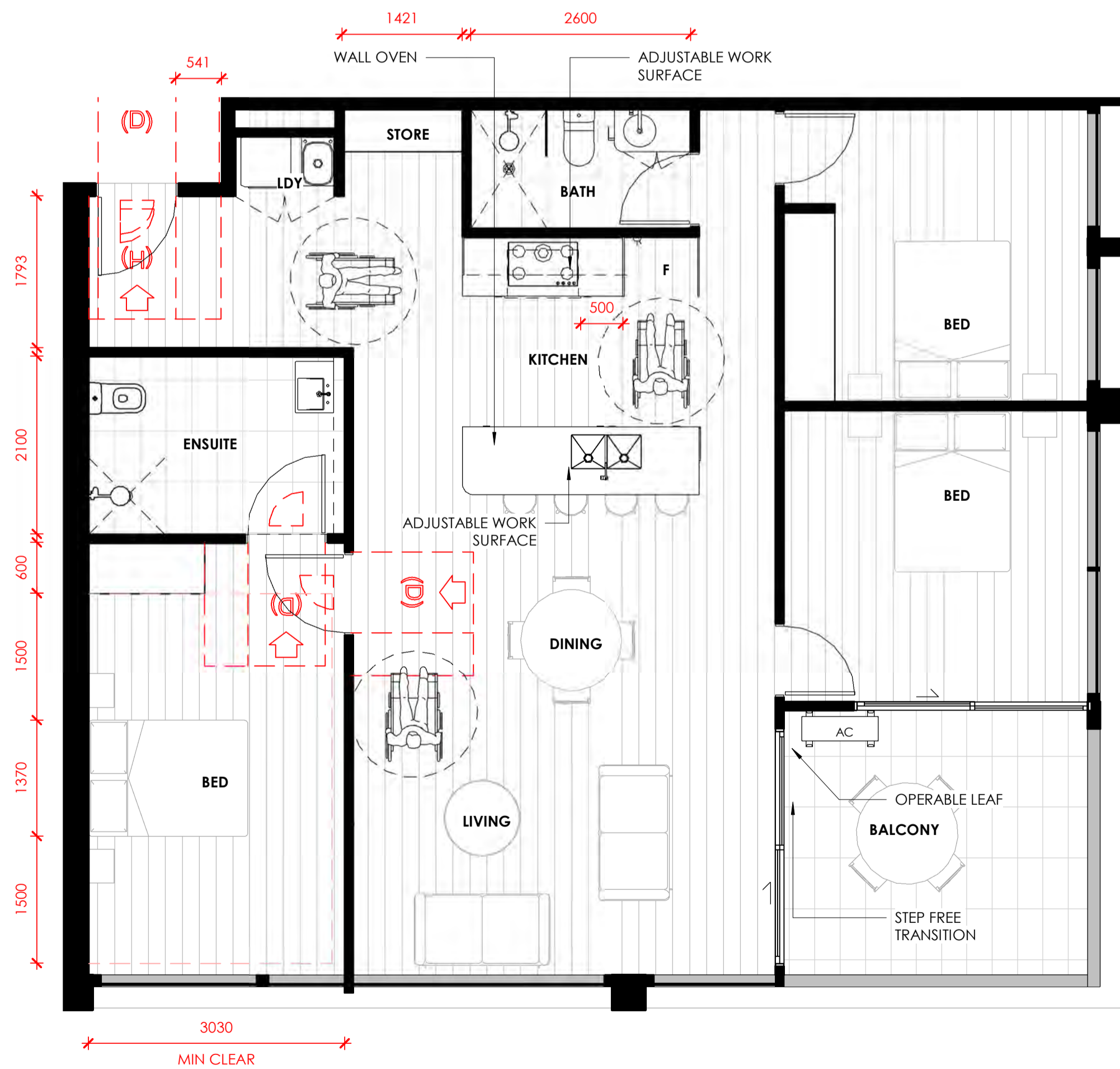
- DO NOT SCALE OFF DRAWINGS -



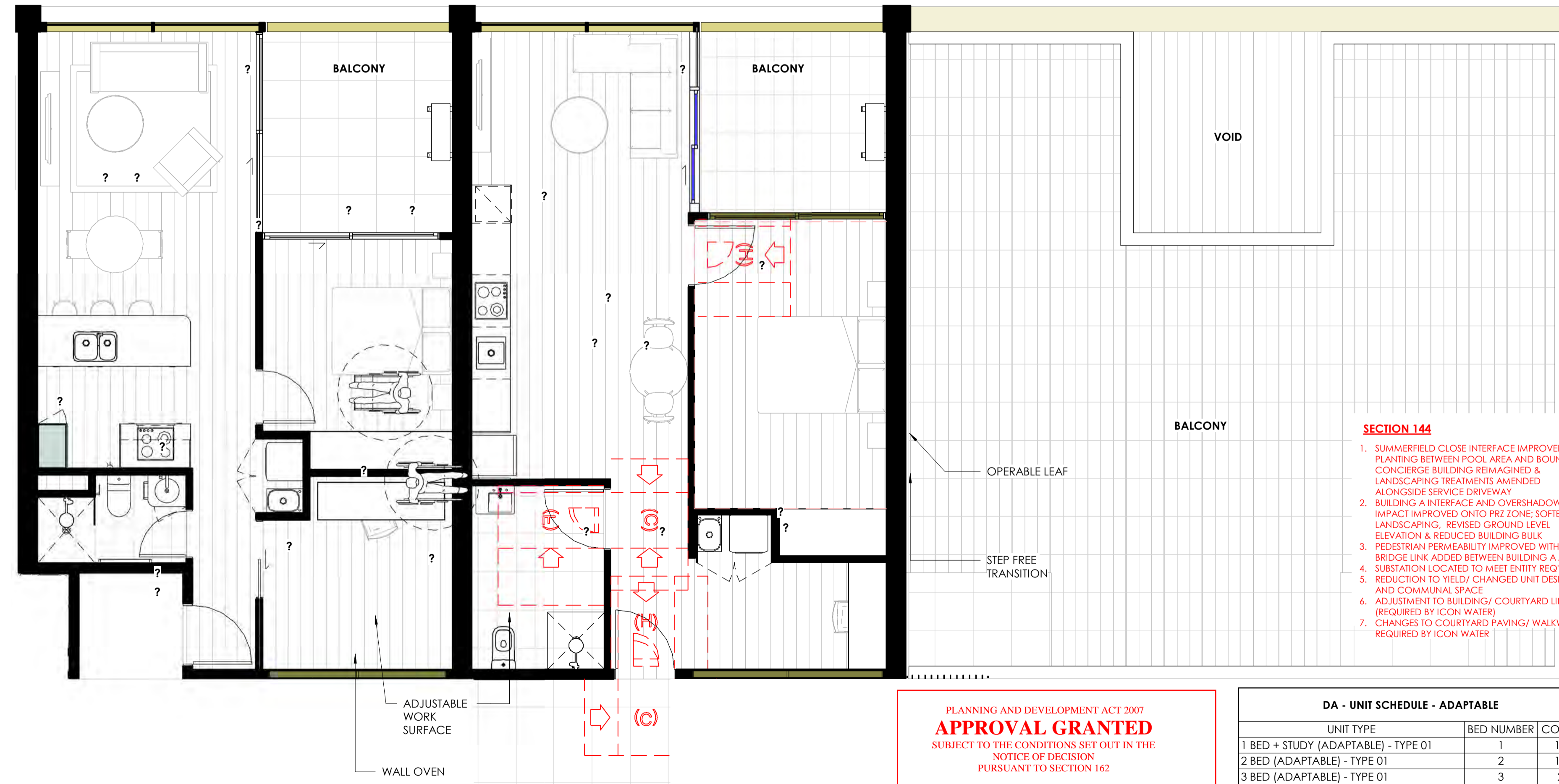
1 DA - 3 BED - PRE ADAPTED
SCALE: 1 : 50



3 DA - 3 BED - (TYPE-3) PRE ADAPTED - 134.5 SQM
SCALE: 1 : 50



2 DA - 3 BED - POST ADAPTED
SCALE: 1 : 50



4 DA - 3 BED - (TYPE-3) POST ADAPTED - 134.5 SQM
SCALE: 1 : 50

SECTION 144

- SUMMERFIELD CLOSE INTERFACE IMPROVED WITH PLANTING BETWEEN POOL AREA AND BOUNDARY, CONCERGE BUILDING REIMAGINED & LANDSCAPING TREATMENTS AMENDED ALONGSIDE SERVICE DRIVEWAY
- BUILDING A INTERFACE AND OVERSHADOWING IMPACT IMPROVED ONTO PRZ ZONE: SOFTENED LANDSCAPING, REVISED GROUND LEVEL ELEVATION & REDUCED BUILDING BULK
- PEDESTRIAN PERMEABILITY IMPROVED WITH BRIDGE LINK ADDED BETWEEN BUILDING A AND B.
- SUBSTATION LOCATED TO MEET ENTRY REG'S
- REDUCTION TO 'YIELD' CHANGED UNIT DESIGN AND COMMUNAL SPACE
- ADJUSTMENT TO BUILDING/ COURTYARD LINE (REQUIRED BY ICON WATER)
- CHANGES TO COURTYARD PAVING/ WALKWAYS REQUIRED BY ICON WATER

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
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Delegate name **Fawzia Majid**
Date **29/11/2022**

DA - UNIT SCHEDULE - ADAPTABLE		
UNIT TYPE	BED NUMBER	COUNT
1 BED + STUDY (ADAPTABLE) - TYPE 01	1	19
2 BED (ADAPTABLE) - TYPE 01	2	18
3 BED (ADAPTABLE) - TYPE 01	3	2
3 BED (ADAPTABLE) - TYPE 03	3	1
3 BED (ADAPTABLE) - TYPE 04	3	1
TOTAL		41

- DO NOT SCALE OFF DRAWINGS -

DEVELOPMENT - UNIT COUNT BY BED NUMBER	
BED 1	276
BED 2	124
BED 3	6
TOTAL	406

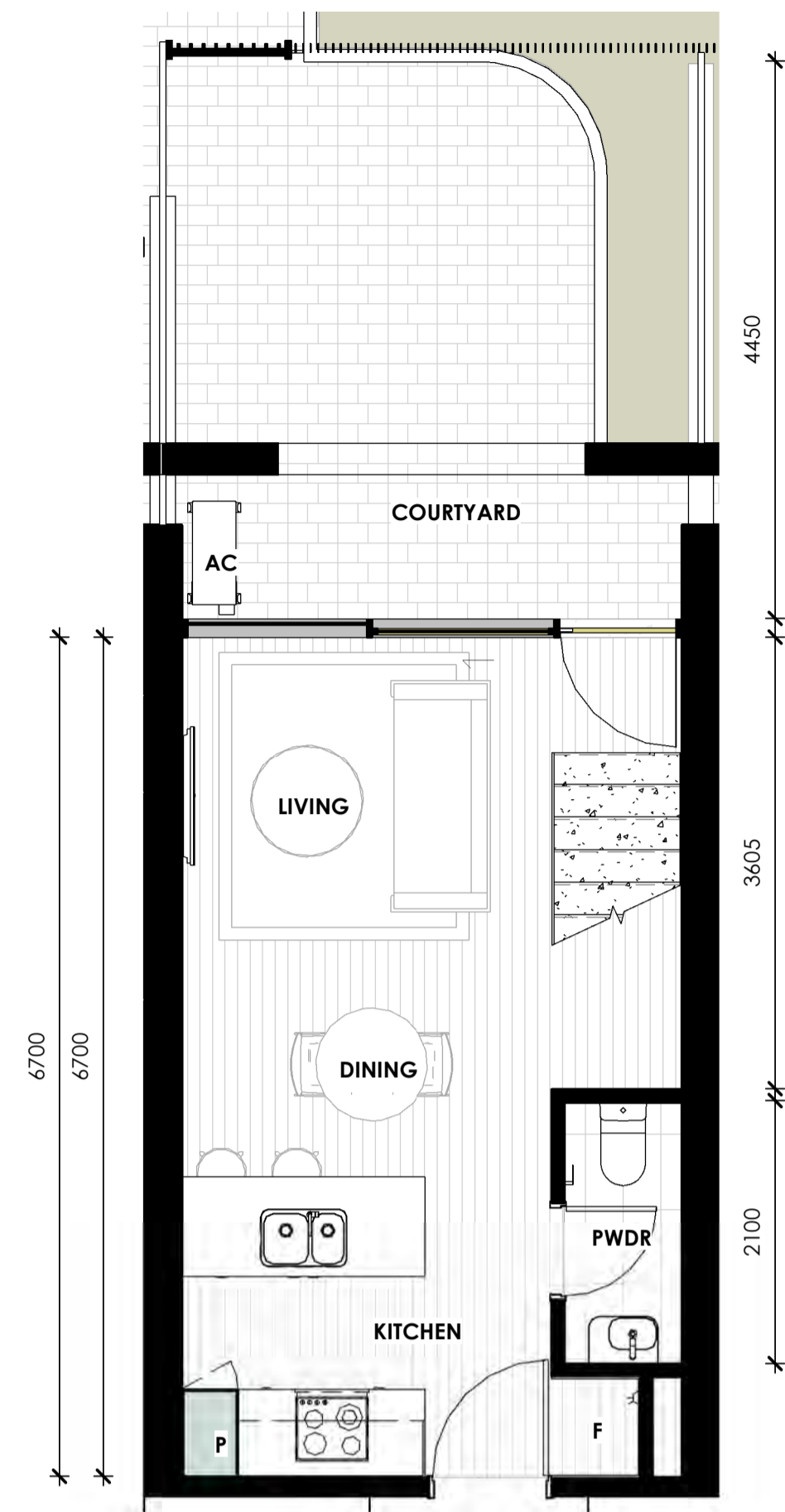
REVISIONS:	No.	Description
-	4	PRE DA REVIEW
1	1	DA ISSUE
2	2	S144 UPDATED DRAWINGS
3	3	DA - S144 - RFI

Date
27/08/2021
01/09/2021
25/03/2022
19/05/2022

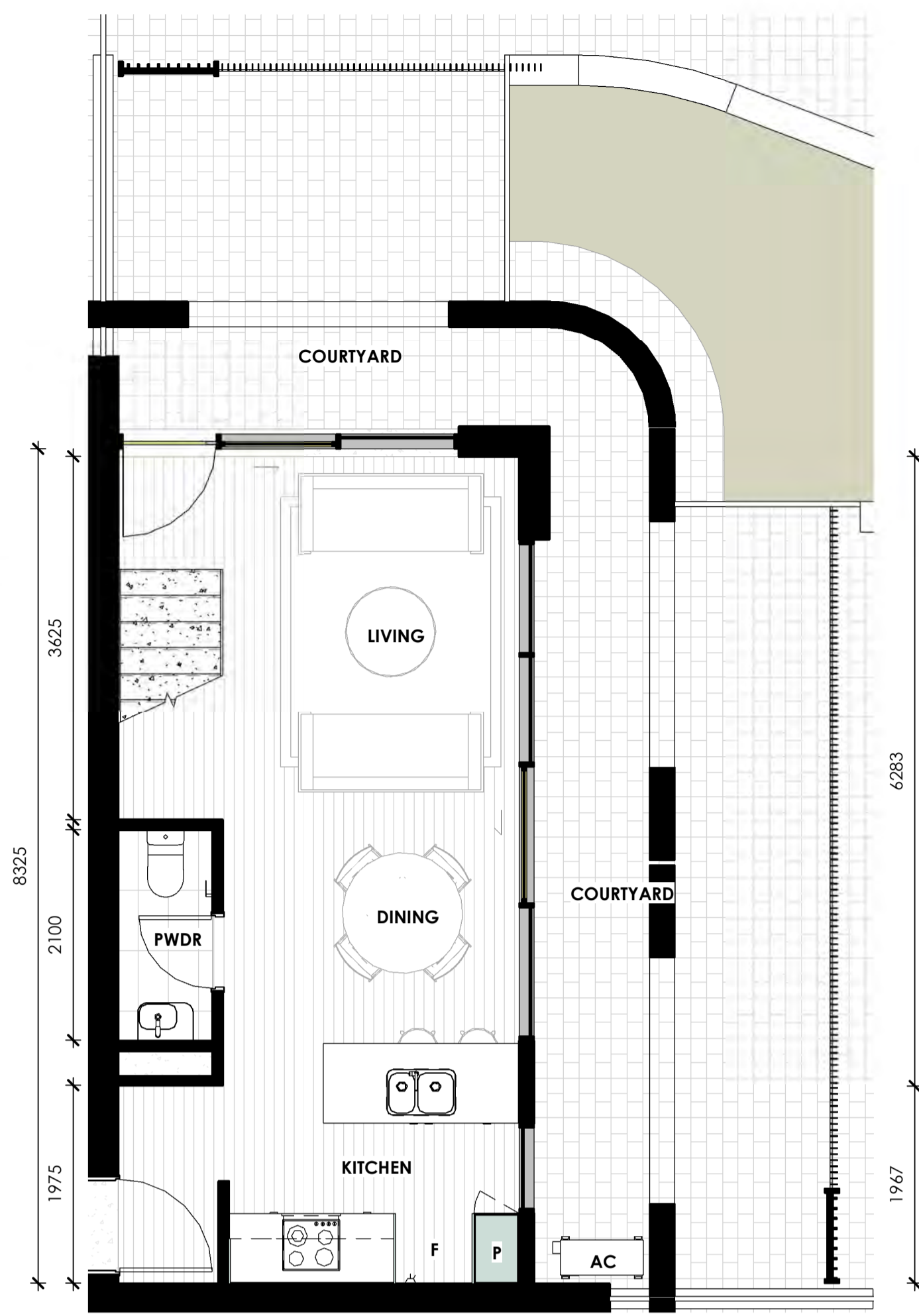
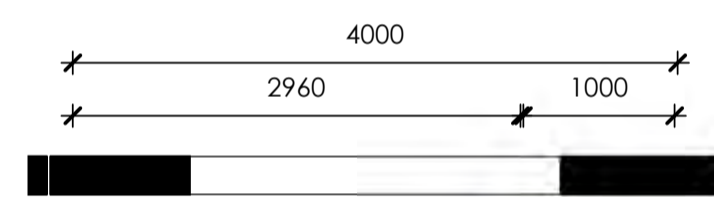
SCALE: As indicated @ A1

DA - 611

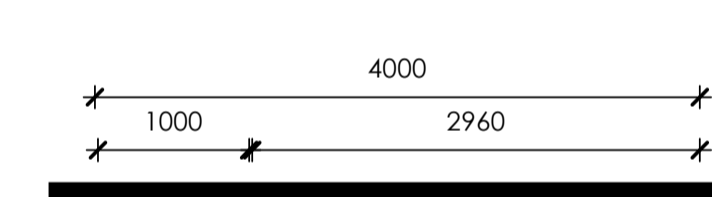
SIZE: A1



1 1 BED - TYPE 1
SCALE: 1:50

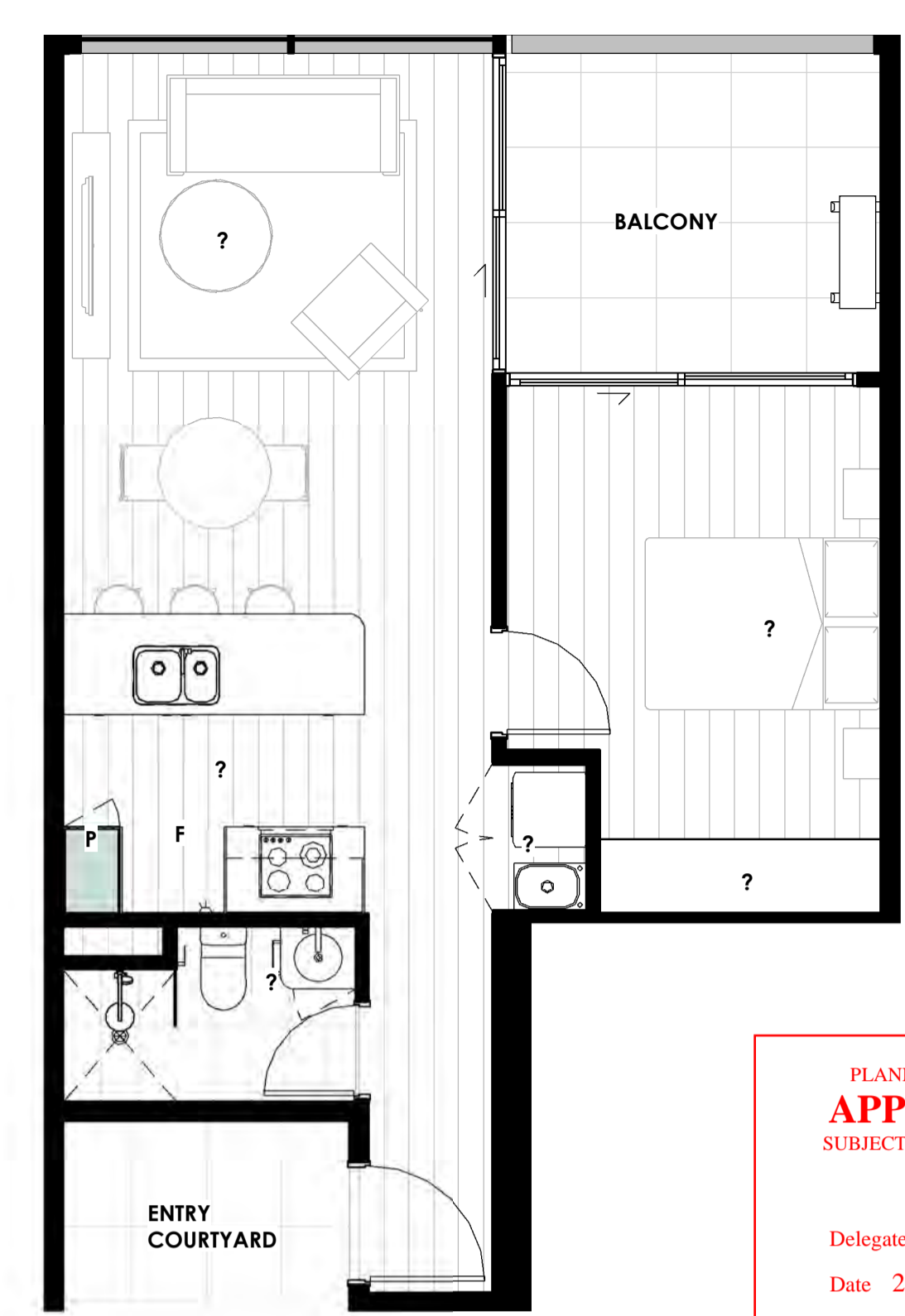


3 1 BED - TYPE 2
SCALE: 1:50



5 1 BED - TYPE 3
SCALE: 1:50

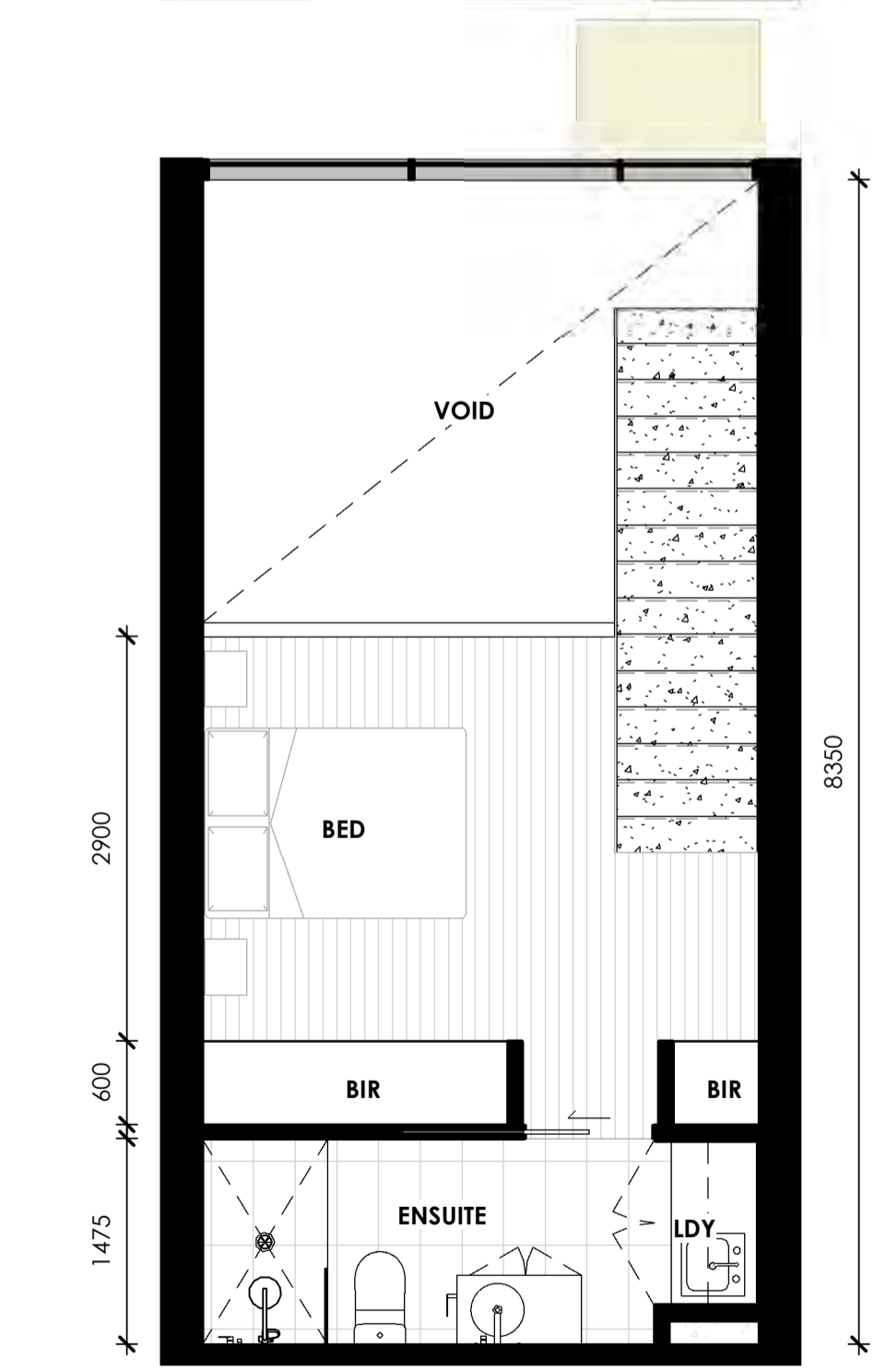
DA - UNIT SCHEDULE - 1B - T3	
UNIT - TYPE	GFA AREA
1B - T3	56.4M2



6 1 BED - TYPE 5
SCALE: 1:50

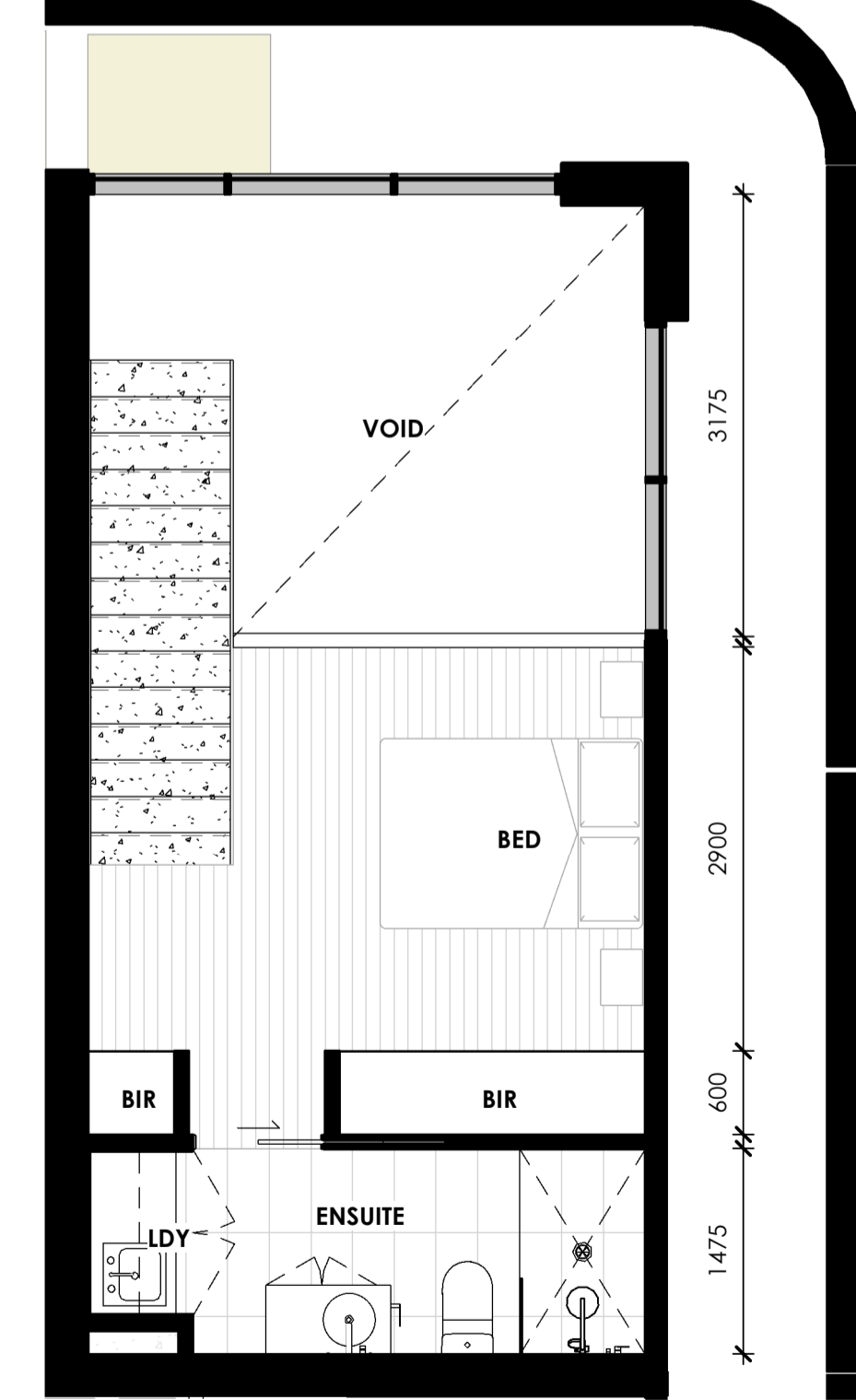
DA - UNIT SCHEDULE - 1B - T5	
UNIT - TYPE	GFA AREA
1B - T5	48.0M2

PLANNING AND DEVELOPMENT ACT 2007
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PURSUANT TO SECTION 162
Delegate name **Fawzia Majid**
Date **29/11/2022**



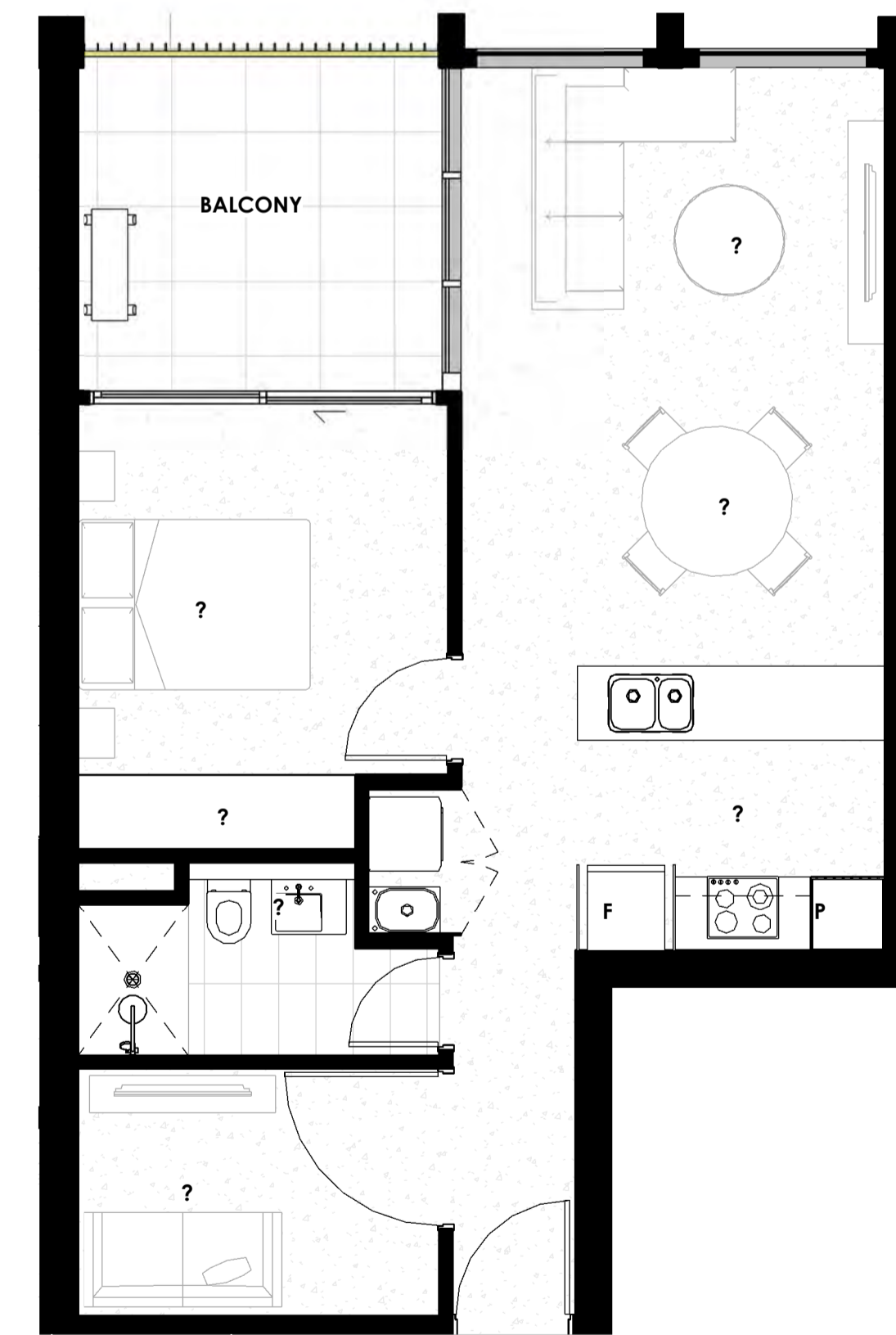
2 1 BED - TYPE 1 - LOFT
SCALE: 1:50

DA - UNIT SCHEDULE - 1B - T1	
UNIT - TYPE	GFA AREA
1B - T1	51.5M2



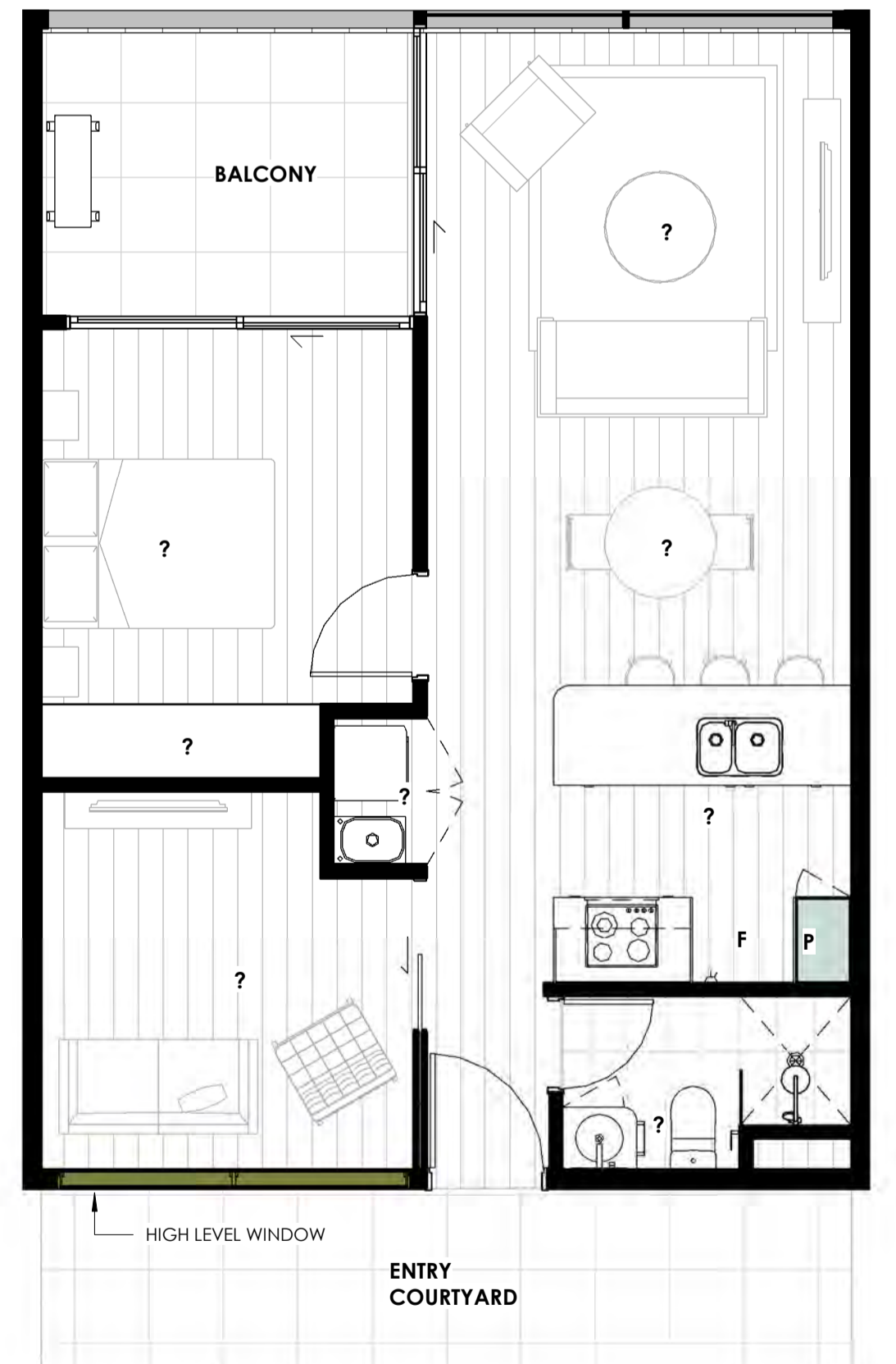
4 1 BED - TYPE 2 - LOFT
SCALE: 1:50

DA - UNIT SCHEDULE - 1B - T2	
UNIT - TYPE	GFA AREA
1B - T2	58.8M2



7 1 BED - TYPE 6
SCALE: 1:50

DA - UNIT SCHEDULE - 1B - T6	
UNIT - TYPE	GFA AREA
1B - T6	56.0M2



8 1 BED - TYPE 7
SCALE: 1:50

DA 1 - UNIT SCHEDULE - 1B - T7	
UNIT - TYPE	GFA AREA
1B - T7	57.7M2

SECTION 144

- SUMMERFIELD CLOSE INTERFACE IMPROVED WITH PLANTING BETWEEN POOL AREA AND BOUNDARY. CONCERGE BUILDING REMAINGED & LANDSCAPING TREATMENTS AMENDED ALONGSIDE SERVICE DRIVEWAY
- BUILDING A INTERFACE AND OVERSHADOWING IMPACT IMPROVED ONTO PRZ ZONE. SOFTENED LANDSCAPING, REVISED GROUND LEVEL ELEVATION & REDUCED BUILDING BULK
- PEDESTRIAN PERMEABILITY IMPROVED WITH BRIDGE LINK ADDED BETWEEN BUILDING A AND B.
- SUBSTATION LOCATED TO MEET ENTITY REQ'S
- REDUCTION TO YIELD/ CHANGED UNIT DESIGN AND COMMUNAL SPACE
- ADJUSTMENT TO BUILDING/ COURTYARD LINE (REQUIRED BY ICON WATER)
- CHANGES TO COURTYARD PAVING/ WALKWAYS (REQUIRED BY ICON WATER)

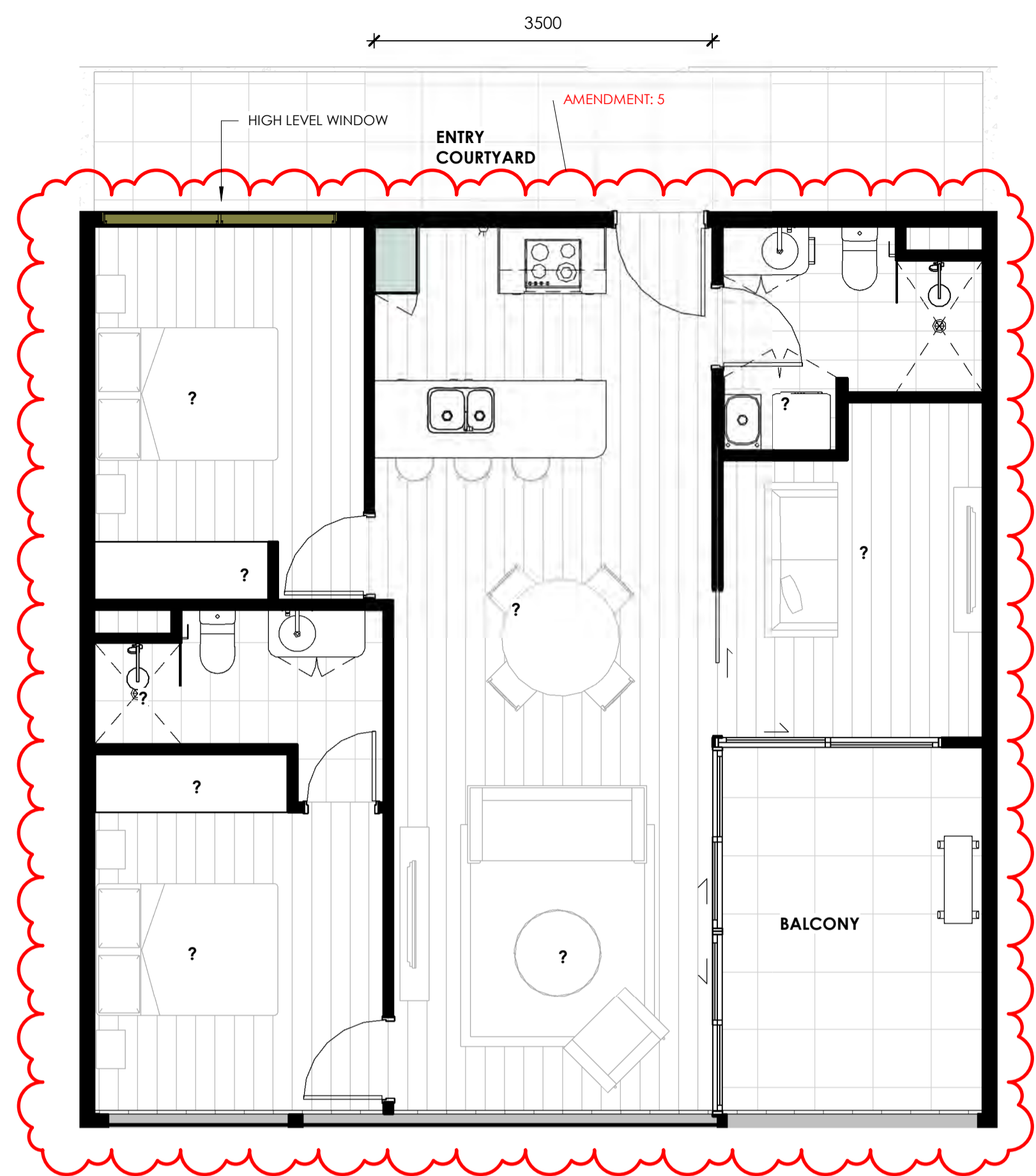
AMENDMENT: 5

DEVELOPMENT - UNIT COUNT BY BED NUMBER	
BED 1	276
BED 2	124
BED 3	6
TOTAL	406

Revisions No.	Description	Date
1	PRE DA REVIEW	27/08/2021
2	DA ISSUE	01/09/2021
3	\$144 UPDATED DRAWINGS	25/03/2022
4	DA - \$144 - RFI	19/05/2022

DA - 600

- DO NOT SCALE OFF DRAWINGS -



1 2 BED - TYPE 5
SCALE: 1:50

DA - UNIT SCHEDULE - 2B - T5	
UNIT - TYPE	GFA AREA
2B - T5	79.0M2



2 2 BED - TYPE 6
SCALE: 1:50

DA - UNIT SCHEDULE - 2B - T6	
UNIT - TYPE	GFA AREA
2B - T6	77.8M2



3 2 BED - TYPE 7
SCALE: 1:50

DA - UNIT SCHEDULE - 2B - T7	
UNIT - TYPE	GFA AREA
2B - T7	74.3M2

SECTION 144

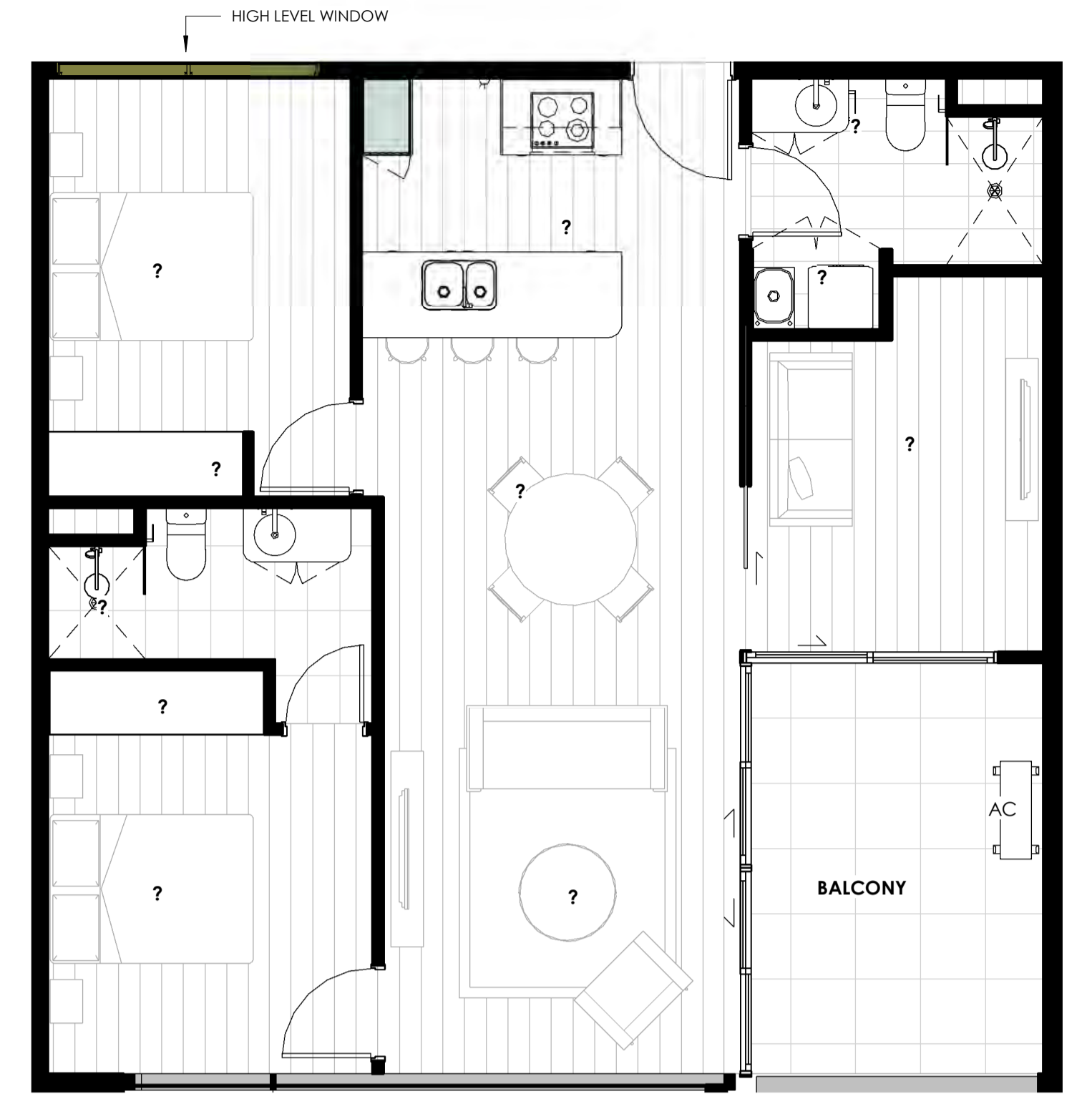
- SUMMERFIELD CLOSE INTERFACE IMPROVED WITH PLANTING BETWEEN POOL AREA AND BOUNDARY, CONCERGE BUILDING REIMAGINED & LANDSCAPING TREATMENTS AMENDED ALONGSIDE SERVICE DRIVEWAY
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- PEDESTRIAN PERMEABILITY IMPROVED WITH BRIDGE LINK ADDED BETWEEN BUILDING A AND B.
- SUBSTATION LOCATED TO MEET ENTITY REQ'S
- REDUCTION TO YIELD/ CHANGED UNIT DESIGN AND COMMUNAL SPACE
- ADJUSTMENT TO BUILDING/ COURTYARD LINE (REQUIRED BY ICON WATER)
- CHANGES TO COURTYARD PAVING/ WALKWAYS REQUIRED BY ICON WATER



4 2 BED - TYPE 8
SCALE: 1:50

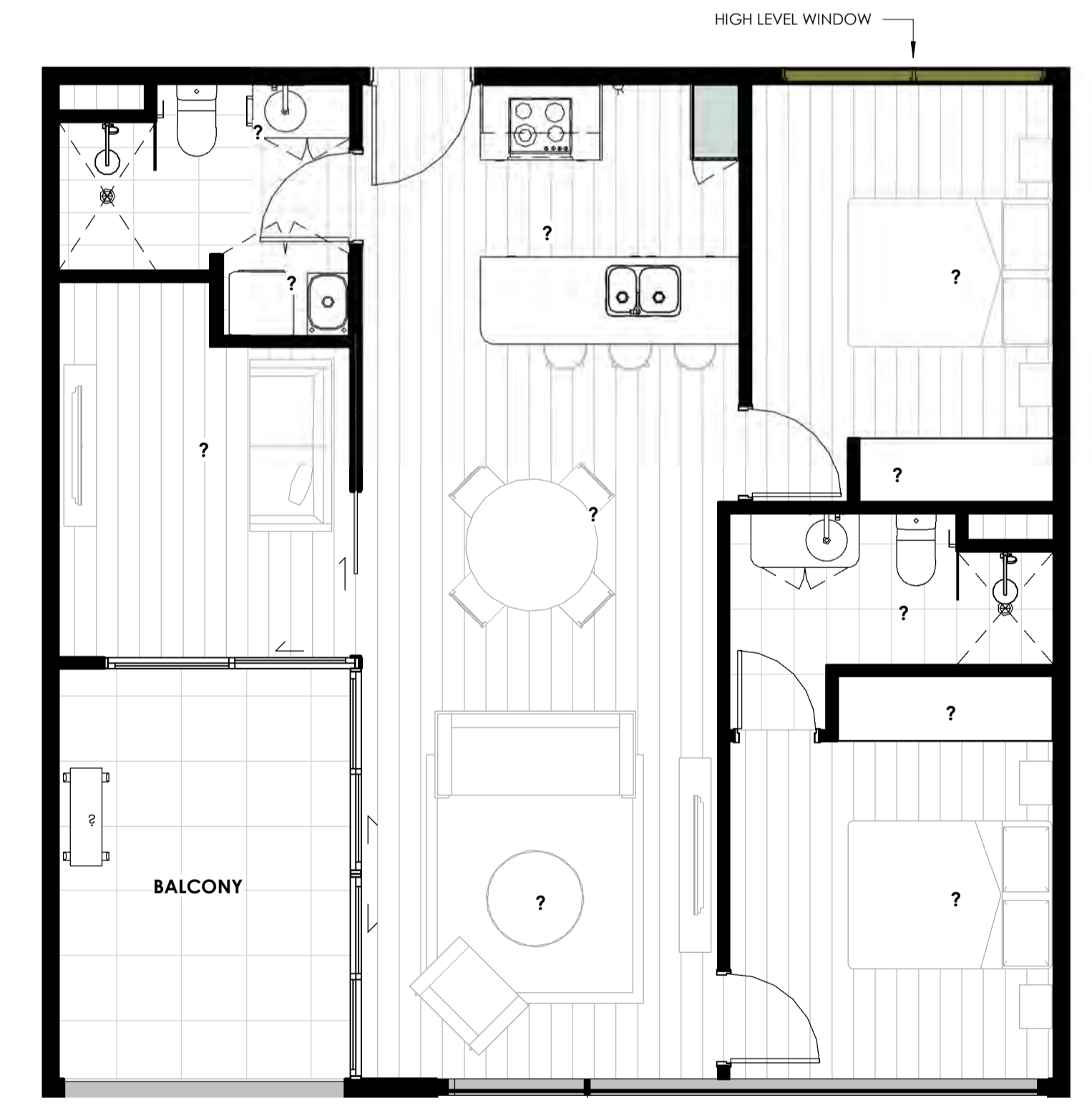
DA - UNIT SCHEDULE - 2B - T8	
UNIT - TYPE	GFA AREA
2B - T8	78.1M2

PLANNING AND DEVELOPMENT ACT 2007
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Delegate name **Fawzia Majid**
Date 29/11/2022



5 2 BED - TYPE 10
SCALE: 1:50

DA - UNIT SCHEDULE - 2B - T10	
UNIT - TYPE	GFA AREA
2B - T10	77.8M2



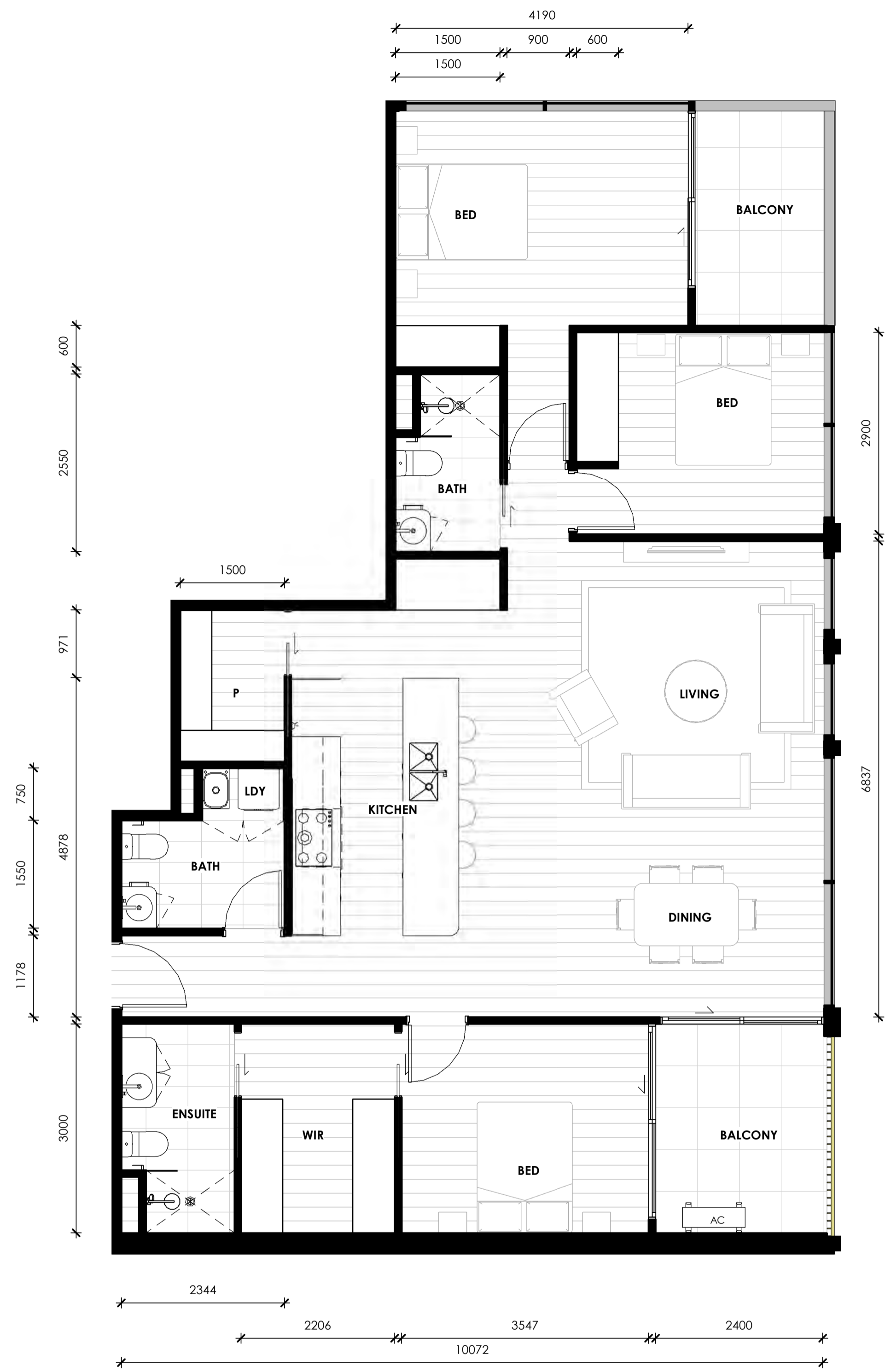
6 2 BED - TYPE 11
SCALE: 1:50

DA - UNIT SCHEDULE - 2B - T11	
UNIT - TYPE	GFA AREA
2B - T11	78.0M2

DEVELOPMENT - UNIT COUNT BY BED NUMBER	
BED 1	276
BED 2	124
BED 3	6
TOTAL	406

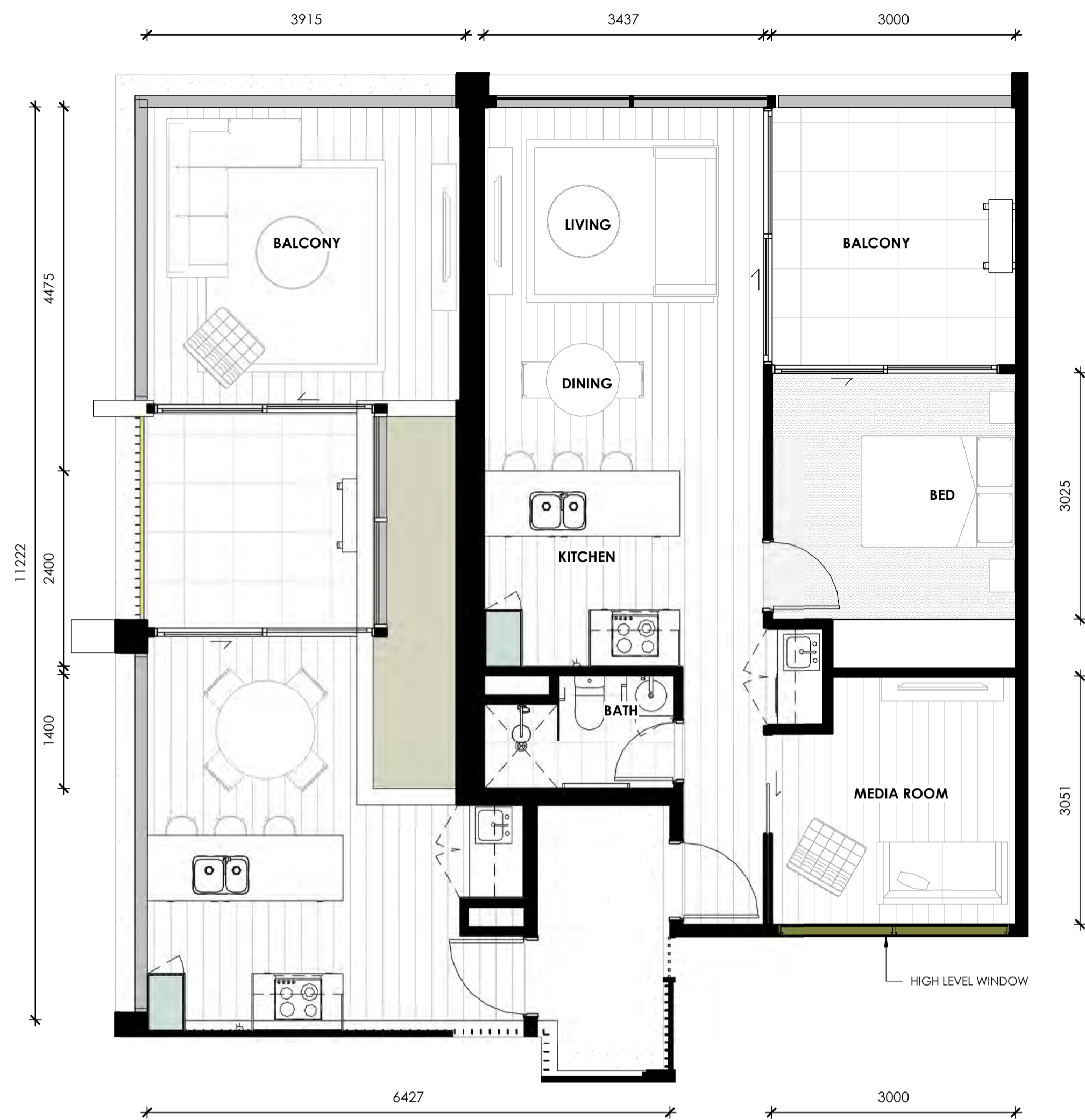
REV. NO.	DESCRIPTION	DATE
7	PRE DA REVIEW	27/08/2021
8	DA ISSUE	01/09/2021
2	S144 UPDATED DRAWINGS	25/03/2022
3	DA - S144 - RFI	19/05/2022

SCALE: As indicated @ A1
DA - 602
SIZE: A1



1 3 BED - TYPE 01
SCALE: 1 : 50

DA - UNIT SCHEDULE - 3B - T1	
UNIT - TYPE	GFA AREA
3B - T1	125.0M2



2 1 BED - TYPE 12
SCALE: 1 : 50

DA - UNIT SCHEDULE - 1B - T12	
UNIT - TYPE	GFA AREA
1B - T12	56.4M2

3 1 BED - TYPE 13
SCALE: 1 : 50

DA - UNIT SCHEDULE - 1B - T13	
UNIT - TYPE	GFA AREA
1B - T13	56.4M2

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
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 PURSUANT TO SECTION 162
 Delegate name **Fawzia Majid**
 Date **29/11/2022**

SECTION 144

- SUMMERFIELD CLOSE INTERFACE IMPROVED WITH: PLANTING BETWEEN POOL AREA AND BOUNDARY, CONCERGE BUILDING REIMAGINED & LANDSCAPING TREATMENTS AMENDED ALONGSIDE SERVICE DRIVEWAY
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- PEDESTRIAN PERMEABILITY IMPROVED WITH BRIDGE LINK ADDED BETWEEN BUILDING A AND B.
- SUBSTATION LOCATED TO MEET ENTITY REQS
- REDUCTION TO YIELD/ CHANGED UNIT DESIGN AND COMMUNAL SPACE
- ADJUSTMENT TO BUILDING/ COURTYARD LINE (REQUIRED BY ICON WATER)
- CHANGES TO COURTYARD PAVING/ WALKWAYS REQUIRED BY ICON WATER

AMENDMENT: 5

- DO NOT SCALE OFF DRAWINGS -

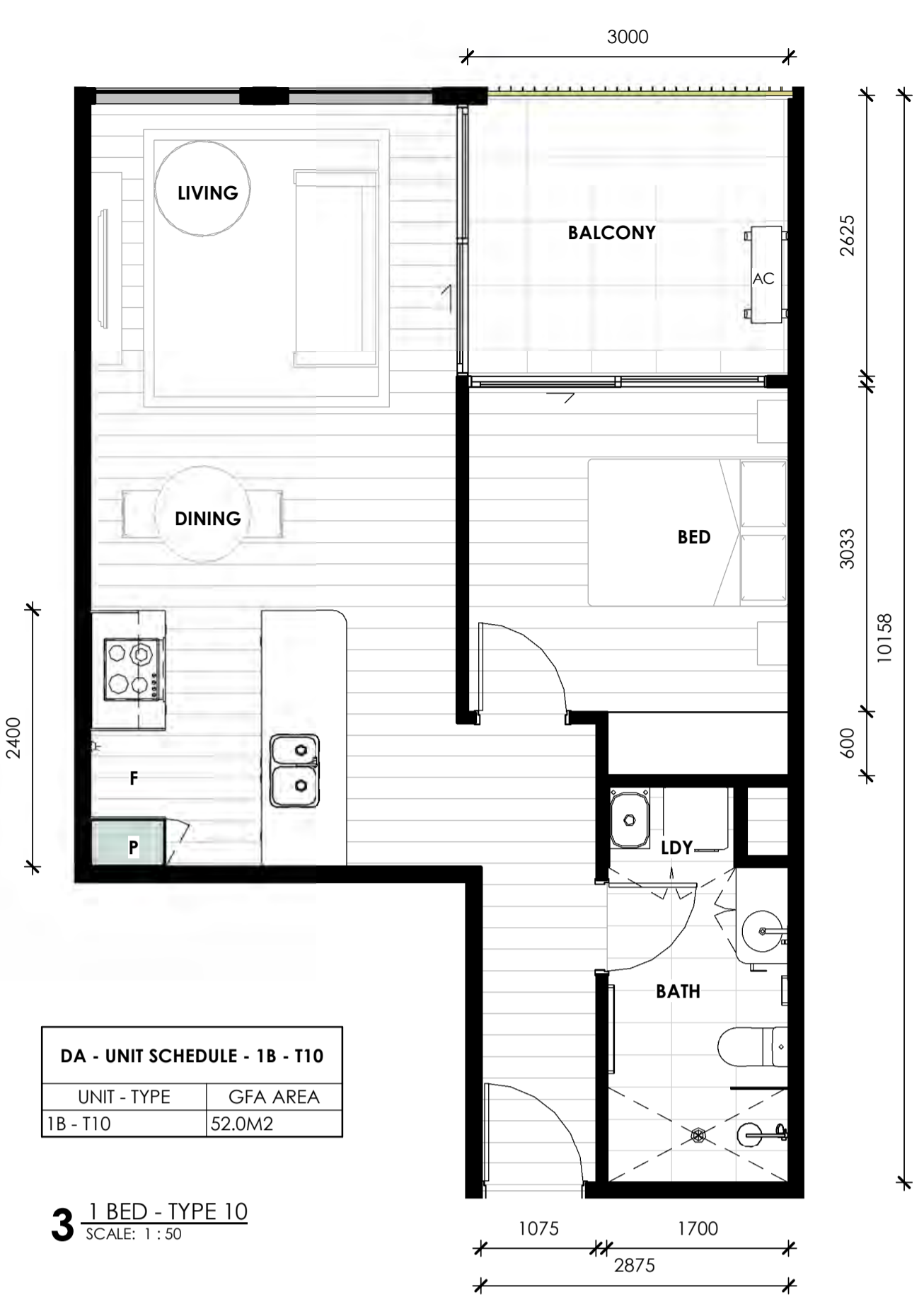
DEVELOPMENT - UNIT COUNT BY BED NUMBER	
BED 1	276
BED 2	124
BED 3	6
TOTAL	406

Revisions	Date
7 - PRE DA REVIEW	27/08/2021
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2 - S144 UPDATED DRAWINGS	25/03/2022
3 - DA - S144 - RFI	19/05/2022



1 1 BED - TYPE 8
SCALE: 1:50

DA - UNIT SCHEDULE - 1B - T8	
UNIT - TYPE	GFA AREA
1B - T8	57.7M2



3 1 BED - TYPE 10
SCALE: 1:50

DA - UNIT SCHEDULE - 1B - T10	
UNIT - TYPE	GFA AREA
1B - T10	52.0M2



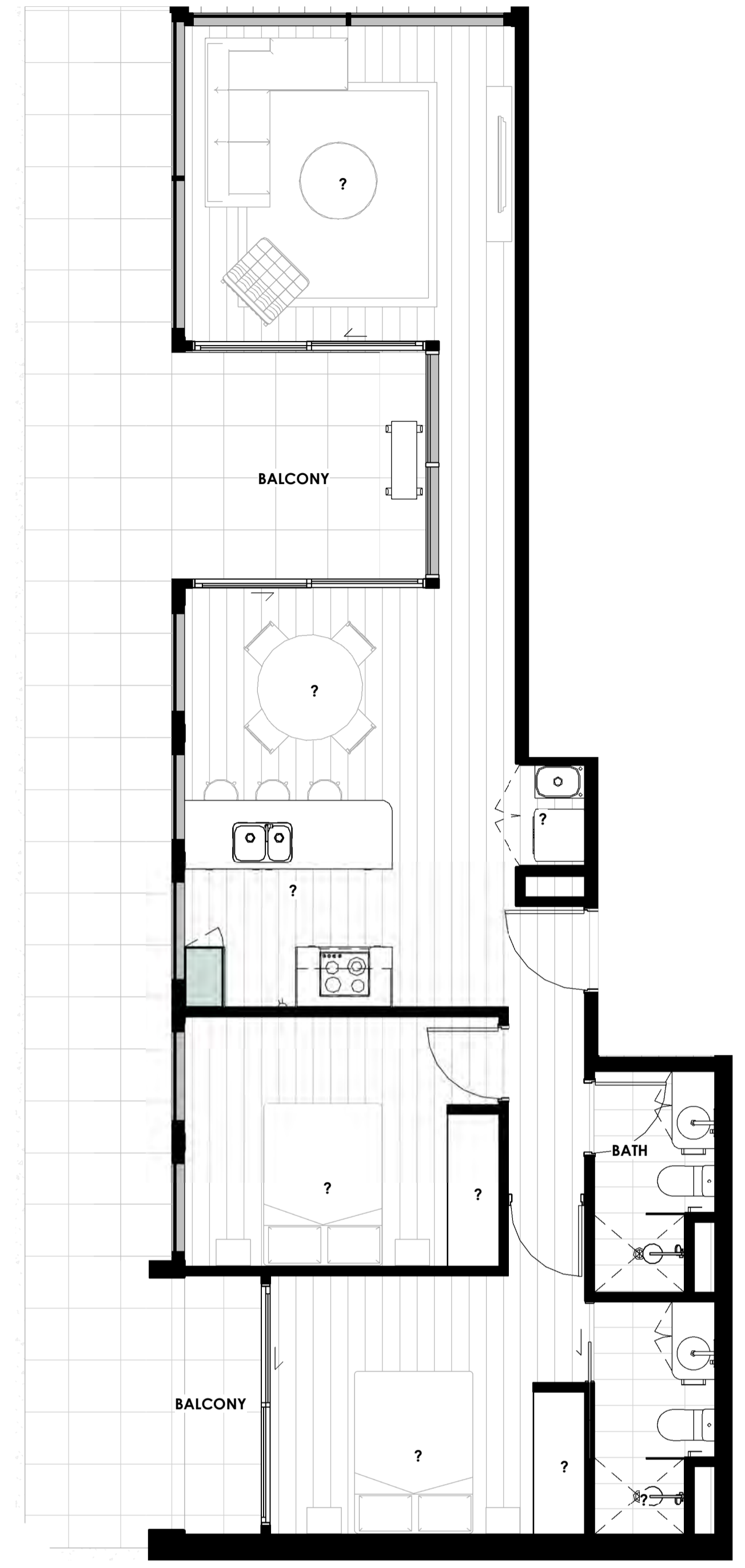
2 1 BED - TYPE 9
SCALE: 1:50

DA - UNIT SCHEDULE - 1B - T9	
UNIT - TYPE	GFA AREA
1B - T9	57.4M2



4 1 BED - TYPE 11
SCALE: 1:50

DA - UNIT SCHEDULE - 1B - T11	
UNIT - TYPE	GFA AREA
1B - T11	56.4M2



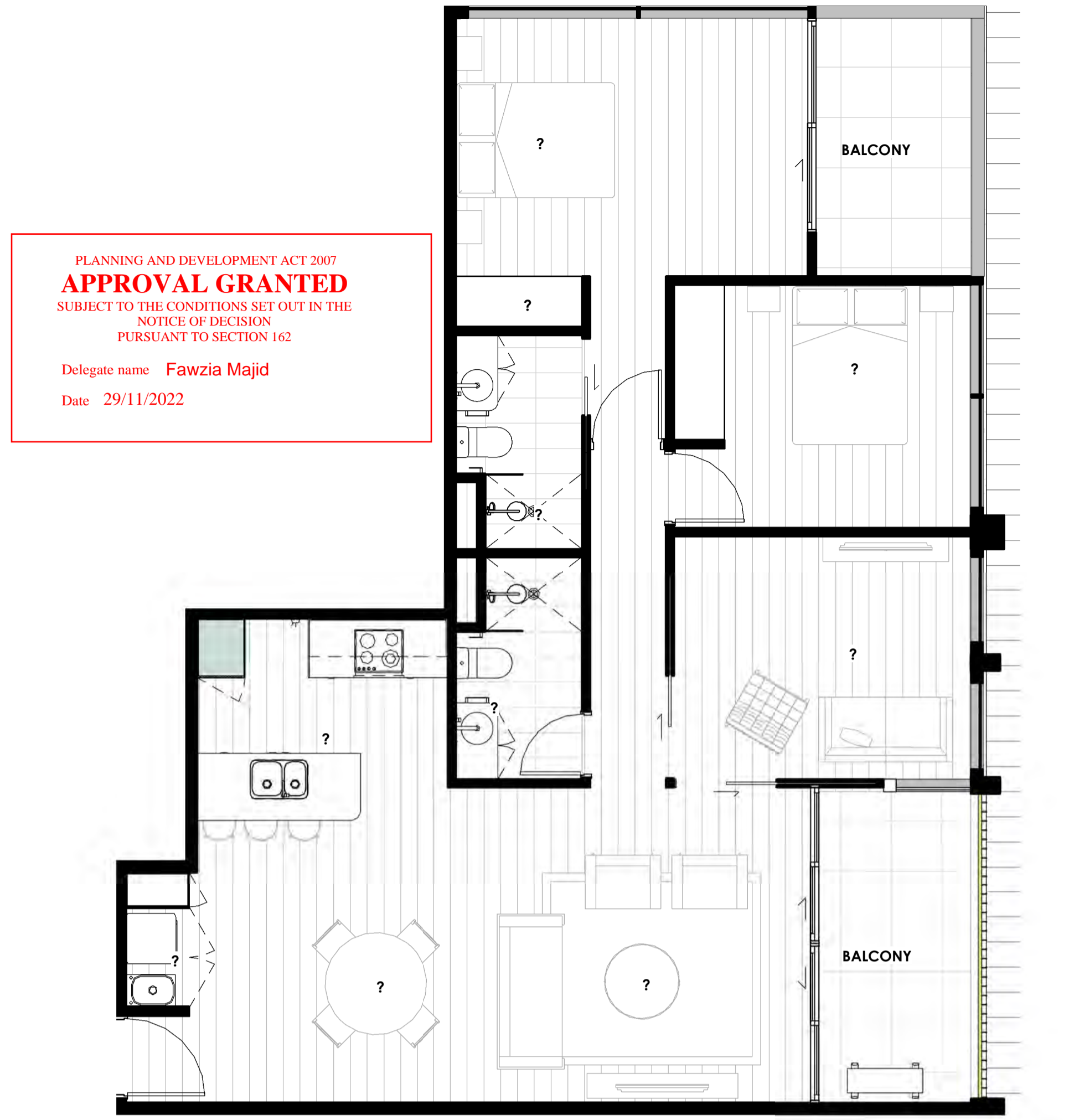
5 2 BED - TYPE 1
SCALE: 1:50

DA - UNIT SCHEDULE - 2B - T1	
UNIT - TYPE	GFA AREA
2B - T1	78.5M2

- SECTION 144**
- SUMMERFIELD CLOSE INTERFACE IMPROVED WITH: PLANTING BETWEEN POOL AREA AND BOUNDARY, CONCERGE BUILDING REIMAGINED & LANDSCAPING TREATMENTS AMENDED ALONGSIDE SERVICE DRIVEWAY
 - BUILDING A INTERFACE AND OVERSHADOWING IMPACT IMPROVED ONTO PRZ ZONE: SOFTENED LANDSCAPING, REVISED GROUND LEVEL ELEVATION & REDUCED BUILDING BULK
 - PEDESTRIAN PERMEABILITY IMPROVED WITH BRIDGE LINK ADDED BETWEEN BUILDING A AND B.
 - SUBSTATION LOCATED TO MEET ENTITY REQ'S
 - REDUCTION TO YIELD/ CHANGED UNIT DESIGN AND COMMUNAL SPACE
 - ADJUSTMENT TO BUILDING/ COURTYARD LINE (REQUIRED BY ICON WATER)
 - CHANGES TO COURTYARD PAVING/ WALKWAYS REQUIRED BY ICON WATER

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
SUBJECT TO THE CONDITIONS SET OUT IN THE NOTICE OF DECISION PURSUANT TO SECTION 162

Delegate name **Fawzia Majid**
Date **29/11/2022**



6 2 BED - TYPE 2
SCALE: 1:50

DA - UNIT SCHEDULE - 2B - T2	
UNIT - TYPE	GFA AREA
2B - T2	93.0M2



7 2 BED - TYPE 3
SCALE: 1:50
AMENDMENT: 5

DA - UNIT SCHEDULE - 2B - T3	
UNIT - TYPE	GFA AREA
2B - T3	78.4M2

DEVELOPMENT - UNIT COUNT BY BED NUMBER	
BED 1	276
BED 2	124
BED 3	6
TOTAL	406

REV. NO.	DESCRIPTION	DATE
1	PRE DA REVIEW	27/08/2021
2	ISSUE DA	01/09/2021
3	S144 UPDATED DRAWINGS	25/03/2022
4	DA - S144 - RFI	19/05/2022

SCALE: As indicated @ A1

DA - 601

DATE: 27/08/2021

DATE: 01/09/2021

DATE: 25/03/2022

DATE: 19/05/2022

SIZE: A1

PARKING PROVISION NOTE

NOTE:
 • REFER PREVIOUSLY LODGED DEVELOPMENT APPLICATION FOR BLOCK/SECTION FOR DETAILS OF PARKING GENERATION/ PROVISION

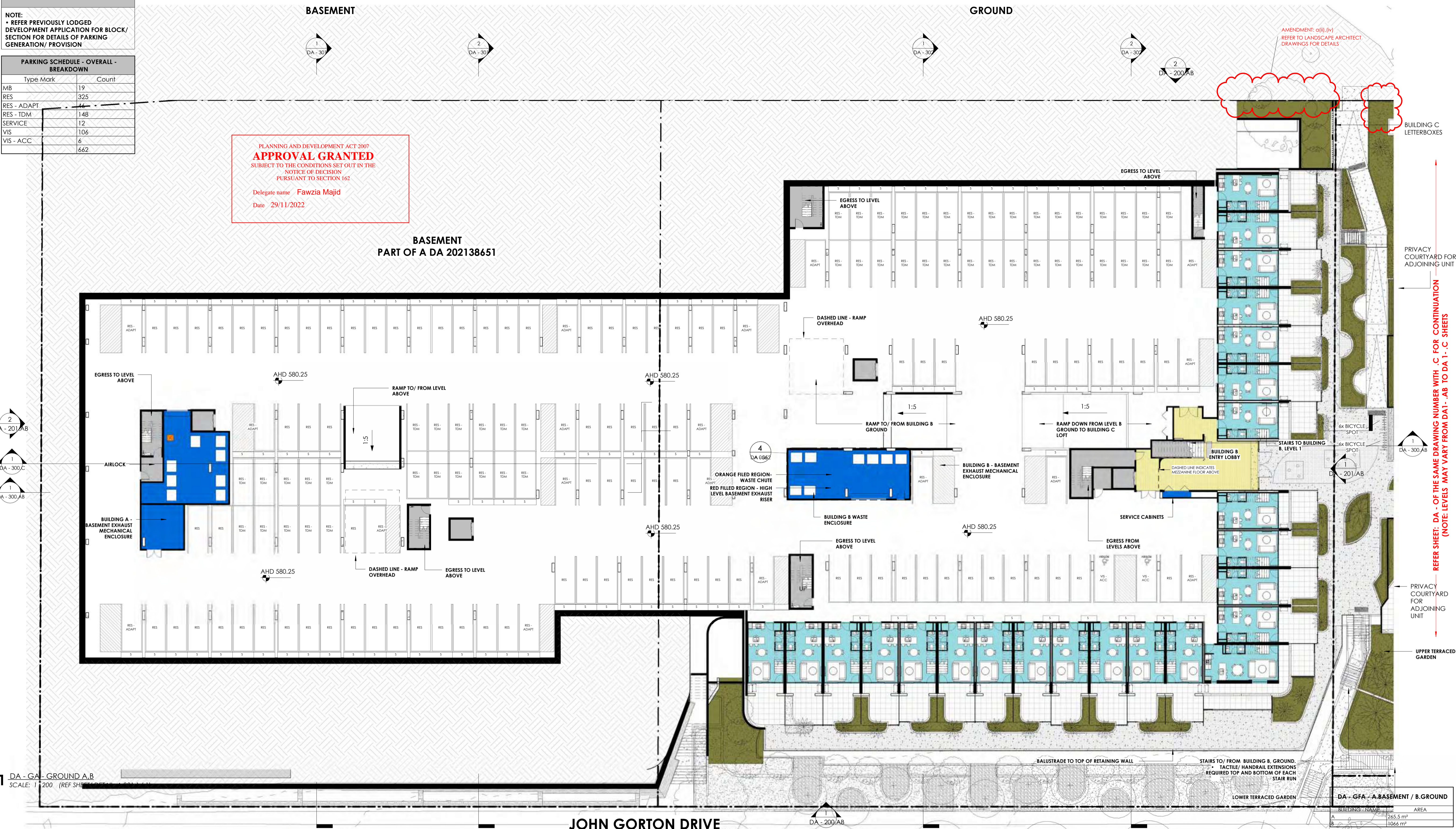
PARKING SCHEDULE - OVERALL - BREAKDOWN	
Type Mark	Count
MB	19
RES	325
RES - ADAPT	46
RES - TDM	148
SERVICE	12
VIS	106
VIS - ACC	6
	662

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 SUBJECT TO THE CONDITIONS SET OUT IN THE NOTICE OF DECISION PURSUANT TO SECTION 162
 Delegate name **Fawzia Majid**
 Date **29/11/2022**

**BUILDING A
BASEMENT**

**BUILDING B
GROUND**

**BASEMENT
PART OF A DA 202138651**



1 DA - GA - GROUND A,B
 SCALE: 1:200 (REF SHEET: DA-101.AB)

DA - GFA - A.BASEMENT / B.GROUND	
BUILDING - NAME	AREA
A	265.5 m ²
B	1066 m ²

NOD ITEMS:

- a) Revised site plan, floor plans, landscape plan and elevations and sections, based on the relevant drawings submitted as part of the application, including:
- i) Revised plans and elevations which show further reduction in height of the proposed development within 40m Block 6.
- ii) Detail elevation of the proposed fencing/courtyard walls/retaining walls along the southern boundary and also along the western boundary addressing Rule 11 of the Denman Prospect Precinct Map and Code and Rule 42A of the Multi Unit Housing Development Code (MUHDC);
- iii) Revised pedestrian entrance to Summerfield Close. The concierge building is not supported and considered inconsistent with Rule/Criteria 29 of the MUHDC
- iv) Landscaping on service spaces/service parking area on the northern part of the Summerfield Close frontage;
- v) Updated Landscape plan to show height to the top of retaining walls shown in metres above relevant ground level;
- vi) Height of the retaining wall, not to exceed 750mm along the southern edge of the verge crossing to comply with sight line;
- vii) External stairs leading from Block 2 to Block 6 park to be reversed in direction (to descend towards the west) to further reduce bulk and scale of the development built to the southern boundary of Block 2. Landscaping area to be extended in the westerly direction to replace the space previously occupied by the stairs;
- viii) Retaining walls around the swimming pool to be revisited to address Rule/Criteria 42A (Courtyard walls) of MUHDC;
- ix) Elevation of the retaining walls/garden bed/stair/landscaping structures to be shown in detail to the satisfaction of EPSCD, addressing the relevant provisions,
- x) Balustrade details complying with Rule/Criteria 64 (obscure glass panels or solid panels)
- b) Endorsement from ACT Emergency Services Agency (ACTESA) in support of the proposed development. Please refer to the comments received from ACTESA.

PER LEVEL AREAS

- **BED 1**
- **LIFT/STAIR**
- **LOBBY**
- **SERVICES**

GENERAL NOTES

NOTE:
 • WHERE INDICATED, PLAZA/ LANDSCAPING ELEMENTS INDICATIVE ONLY. REFER LANDSCAPE ARCHITECTS PLANS FOR DETAILS
 • RESIDENTIAL LAYOUTS SHOWN (REFER TYPICAL UNITS PLANS FOR EXAMPLES OF POSSIBLE ALTERNATIVE LAYOUTS)

- DO NOT SCALE OFF DRAWINGS -

PARKING PROVISION NOTE

NOTE:
 • REFER PREVIOUSLY LODGED DEVELOPMENT APPLICATION FOR BLOCK/SECTION FOR DETAILS OF PARKING GENERATION/ PROVISION

PARKING SCHEDULE - OVERALL - BREAKDOWN		
Type Mark		Count
MB		19
RES		325
RES - ADAPT		46
RES - TDM		148
SERVICE		12
VIS		106
VIS - ACC		6
		662

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 SUBJECT TO THE CONDITIONS SET OUT IN THE NOTICE OF DECISION PURSUANT TO SECTION 162

Delegate name **Fawzia Majid**
 Date **29/11/2022**

SUMMERFIELD CLOSE

BUILDING C

REFER SHEET: DA - OF THE SAME DRAWING NUMBER WITH -AB FOR CONTINUATION (NOTE: LEVELS MAY VARY FROM DA1 - -AB TO DA 1 - -C SHEETS)



JOHN GORTON DRIVE

HOLBOROW AVENUE

NOD ITEMS:

- a) Revised site plan, floor plans, landscape plan and elevations and sections, based on the relevant drawings submitted as part of the application, including:
 - i) Revised plans and elevations which show further reduction in height of the proposed development within 40m Block 6.
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 - x) Balustrade details complying with Rule/Criteria 64 (obscure glass panels or solid panels)
- b) Endorsement from ACT Emergency Services Agency (ACTESA) in support of the proposed development. Please refer to the comments received from ACTESA.

PER LEVEL AREAS

- BED 1
- LIFT/STAIR
- LOBBY
- SERVICES

DA - GFA - C.GROUND	
BUILDING - NAME	AREA
C	1359.5 m ²
	1359.5 m ²

GENERAL NOTES

NOTE:
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- DO NOT SCALE OFF DRAWINGS -

1 DA - GA - GROUND C
 SCALE: 1 : 200 (REF SHEET/ DETAIL: A 200 / 2)

<p>JUDD STUDIO</p> <p>LEVEL 1, 7 Sargood Street O'Connor ACT 2602 POST: PO BOX 52 BRADDDON ACT 2612 ABN 79 145 074 344</p>	<p>P: 02 6181 4963 E: office@juddstudio.com.au W: juddstudio.com.au</p> <p>NOMINATED ARCHITECT: Nathan Gibson Judd ACT Registration No 2232 NSW Registration No 7838</p>	<p>ANY FORM OF REPRODUCTION OF THIS DRAWING IN FULL OR IN PART WITHOUT THE WRITTEN PERMISSION OF JUDD STUDIO PTY LTD (JUDD.STUDIO) CONSTITUTES AN INFRINGEMENT OF COPYRIGHT.</p> <p>ALL DIMENSIONS ARE IN MILLIMETERS (MM) UNLESS NOTED OTHERWISE. DO NOT SCALE OFF DRAWINGS. DOCUMENTED DIMENSIONS ONLY ARE TO BE USED FOR CONSTRUCTION AND SITE SETOUT.</p>	<p>CLIENT: CORE DEVELOPMENTS</p>	<p>PROJECT: BLVD</p>	<p>ADDRESS: DENMAN PROSPECT, CNR OF JOHN GORTON DRIVE & HOLBOROW STREET</p> <p>BLOCK & SECTION: SECTION 75 - BLOCKS 9 DENMAN PROSPECT</p>	<p>DRAWING TITLE: GA - GROUND</p>	<p>REVISIONS:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> <tr> <td>1</td> <td>DA ISSUE</td> <td>01/09/2021</td> </tr> <tr> <td>2</td> <td>NOD INFORMATION</td> <td>01/11/2021</td> </tr> <tr> <td>3</td> <td>\$144 UPDATED DRAWINGS</td> <td>25/03/2022</td> </tr> <tr> <td>4</td> <td>SECTION 165 - NOD</td> <td>11/08/2022</td> </tr> </table>	No.	Description	Date	1	DA ISSUE	01/09/2021	2	NOD INFORMATION	01/11/2021	3	\$144 UPDATED DRAWINGS	25/03/2022	4	SECTION 165 - NOD	11/08/2022	<p>SCALE: As indicated @ A1</p> <p style="font-size: 2em; font-weight: bold;">DA - 101.C</p> <p style="font-size: 0.8em;">SIZE: A1</p>
No.	Description	Date																					
1	DA ISSUE	01/09/2021																					
2	NOD INFORMATION	01/11/2021																					
3	\$144 UPDATED DRAWINGS	25/03/2022																					
4	SECTION 165 - NOD	11/08/2022																					

PARKING PROVISION NOTE

NOTE:
 • REFER PREVIOUSLY LODGED DEVELOPMENT APPLICATION FOR BLOCK/SECTION FOR DETAILS OF PARKING GENERATION/ PROVISION

PARKING SCHEDULE - OVERALL - BREAKDOWN		
Type Mark		Count
MB		19
RES		325
RES - ADAPT		4
RES - TDM		148
SERVICE		12
VIS		106
VIS - ACC		6
		662

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 SUBJECT TO THE CONDITIONS SET OUT IN THE NOTICE OF DECISION PURSUANT TO SECTION 162
 Delegate name **Fawzia Majid**
 Date **29/11/2022**



1 DA-1 - GA - LOFT
 SCALE: 1 : 200 (REF SHEET/DETAIL: A 055 / 3)

NOD ITEMS:
 a) Revised site plan, floor plans, landscape plan and elevations and sections, based on the relevant drawings submitted as part of the application, including:
 i) Revised plans and elevations which show further reduction in height of the proposed development within 40m Block 6.
 ii) Detail elevation of the proposed fencing/courtyard walls/retaining walls along the southern boundary and also along the western boundary addressing Rule 11 of the Denman Prospect Precinct Map and Code and Rule 42A of the Multi Unit Housing Development Code (MUHDC);
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 ix) Balustrade details complying with Rule/Criteria 64 (obscure glass panels or solid panels)
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 b) Endorsement from ACT Emergency Services Agency (ACTESA) in support of the proposed development. Please refer to the comments received from ACTESA, including RL's or AHD values of these structures;

NB: DRAWINGS TO BE READ IN CONJUNCTION WITH ASSOCIATED BELOW GROUND DEVELOPMENT APPLICATION (202138651). BELOW GROUND WORKS MAY BE SHOWN TO AID WITH DA ASSESSMENT



LEVEL 1, 7 Sargood Street
 O'Connor ACT 2602
 POST: PO BOX 52 BRADDDON ACT 2612
 ABN 79 145 074 344
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 E: office@juddstudio.com.au
 W: juddstudio.com.au
 NOMINATED ARCHITECT:
 Nathan Gibson Judd
 ACT Registration No 2232
 NSW Registration No 7838

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PROJECT: **BLVD**

ADDRESS: **DENMAN PROSPECT, CNR OF JOHN GORTON DRIVE & HOLBOROW STREET**
 BLOCK & SECTION: **SECTION 75 - BLOCKS 2,9 & 10 DENMAN PROSPECT**

DRAWING TITLE: **GA - LOFT**

REVISIONS:	No.	Description	Date
2	REVISED SERVICE ENCLOSURES	21/09/2021	
3	NOD INFORMATION	01/11/2021	
4	\$144 UPDATED DRAWINGS	25/03/2022	
5	SECTION 165 - NOD	11/08/2022	

SCALE: As indicated @ A1

DA - 102.AB
 SIZE: A1

GENERAL NOTES
 NOTE:
 • WHERE INDICATED, PLAZA/ LANDSCAPING ELEMENTS INDICATIVE ONLY. REFER LANDSCAPE ARCHITECTS PLANS FOR DETAILS
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PER LEVEL AREAS	
■ BED 1	■ LIFT/STAIR
■ BED 2	■ LOBBY
■ COMMUNAL SPACE	■ SERVICES

DA - GFA - A.GROUND / B.LOFT	
BUILDING - NAME	AREA
A	942.5 m ²
B	1115.5 m ²

REFER SHEET: DA - OF THE SAME DRAWING NUMBER WITH - C FOR CONTINUATION (NOTE: LEVELS MAY VARY FROM DA1 - AB TO DA 1 - C SHEETS)

- DO NOT SCALE OFF DRAWINGS -

PARKING PROVISION NOTE

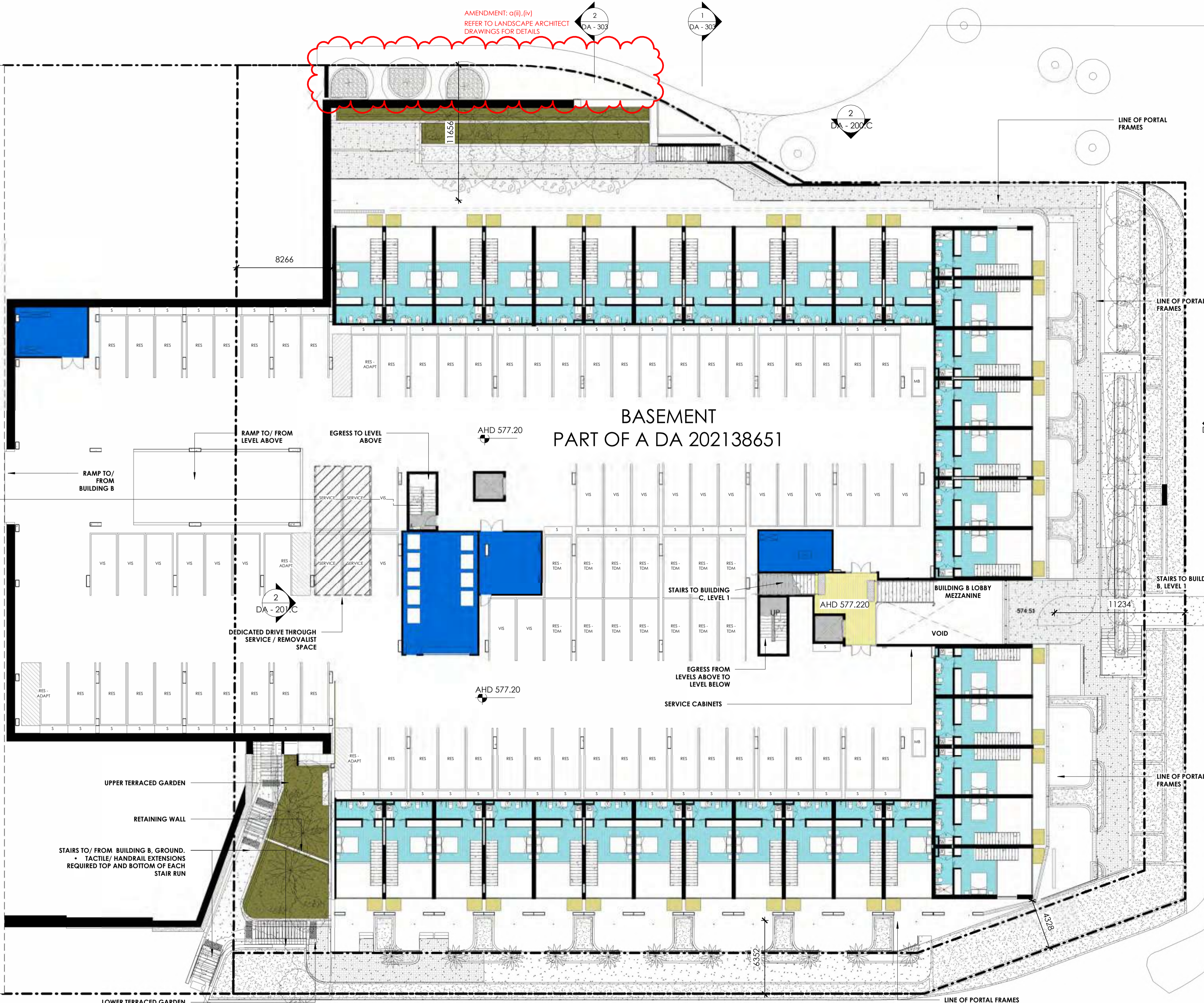
NOTE:
 • REFER PREVIOUSLY LODGED DEVELOPMENT APPLICATION FOR BLOCK/SECTION FOR DETAILS OF PARKING GENERATION/ PROVISION

PARKING SCHEDULE - OVERALL - BREAKDOWN	
Type Mark	Count
MB	19
RES	325
RES - ADAPT	46
RES - TDM	148
SERVICE	12
VIS	106
VIS - ACC	6
TOTAL	662

SUMMERFIELD CLOSE

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 SUBJECT TO THE CONDITIONS SET OUT IN THE NOTICE OF DECISION PURSUANT TO SECTION 162
 Delegate name **Fawzia Majid**
 Date **29/11/2022**

REFER SHEET: DA - OF THE SAME DRAWING NUMBER WITH -AB FOR CONTINUATION (NOTE: LEVELS MAY VARY FROM DA1 - -AB TO DA 1 - -C SHEETS)



NOD ITEMS:

- a) Revised site plan, floor plans, landscape plan and elevations and sections, based on the relevant drawings submitted as part of the application, including:
 - i) Revised plans and elevations which show further reduction in height of the proposed development within 40m Block 6.
 - ii) Detail elevation of the proposed fencing/courtyard walls/retaining walls along the southern boundary and also along the western boundary accessing Rule 1 of the Denman Prospect Precinct Map and Code and Rule 42A of the Multi Unit Housing Development Code (MUHDC);
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- b) Endorsement from ACT Emergency Services Agency (ACTESA) in support of the proposed development. Please refer to the comments received from ACTESA.

PER LEVEL AREAS

- BED 1
- LIFT/STAIR
- LOBBY
- SERVICES

DA - GFA - C.LOFT	
BUILDING - NAME	AREA
C	1048 m ²
	1048 m ²

GENERAL NOTES

NOTE:
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- DO NOT SCALE OFF DRAWINGS -

1 DA - GA - LOFT C
 SCALE: 1 : 200 (REF SHEET/ DETAIL: A 201.1 / 1)

NB: DRAWINGS TO BE READ IN CONJUNCTION WITH ASSOCIATED BELOW GROUND DEVELOPMENT APPLICATION (202138651). BELOW GROUND WORKS MAY BE SHOWN TO AID WITH DA ASSESSMENT

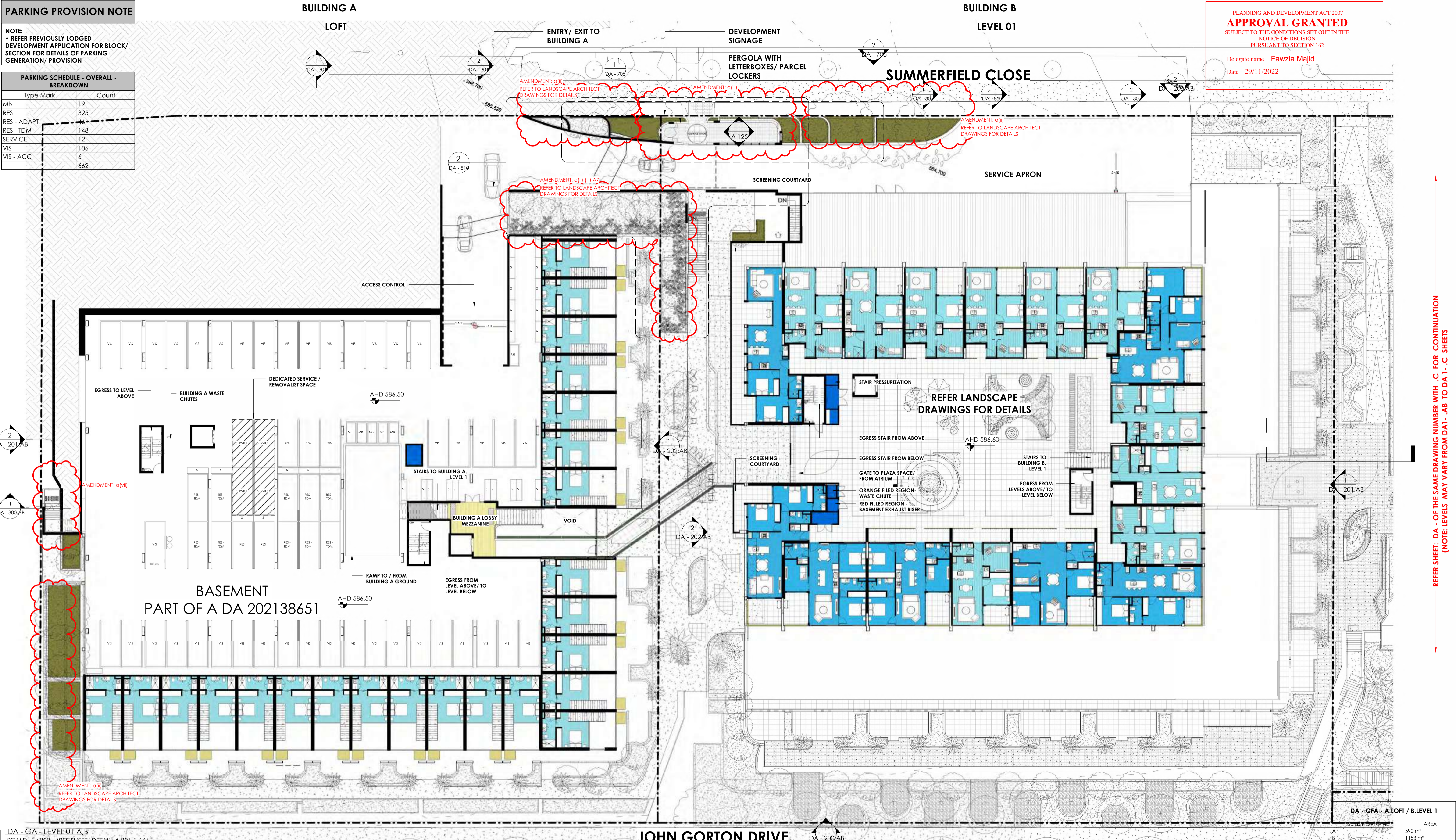
<p>JUDD STUDIO</p> <p>LEVEL 1, 7 Sargood Street O'Connor ACT 2602 POST: PO BOX 52 BRADDDON ACT 2612 ABN 79 145 074 344</p>	<p>P: 02 6181 4963 E: office@juddstudio.com.au W: juddstudio.com.au</p> <p>NOMINATED ARCHITECT: Nathan Gibson Judd ACT Registration No 2232 NSW Registration No 7838</p>	<p>ANY FORM OF REPRODUCTION OF THIS DRAWING IN FULL OR IN PART WITHOUT THE WRITTEN PERMISSION OF JUDD STUDIO PTY LTD (JUDD.STUDIO) CONSTITUTES AN INFRINGEMENT OF COPYRIGHT.</p> <p>ALL DIMENSIONS ARE IN MILLIMETERS (MM) UNLESS NOTED OTHERWISE. DO NOT SCALE OFF DRAWINGS. DOCUMENTED DIMENSIONS ONLY ARE TO BE USED FOR CONSTRUCTION AND SITE SETOUT.</p>	<p>CLIENT: CORE DEVELOPMENTS</p>	<p>PROJECT: BLVD</p>	<p>ADDRESS: DENMAN PROSPECT, CNR OF JOHN GORTON DRIVE & HOLBOROW STREET</p> <p>BLOCK & SECTION: SECTION 75 - BLOCKS 9 DENMAN PROSPECT</p>	<p>DRAWING TITLE: GA - LOFT</p>	<p>REVISIONS: No. Description Date 1 DA ISSUE 01/09/2021 2 NOD INFORMATION 01/11/2021 3 \$144 UPDATED DRAWINGS 25/03/2022 4 SECTION 165 - NOD 11/08/2022</p>	<p>SCALE: As indicated @ A1</p> <p style="font-size: 2em; font-weight: bold;">DA - 102.C</p> <p style="font-size: 0.8em;">SIZE: A1</p>
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PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 SUBJECT TO THE CONDITIONS SET OUT IN THE
 NOTICE OF DECISION
 PURSUANT TO SECTION 162
 Delegate name: Fawzia Majid
 Date: 29/11/2022

PARKING PROVISION NOTE

NOTE:
 • REFER PREVIOUSLY LODGED DEVELOPMENT APPLICATION FOR BLOCK/SECTION FOR DETAILS OF PARKING GENERATION/ PROVISION

PARKING SCHEDULE - OVERALL - BREAKDOWN		
Type Mark		Count
MB		19
RES		325
RES - ADAPT		16
RES - TDM		148
SERVICE		12
VIS		106
VIS - ACC		6
		662



1 DA - GA - LEVEL 01 A,B
 SCALE: 1:200 (REF SHEET/DETAIL: A 201.1 / 6)

- NOD ITEMS:**
- a) Revised site plan, floor plans, landscape plan and elevations and sections, based on the relevant drawings submitted as part of the application, including:
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PROJECT:
BLVD

ADDRESS:
 DENMAN PROSPECT, CNR OF JOHN GORTON DRIVE & HOLBOROW STREET
 BLOCK & SECTION:
 SECTION 75 - BLOCKS 2,9 & 10 DENMAN PROSPECT

DRAWING TITLE:
GA - LEVEL 1

REVISIONS:	No.	Description	Date
3	NOD INFORMATION		01/11/2021
4	SECTION 197		08/03/2020
5	\$144 UPDATED DRAWINGS		25/03/2022
6	SECTION 165 - NOD		11/08/2022

SCALE: As indicated @ A1

DA - 103.AB

GENERAL NOTES

NOTE:
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- DO NOT SCALE OFF DRAWINGS -

REFER SHEET: DA - OF THE SAME DRAWING NUMBER WITH -C FOR CONTINUATION (NOTE: LEVELS MAY VARY FROM DA1 - .AB TO DA 1 - .C SHEETS)

SUMMERFIELD CLOSE

BUILDING C

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 SUBJECT TO THE CONDITIONS SET OUT IN THE
 NOTICE OF DECISION
 PURSUANT TO SECTION 162
 Delegate name **Fawzia Majid**
 Date **29/11/2022**



REFER SHEET: DA - OF THE SAME DRAWING NUMBER WITH -AB FOR CONTINUATION (NOTE: LEVELS MAY VARY FROM DA1 - AB TO DA 1 - C SHEETS)

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 - x) Balustrade details complying with Rule/Criteria 64 (obscure glass panels or solid panels)
- b) Endorsement from ACT Emergency Services Agency (ACTESA) in support of the proposed development. Please refer to the comments received from ACTESA.

PER LEVEL AREAS

- BED 1
- BED 2
- LIFT/STAIR
- LOBBY
- SERVICES

DA - GFA - C.LEVEL 1	
AREA TYPE	AREA
BED 1	575 m ²
BED 2	564.5 m ²
SERVICES	17.5 m ²
	1157 m ²

GENERAL NOTES

- NOTE:
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 - RESIDENTIAL LAYOUTS SHOWN (REFER TYPICAL UNITS PLANS FOR EXAMPLES OF POSSIBLE ALTERNATIVE LAYOUTS)

- DO NOT SCALE OFF DRAWINGS -

1 DA - GA - LEVEL 01.C
 SCALE: 1 : 200 (REF SHEET/DETAIL: A 201.1 / 1)

	LEVEL 1, 7 Sargood Street O'Connor ACT 2602 POST: PO BOX 52 BRADDDON ACT 2612 ABN 79 145 074 344	P: 02 6181 4963 E: office@juddstudio.com.au W: juddstudio.com.au NOMINATED ARCHITECT: Nathan Gibson Judd ACT Registration No 2232 NSW Registration No 7838	ANY FORM OF REPRODUCTION OF THIS DRAWING IN FULL OR IN PART WITHOUT THE WRITTEN PERMISSION OF JUDD STUDIO PTY LTD (JUDD.STUDIO) CONSTITUTES AN INFRINGEMENT OF COPYRIGHT. ALL DIMENSIONS ARE IN MILLIMETERS (MM) UNLESS NOTED OTHERWISE. DO NOT SCALE OFF DRAWINGS. DOCUMENTED DIMENSIONS ONLY ARE TO BE USED FOR CONSTRUCTION AND SITE SETOUT.	CLIENT: 	PROJECT: BLVD	ADDRESS: DENMAN PROSPECT, CNR OF JOHN GORTON DRIVE & HOLBOROW STREET BLOCK & SECTION: SECTION 75 - BLOCKS 9 DENMAN PROSPECT	DRAWING TITLE: GA - LEVEL 1	REVISIONS: No. Description Date 1 DA ISSUE 01/09/2021 2 REVISED SERVICE ENCLOSURES 21/09/2021 3 \$144 UPDATED DRAWINGS 25/03/2022 4 SECTION 165 - NOD 11/08/2022	SCALE: As indicated @ A1 DA - 103.C SIZE: A1
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PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 SUBJECT TO THE CONDITIONS SET OUT IN THE
 NOTICE OF DECISION
 PURSUANT TO SECTION 162
 Delegate name: **Fawzia Majid**
 Date: 29/11/2022



REFER SHEET: DA - OF THE SAME DRAWING NUMBER WITH - C FOR CONTINUATION (NOTE: LEVELS MAY VARY FROM DA1 - AB TO DA 1 - C SHEETS)

1 DA - GA - LEVEL 02 A,B
 SCALE: 1 : 200 (REF SHEET/ DETAIL: A 055 / 17)

DA - GFA - A LEVEL 1 / B LEVEL 2	
BUILDING - NAME	AREA
A	1153.5 m ²
B	1207.5 m ²
Grand total	2360.5 m²

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 - x) Balustrade details complying with Rule/Criteria 64 (obscure glass panels or solid panels)
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PER LEVEL AREAS

- BED 1**
- BED 2**
- LIFT/STAIR**
- SERVICES**
- COMMUNAL SPACE**

GENERAL NOTES

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LEVEL 5

LEVEL 6



REFER SHEET: DA - OF THE SAME DRAWING NUMBER WITH -C FOR CONTINUATION (NOTE: LEVELS MAY VARY FROM DA1-.AB TO DA 1-.C SHEETS)

DA - GFA - A.LEVEL 5 / B.LEVEL 6	
BUILDING - NAME	AREA
A	1001 m ²
B	1218 m ²

- PER LEVEL AREAS**
- BED 1
 - BED 2
 - BED 3
 - SERVICES

GENERAL NOTES

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 PLANS FOR DETAILS
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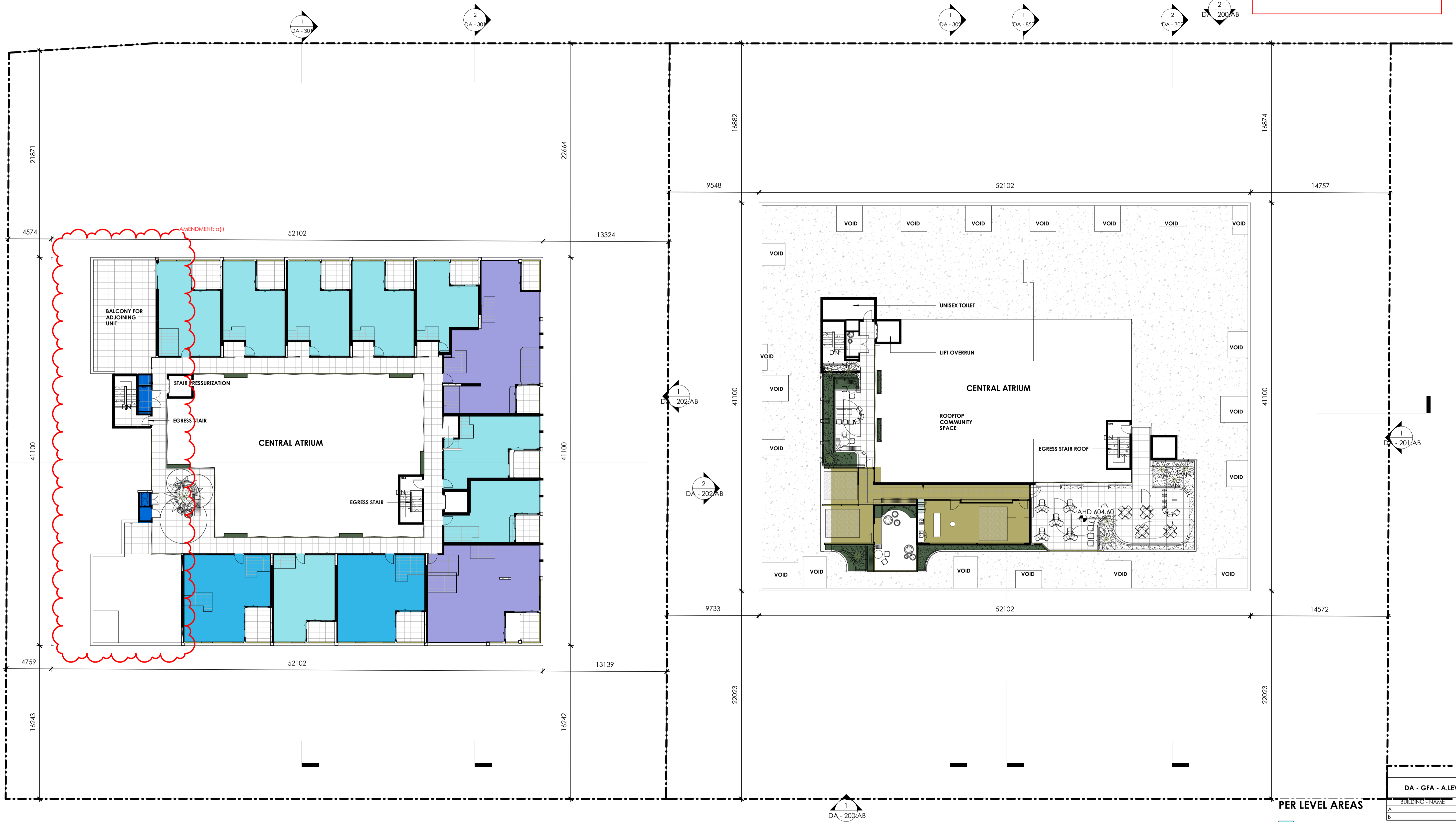
- NOD ITEMS:**
- i)** Revised site plan, floor plans, landscape plan and elevations and sections, based on the relevant drawings submitted as part of the application, including:
 - i)** Revised CAD LEVEL 5 & 6 A/B which include the proposed height of the proposed development within 40m Block 6.
 - ii)** Detail elevation of the proposed fencing/courtyard walls/retaining walls along the southern boundary and also along the western boundary addressing Rule 11 of the Denman Prospect Precinct Map and Code and Rule 42A of the Planning Development Code (MUHDC).
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LEVEL 6

ROOF /
ROOF LEVEL PAVILION

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REFER SHEET: DA - OF THE SAME DRAWING NUMBER WITH - C FOR CONTINUATION
 (NOTE: LEVELS MAY VARY FROM DA1 - AB TO DA 1 - C SHEETS)

DA - GFA - A.LEVEL 6 / B.ROOF	
BUILDING - NAME	AREA
A	871.5 m ²
B	127.5 m ²

PER LEVEL AREAS

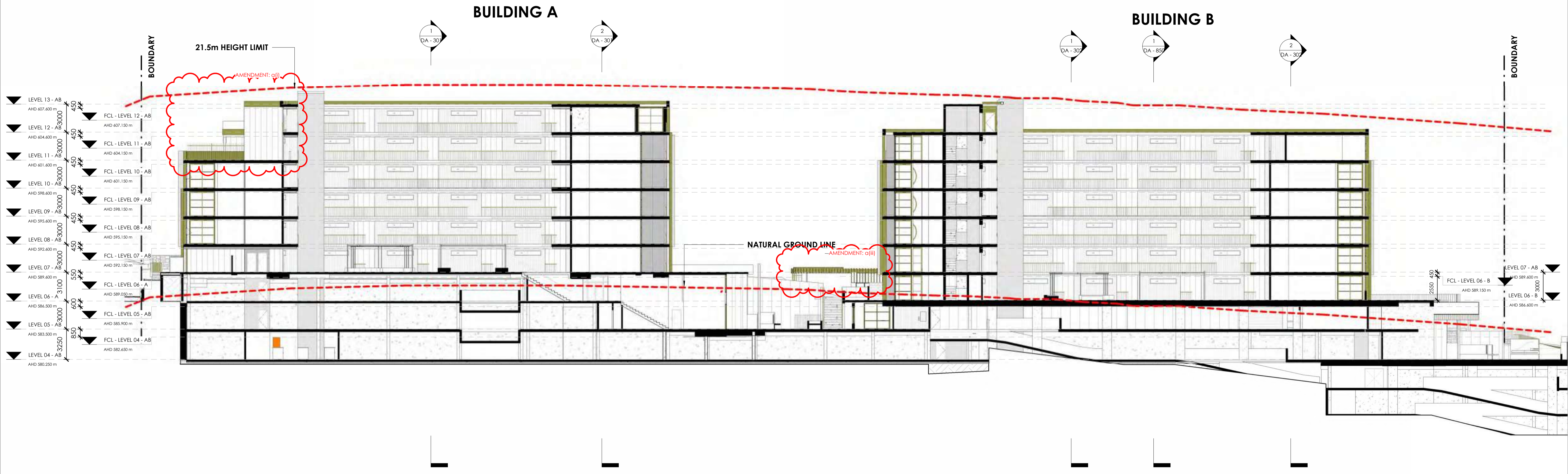
- BED 1
- BED 2
- BED 3
- COMMUNAL SPACE
- SERVICES

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1 DA - SECTION - NORTH/ SOUTH - BUILDING A/B
SCALE: 1 : 200 (REF SHEET/ DETAIL: CO 1 - 100 / 1)

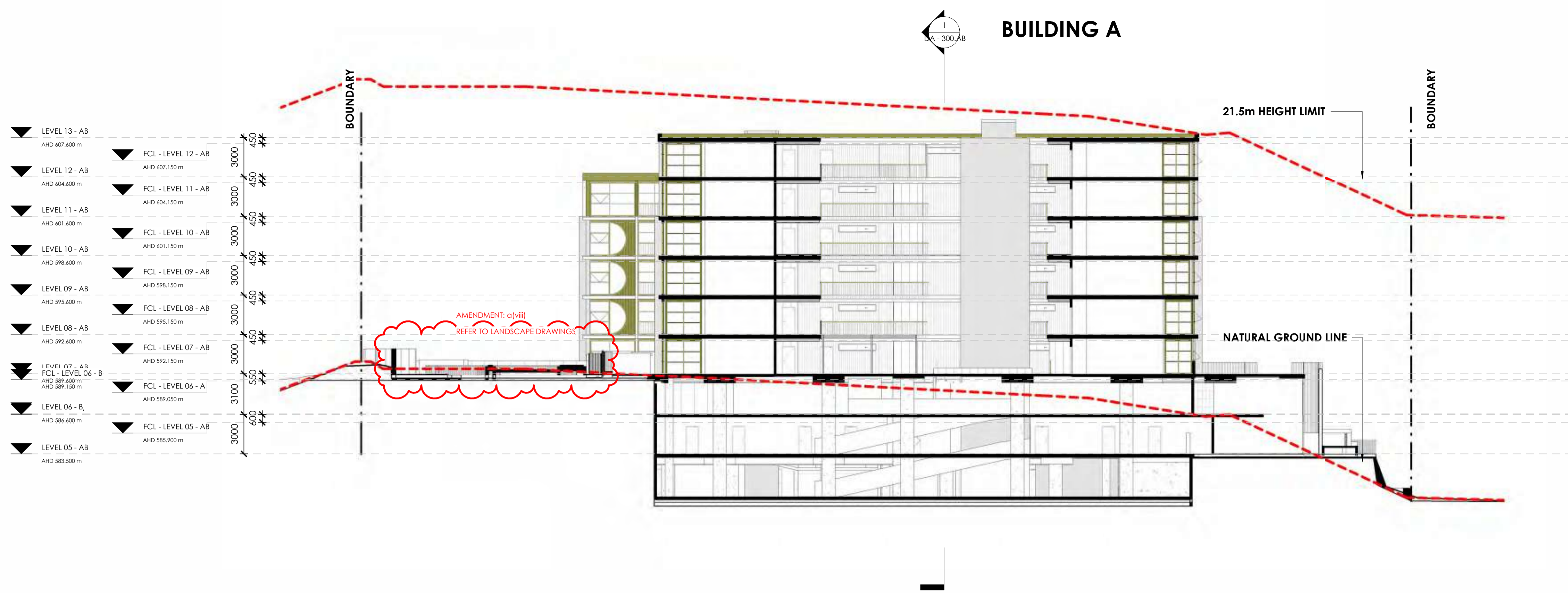
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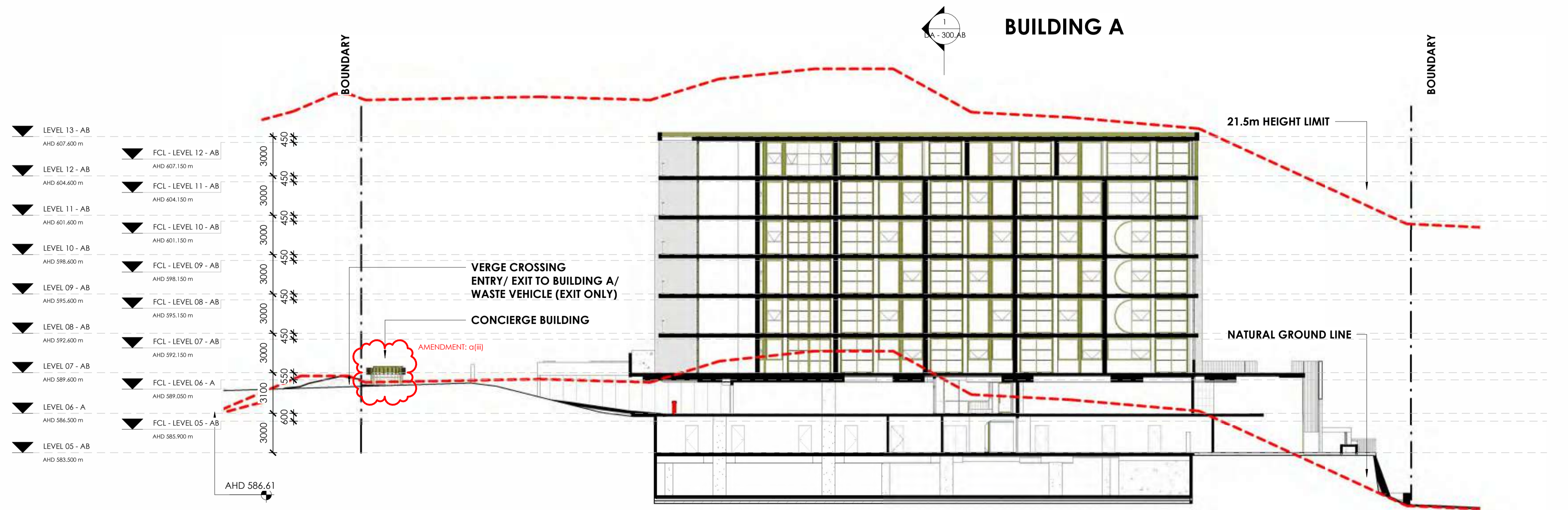
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1 DA - SECTION - AA - BUILDING A - E/W
SCALE: 1 : 200 (REF SHEET / DETAIL: CO - 1000 / 1)



2 DA - SECTION - BB - BUILDING A - E/W
SCALE: 1 : 200 (REF SHEET / DETAIL: CO 1 - 100 / 1)

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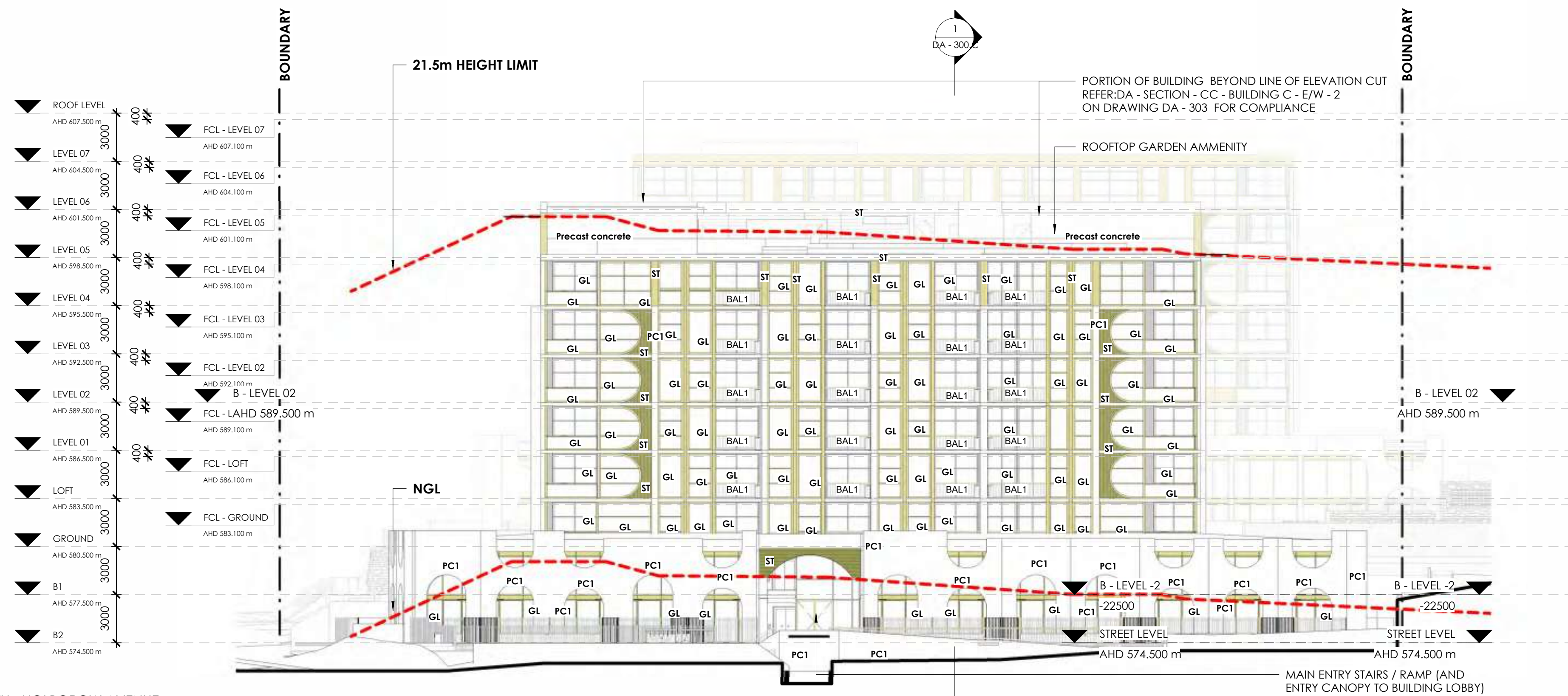
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- SUMMERFIELD CLOSE INTERFACE IMPROVED WITH: PLANTING BETWEEN POOL AREA AND BOUNDARY, CONCERGE BUILDING REIMAGINED & LANDSCAPING TREATMENTS AMENDED ALONGSIDE SERVICE DRIVEWAY
- BUILDING A INTERFACE AND OVERSHADOWING IMPACT IMPROVED ONTO FRIZ ZONE. SOFTENED LANDSCAPING, REVISED GROUND LEVEL ELEVATION & REDUCED BUILDING BULK
- PEDESTRIAN PERMEABILITY IMPROVED WITH BRIDGE LINK ADDED BETWEEN BUILDING A AND B.
- SUBSTATION LOCATED TO MEET ENTRY REG'S
- REDUCTION TO YIELD/ CHANGED UNIT DESIGN AND COMMUNAL SPACE
- ADJUSTMENT TO BUILDING/ COURTYARD LINE (REQUIRED BY ICON WATER)
- CHANGES TO COURTYARD PAVING/ WALKWAYS REQUIRED BY ICON WATER



1 DA - ELEVATION - BUILDING C - NORTH - HOLBOROW AVENUE
 SCALE: 1 : 200



2 DA - ELEVATION - BUILDING C - SOUTH
 SCALE: 1 : 200

NB: DRAWINGS TO BE READ IN CONJUNCTION WITH ASSOCIATED BELOW GROUND DEVELOPMENT APPLICATION (202138651). BELOW GROUND WORKS MAY BE SHOWN TO AID WITH DA ASSESSMENT

MATERIAL SAMPLE SCHEDULE

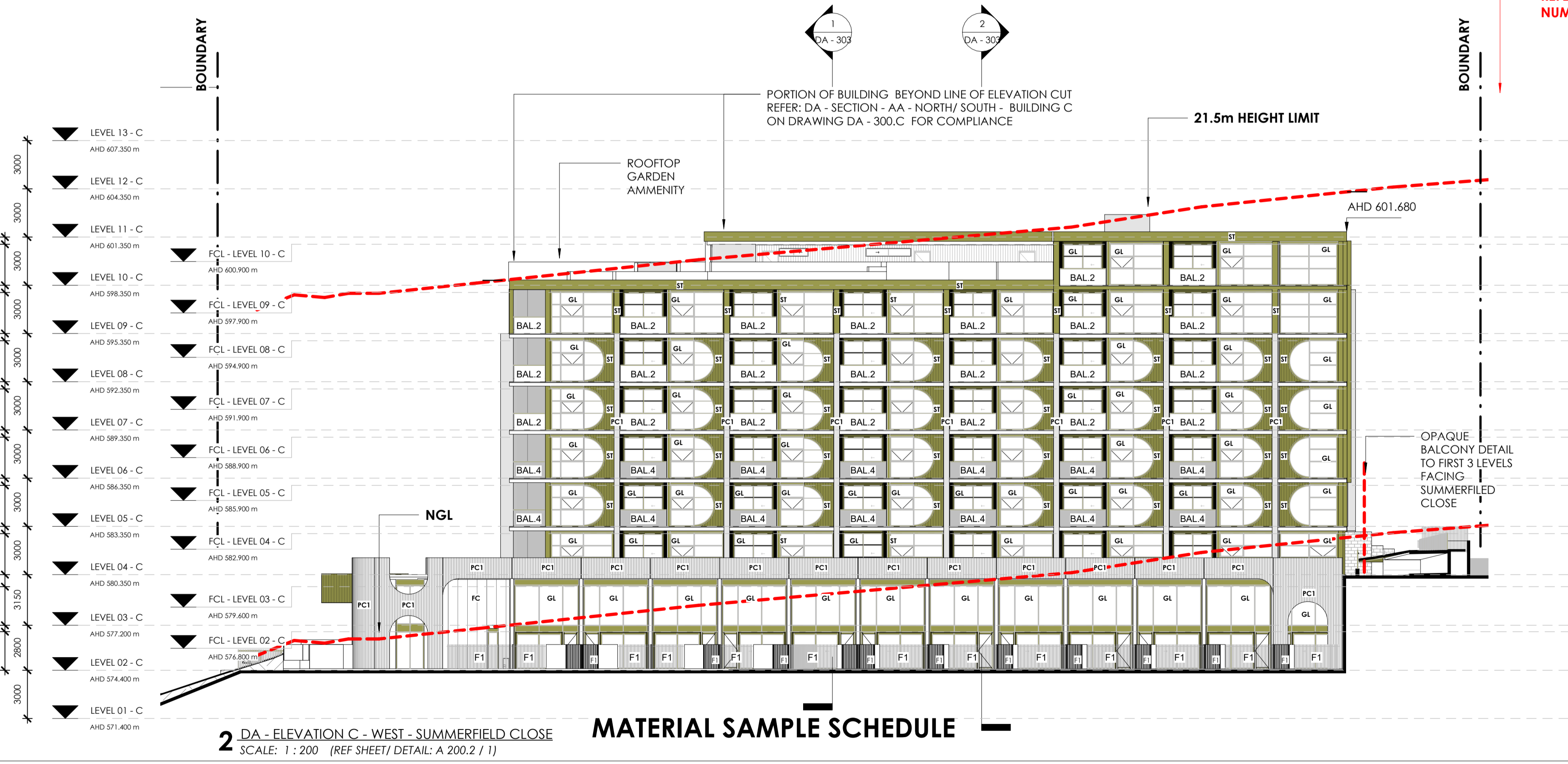
<p>PRECAST / INSITU CONCRETE:</p> <ul style="list-style-type: none"> WHITE OXIDE PRECAST (NAWKAW FOR EXPOSED INSITU) OR BARESTONE OR EQUAL <p>CODE: PC1</p>	<p>LIGHTWEIGHT MATERIAL:</p> <ul style="list-style-type: none"> WHITE OXIDE PRECAST (NAWKAW FOR EXPOSED INSITU OR BARESTONE OR EQUAL <p>CODE: FC</p> <p>LIGHTWEIGHT MATERIAL:</p> <ul style="list-style-type: none"> BARESTONE ASH WHERE INDICATED <p>CODE: FC(B)</p>	<p>STYRUM:</p> <ul style="list-style-type: none"> COLOUR: PRECIS PURE GOLD <p>CODE: ST</p> <p>STYRUM:</p> <ul style="list-style-type: none"> COLOUR: AXINITE BRONZE <p>CODE: ST(AB)</p>	<p>GLAZING FRAMES:</p> <ul style="list-style-type: none"> ALUMINIUM, POWDERCOATED TO MATCH "STYRUM" AXINITE BRONZE" OR SIMILAR <p>CODE: GL</p>	<p>PICKET BALUSTRADE:</p> <ul style="list-style-type: none"> ALUMINIUM, POWDERCOATED TO MATCH "STYRUM" PRECIS PURE GOLD <p>CODE: BAL1</p>	<p>GLAZED BALUSTRADE:</p> <ul style="list-style-type: none"> FULL / PARTIAL HEIGHT ALUMINIUM TO MATCH "STYRUM" PRECIS PURE GOLD GLAZED PANEL OPAQUE BELOW L3 IF FRONTING A STREET <p>CODE: BAL2</p>	<p>COURTYARD WALLING</p> <ul style="list-style-type: none"> CULTURED STONE OR EQUIVALENT CLADDING <p>CODE: STN</p>	<p>MASONRY WALLING</p> <ul style="list-style-type: none"> WHITE BRICK <p>CODE: BK</p>	<p>COURTYARD FENCE</p> <ul style="list-style-type: none"> VERTICAL SLAT/BATTEN FENCE <p>CODE: F1</p>	<p>PORTALS</p> <ul style="list-style-type: none"> PRECAST/ FIBRE CEMENT OR SIMILAR
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REFER SHEET: DA - OF THE SAME DRAWING NUMBER WITH .AB FOR CONTINUATION

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REFER SHEET: DA - OF THE SAME DRAWING NUMBER WITH .AB FOR CONTINUATION



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MATERIAL SAMPLE SCHEDULE

<p>PRECAST / INSITU CONCRETE:</p> <ul style="list-style-type: none"> WHITE OXIDE PRECAST (NAWKAW FOR EXPOSED INSITU) OR BARESTONE OR EQUAL <p>CODE: FC</p>	<p>LIGHTWEIGHT MATERIAL:</p> <ul style="list-style-type: none"> WHITE OXIDE PRECAST (NAWKAW FOR EXPOSED INSITU OR BARESTONE OR EQUAL BARESTONE ASH <p>CODE: ST</p>	<p>STYRUM:</p> <ul style="list-style-type: none"> COLOUR: PRECIS PURE GOLD COLOUR: AXINITE BRONZE <p>CODE: ST</p>	<p>GLAZING FRAMES:</p> <ul style="list-style-type: none"> ALUMINIUM, POWDERCOATED TO MATCH "STYRUM" AXINITE BRONZE" OR SIMILAR 	<p>PICKET BALUSTRADE:</p> <ul style="list-style-type: none"> ALUMINIUM, POWDERCOATED TO MATCH "STYRUM" PRECIS PURE GOLD <p>CODE: BAL1</p>	<p>GLAZED BALUSTRADE:</p> <ul style="list-style-type: none"> FULL / PARTIAL HEIGHT ALUMINIUM TO MATCH "STYRUM" PRECIS PURE GOLD GLAZED PANEL OPAQUE BELOW L3 IF FRONTING A STREET (BAL4) <p>CODE: BAL2/BAL4</p>	<p>COURTYARD WALLING</p> <ul style="list-style-type: none"> CULTURED STONE OR EQUIVALENT CLADDING <p>CODE: STN</p>	<p>MASONRY WALLING</p> <ul style="list-style-type: none"> WHITE BRICK <p>CODE: BK</p>	<p>COURTYARD FENCE</p> <ul style="list-style-type: none"> VERTICAL SLAT/BATTEN FENCE/GATE <p>CODE: F1</p>	<p>PORTALS</p> <ul style="list-style-type: none"> PRECAST/ FIBRE CEMENT OR SIMILAR
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1 DA - ELEVATION - BUILDING B - NORTH
 SCALE: 1 : 200 (REF SHEET/DETAIL: DA - 101.AB / 1)



2 DA - ELEVATION - BUILDING A - SOUTH
 SCALE: 1 : 200 (REF SHEET/DETAIL: DA - 101.AB / 1)

MATERIAL SAMPLE SCHEDULE

<p>PRECAST / INSITU CONCRETE:</p> <ul style="list-style-type: none"> WHITE OXIDE PRECAST (NAWKAW FOR EXPOSED INSITU) OR BARESTONE OR EQUAL 	<p>LIGHTWEIGHT MATERIAL:</p> <ul style="list-style-type: none"> WHITE OXIDE PRECAST (NAWKAW FOR EXPOSED INSITU OR BARESTONE OR EQUAL <p>CODE: FC</p> <p>LIGHTWEIGHT MATERIAL:</p> <ul style="list-style-type: none"> BARESTONE ASH 	<p>STYRUM:</p> <ul style="list-style-type: none"> COLOUR: PRECIS PURE GOLD <p>CODE: ST</p> <p>STYRUM:</p> <ul style="list-style-type: none"> COLOUR: AXINITE BRONZE <p>CODE: STAB</p>	<p>GLAZING FRAMES:</p> <ul style="list-style-type: none"> ALUMINIUM, POWDERCOATED TO MATCH "STYRUM" AXINITE BRONZE" OR SIMILAR 	<p>PICKET BALUSTRADE:</p> <ul style="list-style-type: none"> ALUMINIUM, POWDERCOATED TO MATCH "STYRUM" PRECIS PURE GOLD <p>CODE: BAL1</p>	<p>GLAZED BALUSTRADE:</p> <ul style="list-style-type: none"> FULL / PARTIAL HEIGHT ALUMINIUM TO MATCH "STYRUM" PRECIS PURE GOLD GLAZED PANEL OPAQUE BELOW L3 IF FRONTING A STREET (BAL4) <p>AMENDMENT: a(x)</p> <p>CODE: BAL2/BAL4</p>	<p>COURTYARD WALLING</p> <ul style="list-style-type: none"> CULTURED STONE OR EQUIVALENT CLADDING <p>CODE: STN</p>	<p>MASONRY WALLING</p> <ul style="list-style-type: none"> WHITE BRICK <p>CODE: BK</p>	<p>COURTYARD FENCE</p> <ul style="list-style-type: none"> VERTICAL SLAT/BATTEN FENCE/GATE <p>CODE: F1</p>	<p>PORTALS</p> <ul style="list-style-type: none"> PRECAST/ FIBRE CEMENT OR SIMILAR
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NOD ITEMS:

a) Revised site plan, floor plans, landscape plan and elevations and sections, based on the relevant drawings submitted as part of the application, including:

i) Revised plans and elevations which show further reduction in height of the proposed development within 40m Block 6.

ii) Detail elevation of the proposed fencing/courtyard walls/retaining walls along the southern boundary and also along the western boundary addressing Rule 11 of the Denman Prospect Precinct Map and Code and Rule 42A of the Multi Unit Housing Development Code (MUHDC);

iii) Revised pedestrian entrance to Summerfield Close. The concierge building is not supported and considered inconsistent with Rule/Criteria 29 of the MUHDC

iv) Landscaping on service spaces/service parking area on the northern part of the Summerfield Close frontage;

v) Updated landscape plan to show height to the top of retaining walls shown in metres above relevant ground level;

vi) Height of the retaining wall, not to exceed 750mm along the southern edge of the verge crossing to comply with sight line;

vii) External stairs leading from Block 2 to Block 6 park to be reversed in direction (to descend towards the west) to further reduce bulk and scale of the development built to the southern boundary of Block 2. Landscaping area to be extended in the westerly direction to replace the space previously occupied by the stairs;

viii) Retaining walls around the swimming pool to be revisited to address Rule/Criteria 42A (Courtyard walls) of MUHDC;

ix) Elevation of the retaining walls/garden bed/stair/landscaping structures to be shown in detail to the satisfaction of EPSDD, addressing the relevant provisions, including RL's or AHD values of these structures;

x) Balustrade details complying with Rule/Criteria 64 (obscure glass panels or solid panels)

b) Endorsement from ACT Emergency Services Agency (ACTESA) in support of the proposed development. Please refer to the comments received from ACTESA.

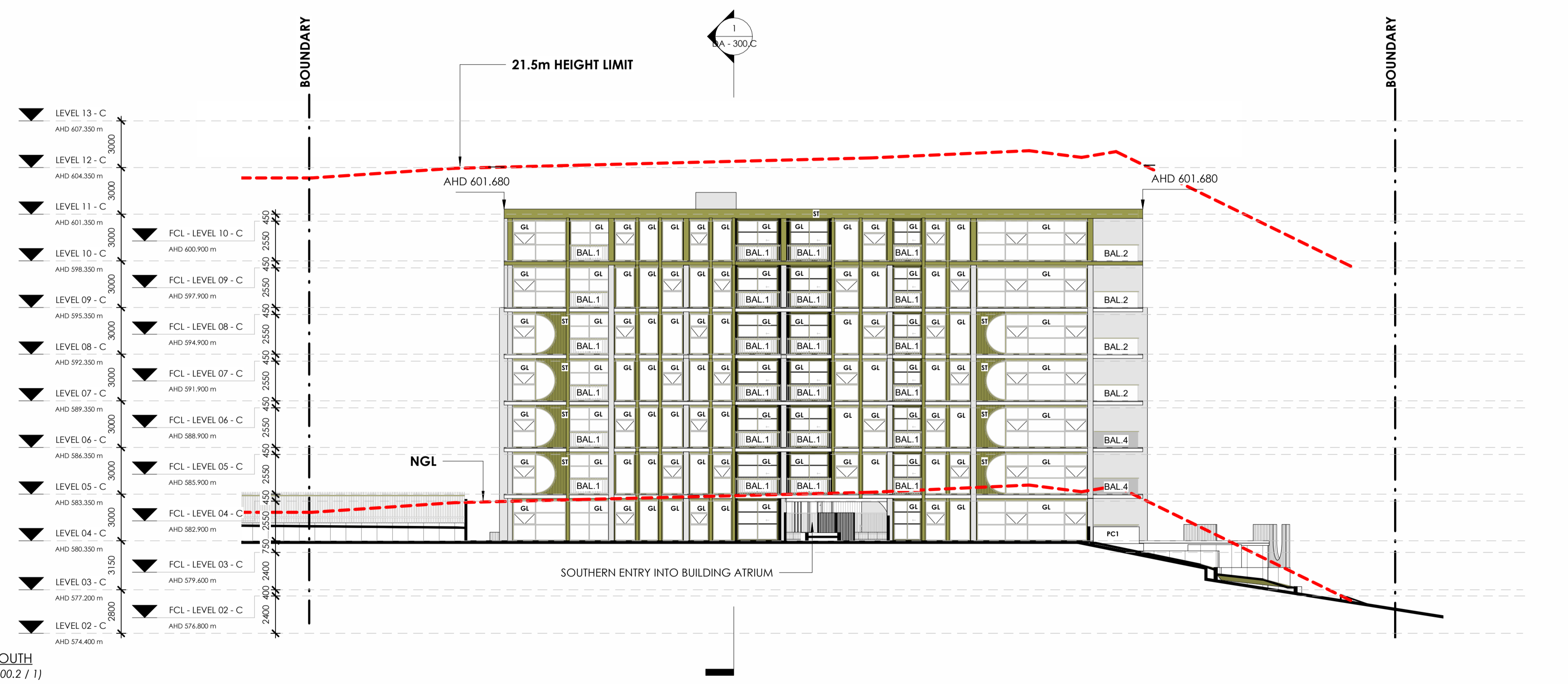
PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 SUBJECT TO THE CONDITIONS SET OUT IN THE
 NOTICE OF DECISION
 PURSUANT TO SECTION 162

Delegate name **Fawzia Majid**
 Date **29/11/2022**

- NOD ITEMS:**
- a) Revised site plan, floor plans, landscape plan and elevations and sections, based on the relevant drawings submitted as part of the application, including:
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 - x) Balustrade details complying with Rule/Criteria 64 (obscure glass panels or solid panels)
 - b) Endorsement from ACT Emergency Services Agency (ACTESA) in support of the proposed development. Please refer to the comments received from ACTESA.



1 DA - ELEVATION - BUILDING C - NORTH - HOLBOROW AVENUE
 SCALE: 1 : 200 (REF SHEET/DETAIL: A 200.2 / 1)



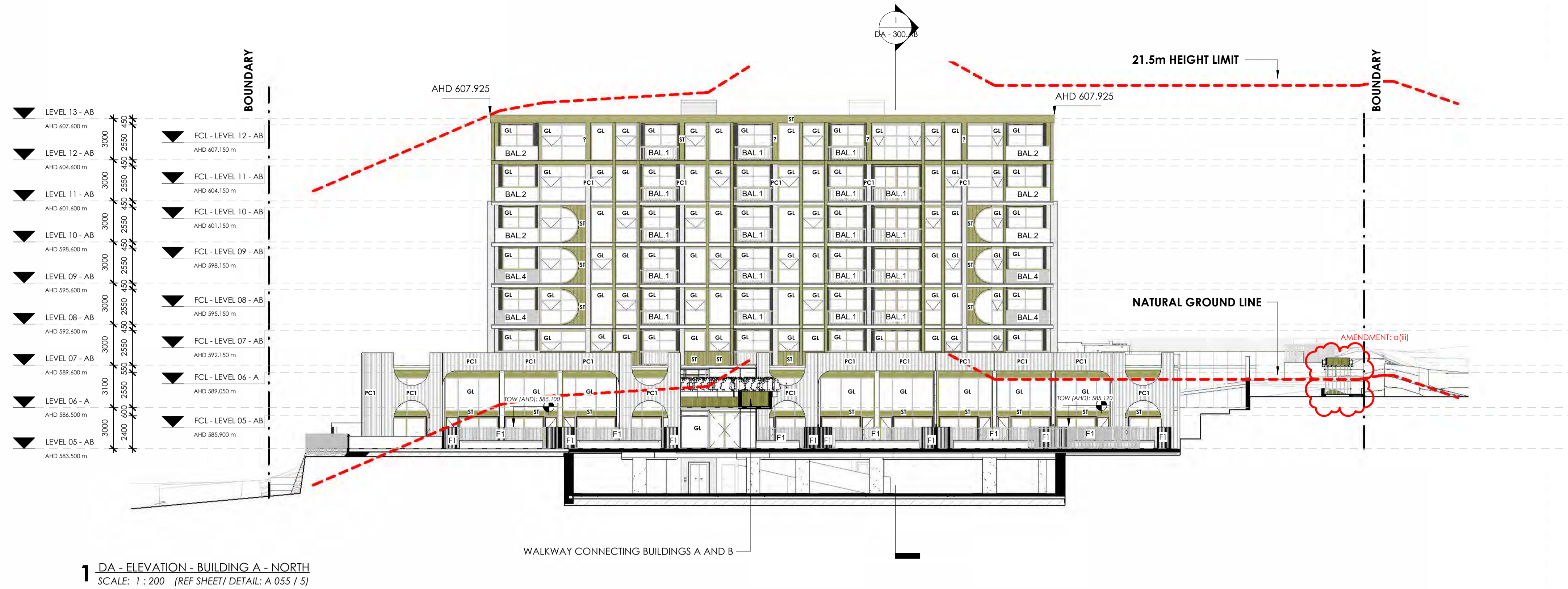
2 DA - ELEVATION - BUILDING C - SOUTH
 SCALE: 1 : 200 (REF SHEET/DETAIL: A 200.2 / 1)

MATERIAL SAMPLE SCHEDULE

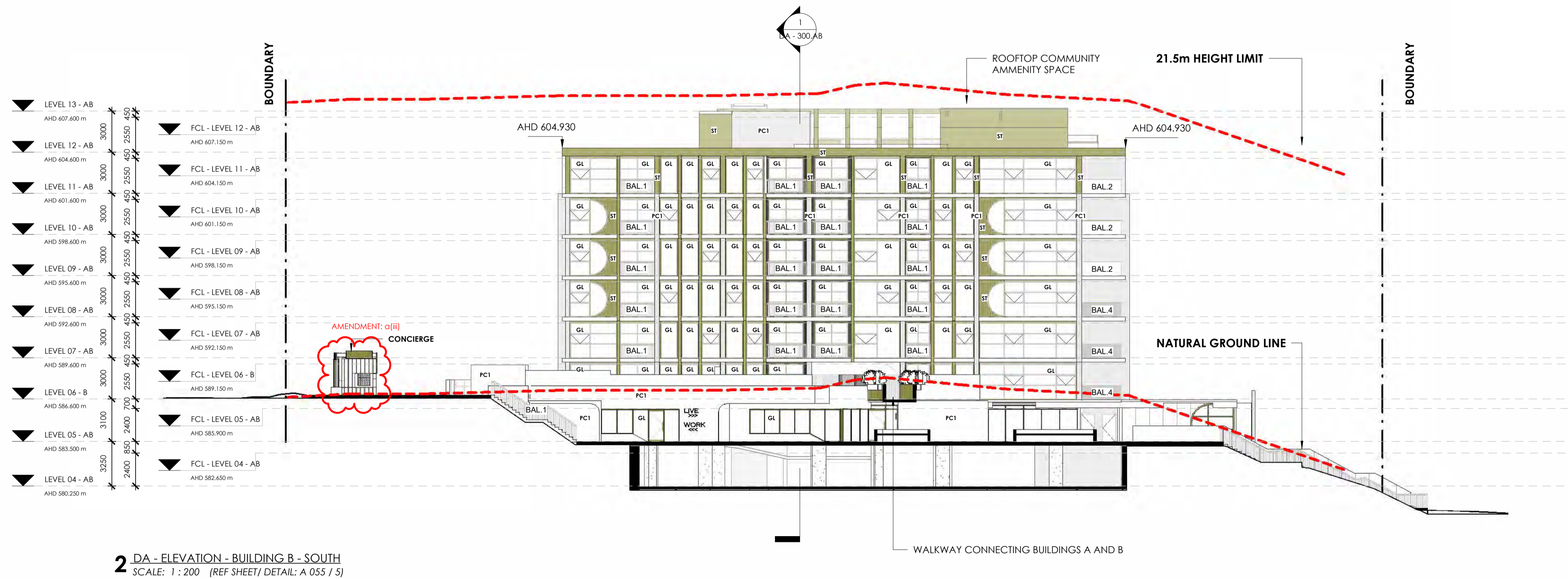
PRECAST / INSITU CONCRETE: • WHITE OXIDE PRECAST (NAWKAW FOR EXPOSED INSITU) OR BARESTONE OR EQUAL CODE: FC	LIGHTWEIGHT MATERIAL: • WHITE OXIDE PRECAST (NAWKAW FOR EXPOSED INSITU OR BARESTONE OR EQUAL) • BARESTONE ASH CODE: FC	STYRUM: • COLOUR: PRECIS PURE GOLD CODE: ST • COLOUR: AXINITE BRONZE CODE: STAN	GLAZING FRAMES: • ALUMINIUM, POWDERCOATED TO MATCH "STYRUM" AXINITE BRONZE OR SIMILAR	PICKET BALUSTRADE: • ALUMINIUM, POWDERCOATED TO MATCH "STYRUM" PRECIS PURE GOLD CODE: BAL1	GLAZED BALUSTRADE: • FULL / PARTIAL HEIGHT • ALUMINIUM TO MATCH "STYRUM" PRECIS PURE GOLD • GLAZED PANEL OPAQUE BELOW L3 IF FRONTING A STREET (BAL4) CODE: BAL2/BAL4	COURTYARD WALLING: • CULTURED STONE OR EQUIVALENT CLADDING CODE: STN	MASONRY WALLING: • WHITE BRICK CODE: BK	COURTYARD FENCE: • VERTICAL SLAT/BATTEN FENCE/GATE CODE: F1	PORTALS: • PRECAST / FIBRE CEMENT OR SIMILAR DO NOT SCALE OFF DRAWINGS -
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PLANNING AND DEVELOPMENT ACT 2007
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 PURSUANT TO SECTION 162

Delegate name **Fawzia Majid**
 Date **29/11/2022**



1 DA - ELEVATION - BUILDING A - NORTH
 SCALE: 1 : 200 (REF SHEET/ DETAIL: A 055 / 5)



2 DA - ELEVATION - BUILDING B - SOUTH
 SCALE: 1 : 200 (REF SHEET/ DETAIL: A 055 / 5)

MATERIAL SAMPLE SCHEDULE

<p>PRECAST / INSITU CONCRETE:</p> <ul style="list-style-type: none"> WHITE OXIDE PRECAST (NAWKAW FOR EXPOSED INSITU) OR BARESTONE OR EQUAL 	<p>LIGHTWEIGHT MATERIAL:</p> <ul style="list-style-type: none"> WHITE OXIDE PRECAST/INAWKAW FOR EXPOSED INSITU OR BARESTONE OR EQUAL <p>LIGHTWEIGHT MATERIAL:</p> <ul style="list-style-type: none"> BARESTONE ASH 	<p>STYRUM:</p> <ul style="list-style-type: none"> COLOUR: PRECIS PURE GOLD <p>CODE: ST</p> <p>STYRUM:</p> <ul style="list-style-type: none"> COLOUR: AXINITE BRONZE <p>CODE: STAB</p>	<p>GLAZING FRAMES:</p> <ul style="list-style-type: none"> ALUMINIUM, POWDERCOATED TO MATCH "STYRUM" AXINITE BRONZE" OR SIMILAR 	<p>PICKET BALUSTRADE:</p> <ul style="list-style-type: none"> ALUMINIUM, POWDERCOATED TO MATCH "STYRUM" PRECIS PURE GOLD <p>CODE: BAL1</p>	<p>GLAZED BALUSTRADE:</p> <ul style="list-style-type: none"> FULL / PARTIAL HEIGHT ALUMINIUM TO MATCH "STYRUM" PRECIS PURE GOLD GLAZED PANEL OPAQUE BELOW L3 IF FRONTING A STREET (BAL4) <p>CODE: BAL2/BAL4</p>	<p>COURTYARD WALLING</p> <ul style="list-style-type: none"> CULTURED STONE OR EQUIVALENT CLADDING <p>CODE: STN</p>	<p>MASONRY WALLING</p> <ul style="list-style-type: none"> WHITE BRICK <p>CODE: BK</p>	<p>COURTYARD FENCE</p> <ul style="list-style-type: none"> VERTICAL SLAT/BATTEN FENCE/GATE <p>CODE: F1</p>	<p>PORTALS</p> <ul style="list-style-type: none"> PRECAST/ FIBRE CEMENT OR SIMILAR
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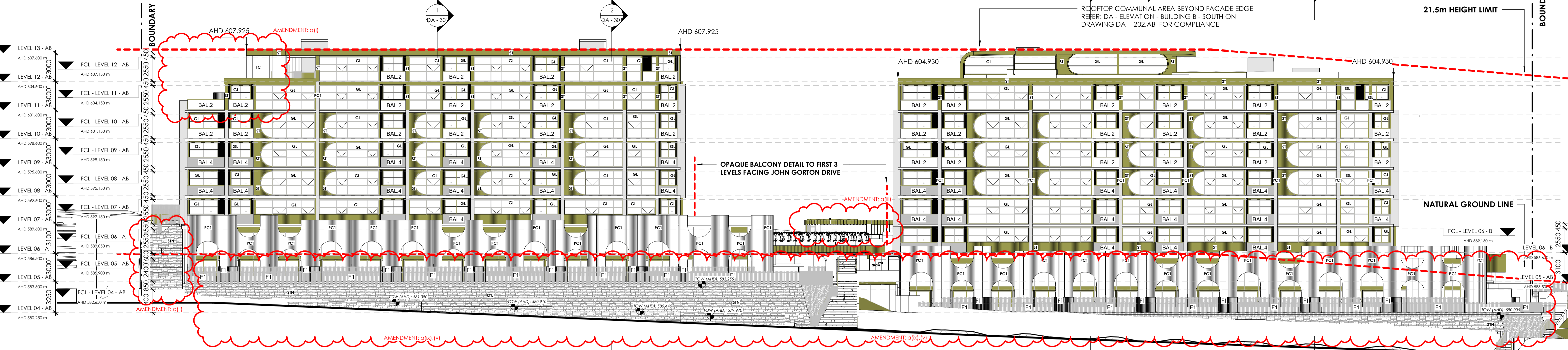
NOD ITEMS:

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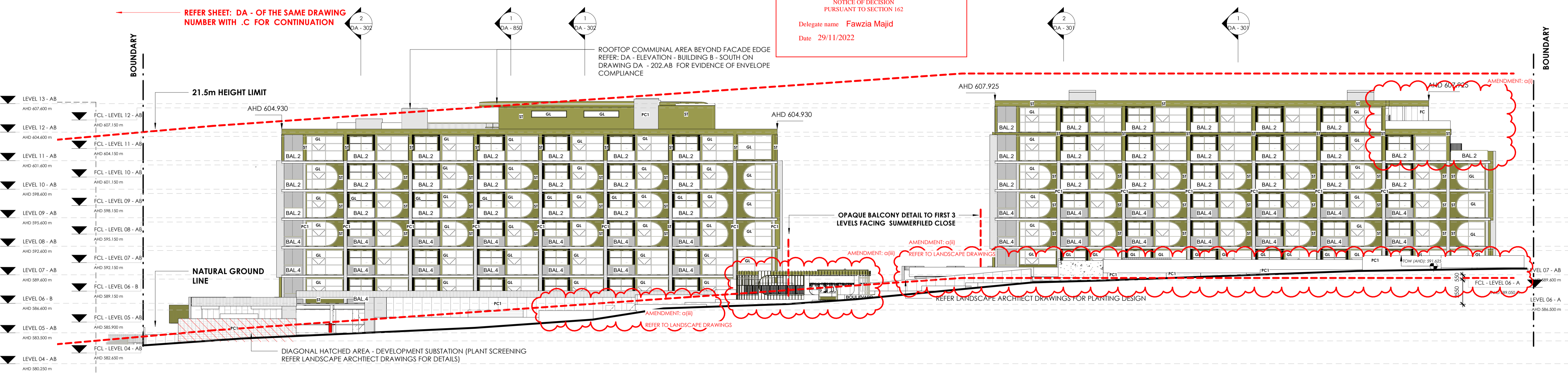
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REFER SHEET: DA - OF THE SAME DRAWING NUMBER WITH .C FOR CONTINUATION

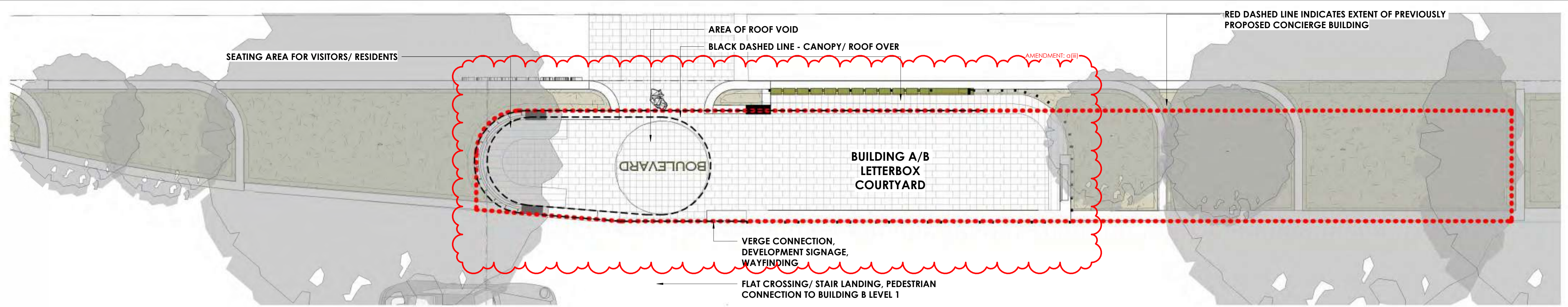


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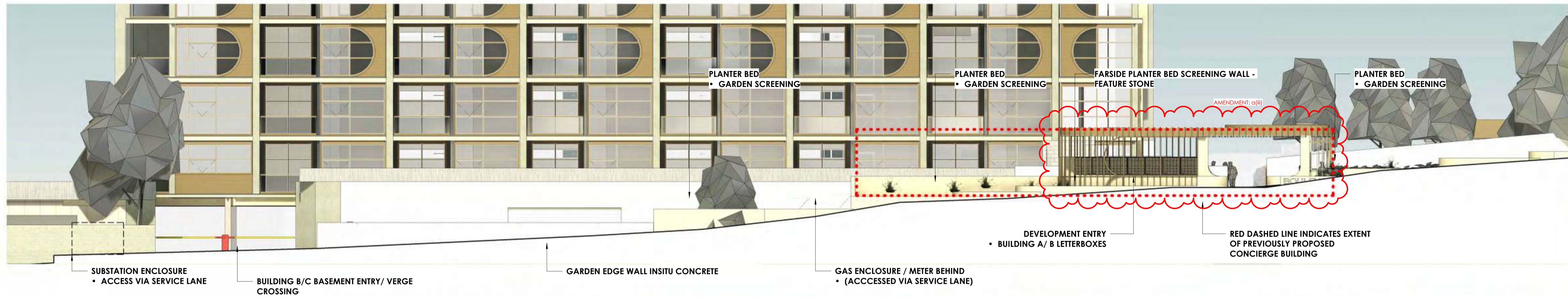


MATERIAL SAMPLE SCHEDULE

<p>PRECAST / INSITU CONCRETE:</p> <ul style="list-style-type: none"> WHITE OXIDE PRECAST (NAWKAW FOR EXPOSED INSITU) OR BARESTONE OR EQUAL <p>CODE: PC1</p>	<p>LIGHTWEIGHT MATERIAL:</p> <ul style="list-style-type: none"> WHITE OXIDE PRECAST/NAWKAW FOR EXPOSED INSITU OR BARESTONE OR EQUAL <p>CODE: FC</p> <p>LIGHTWEIGHT MATERIAL:</p> <ul style="list-style-type: none"> BARESTONE ASH WHERE INDICATED <p>CODE: FC(B)</p>	<p>STYRUM:</p> <ul style="list-style-type: none"> COLOUR: PRECIS PURE GOLD <p>CODE: ST</p> <p>STYRUM:</p> <ul style="list-style-type: none"> COLOUR: AXINITE BRONZE <p>CODE: ST(AB)</p>	<p>GLAZING FRAMES:</p> <ul style="list-style-type: none"> ALUMINIUM, POWDERCOATED TO MATCH "STYRUM" AXINITE BRONZE" OR SIMILAR <p>CODE: GL</p>	<p>PICKET BALUSTRADE:</p> <ul style="list-style-type: none"> ALUMINIUM, POWDERCOATED TO MATCH "STYRUM" PRECIS PURE GOLD <p>CODE: BAL1</p>	<p>GLAZED BALUSTRADE:</p> <ul style="list-style-type: none"> FULL / PARTIAL HEIGHT ALUMINIUM TO MATCH "STYRUM" PRECIS PURE GOLD GLAZED PANEL OPAQUE BELOW L3 IF FRONTING A STREET (BAL4) <p>CODE: BAL2/BAL4</p>	<p>COURTYARD WALLING:</p> <ul style="list-style-type: none"> CULTURED STONE OR EQUIVALENT CLADDING <p>CODE: STN</p>	<p>MASONRY WALLING:</p> <ul style="list-style-type: none"> WHITE BRICK <p>CODE: BK</p>	<p>COURTYARD FENCE:</p> <ul style="list-style-type: none"> VERTICAL SLAT/BATTEN FENCE/GATE <p>CODE: F1</p>	<p>PORTALS:</p> <ul style="list-style-type: none"> PRECAST/ FIBRE CEMENT OR SIMILAR <p>DO NOT SCALE OFF DRAWINGS -</p>
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1 DA-1 - MAILBOXES - CONCIERGE
SCALE: 1 : 50 (REF SHEET/ DETAIL: A 055 / 5)



2 DA - ELEVATION - SUMMERFIELD CLOSE - CONCIERGE
SCALE: 1 : 100 (REF SHEET/ DETAIL: DA - 102.AB / 1)

PLANNING AND DEVELOPMENT ACT 2007
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- DO NOT SCALE OFF DRAWINGS -

JUDD
STUDIO

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ABN 79 145 074 344

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NOMINATED ARCHITECT:
Nathan Gibson Judd
ACT Registration No 2232
NSW Registration No 7838

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CLIENT:

CORE DEVELOPMENTS

PROJECT:

BLVD

ADDRESS:
DENMAN PROSPECT, CNR OF
JOHN GORTON DRIVE & HOLBOROW STREET
BLOCK & SECTION:
SECTION 75 - BLOCKS 2,9 & 10
DENMAN PROSPECT

DRAWING TITLE:

MAILBOXES AND CONCIERGE

REVISIONS:

No.	Description	Date
3	NOD INFORMATION	01/11/2021
4	SECTION 197	08/03/2020
5	S144 UPDATED DRAWINGS	25/03/2022
6	SECTION 165 - NOD	11/08/2022

SCALE:

As indicated @ A1

DA - 705

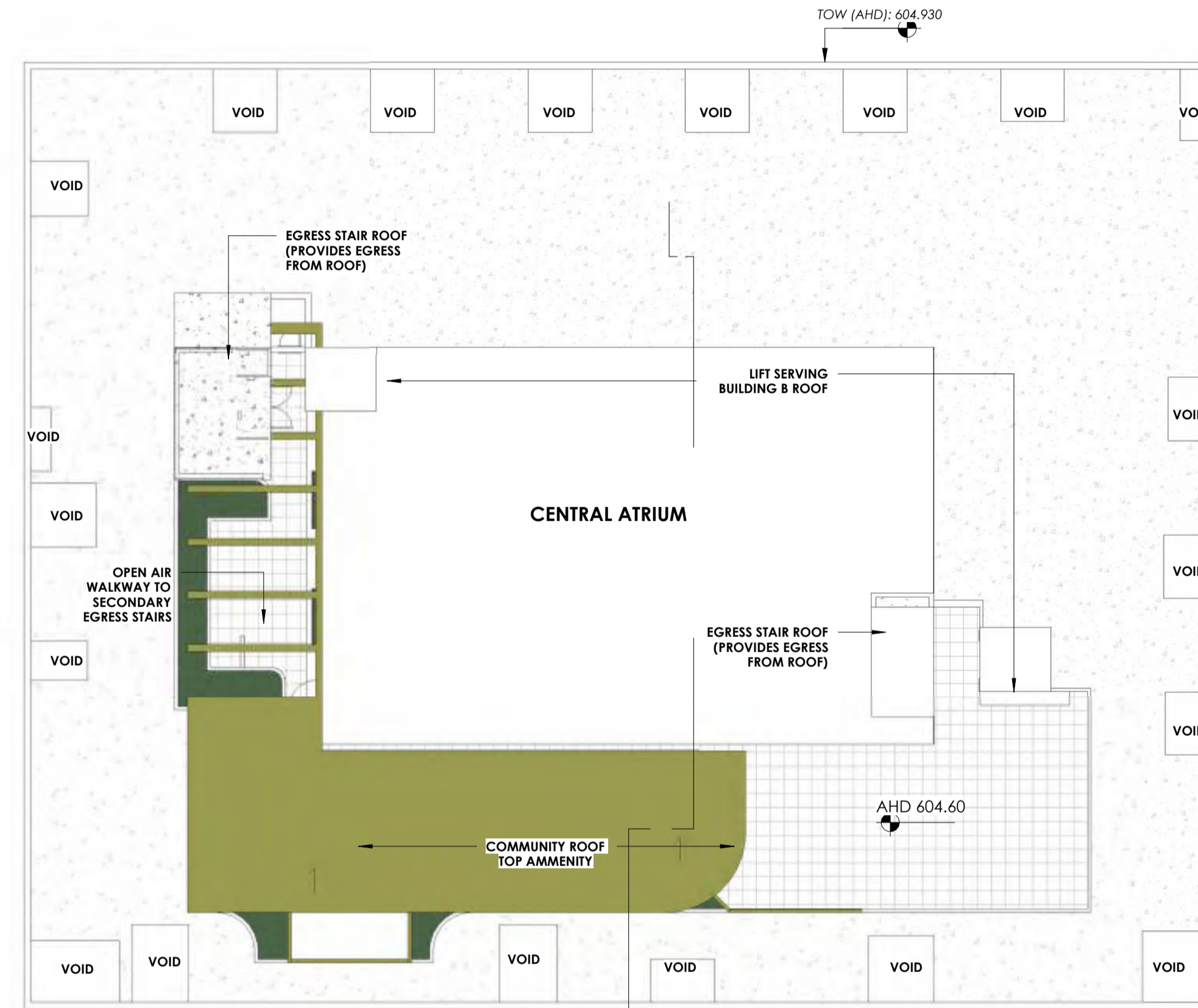
SIZE: A1

BUILDING A
ROOF

BUILDING B
PAVILION ROOF

SUMMERFIELD CLOSE

JOHN GORTON DRIVE



REFER SHEET: DA - OF THE SAME DRAWING NUMBER WITH -C FOR CONTINUATION (NOTE: LEVELS MAY VARY FROM DA1 - AB TO DA 1 - C SHEETS)

1 DA - GA - ROOF LEVEL A,B
SCALE: 1 : 200 (REF SHEET/ DETAIL: A 201.1 / 6)

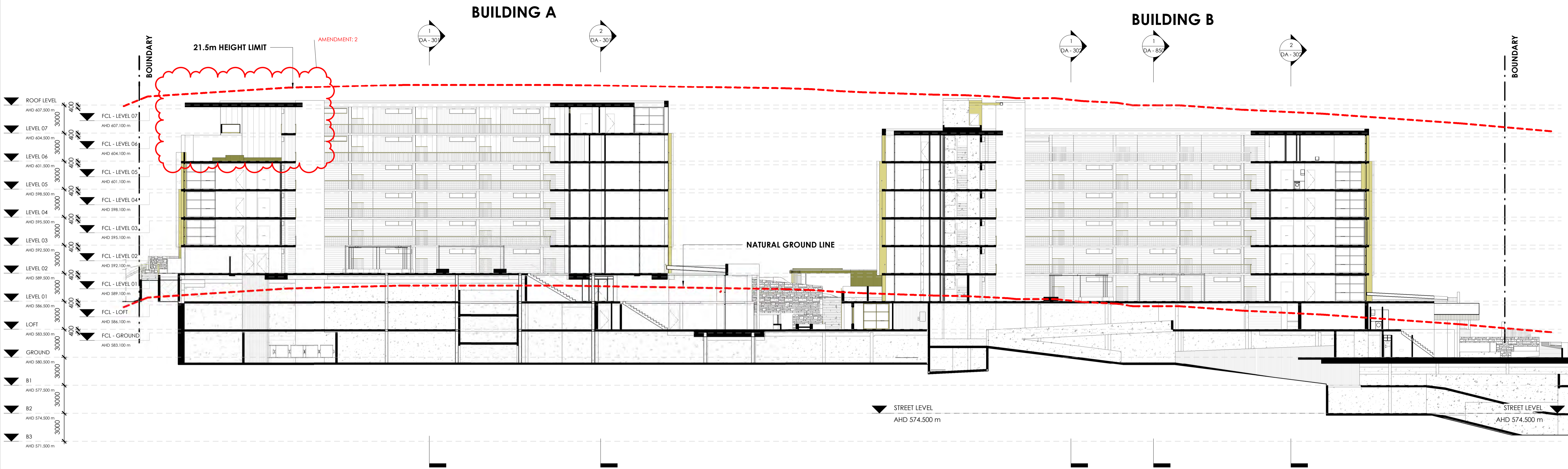
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PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
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PURSUANT TO SECTION 162

Delegate name: **Fawzia Majid**
Date: 29/11/2022

GENERAL NOTES

NOTE:
• WHERE INDICATED, PLAZA/ LANDSCAPING ELEMENTS INDICATIVE ONLY. REFER LANDSCAPE ARCHITECTS PLANS FOR DETAILS
• RESIDENTIAL LAYOUTS SHOWN (REFER TYPICAL UNITS PLANS FOR EXAMPLES OF POSSIBLE ALTERNATIVE LAYOUTS)



1 DA - SECTION - NORTH/ SOUTH - BUILDING A/B
SCALE: 1 : 200

PLANNING AND DEVELOPMENT ACT 2007
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PURSUANT TO SECTION 162

Delegate name **Fawzia Majid**
Date **29/11/2022**

NB: DRAWINGS TO BE READ IN CONJUNCTION WITH ASSOCIATED BELOW GROUND DEVELOPMENT APPLICATION (202138651). BELOW GROUND WORKS MAY BE SHOWN TO AID WITH DA ASSESSMENT

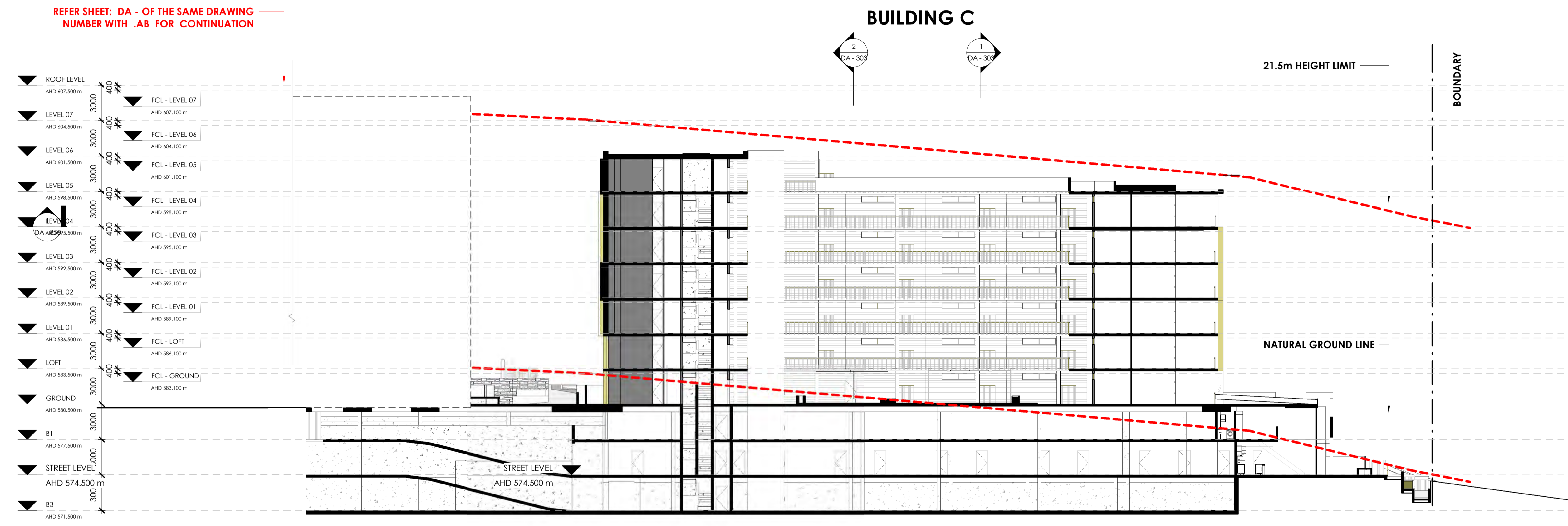
- SECTION 144**
- SUMMERFIELD CLOSE INTERFACE IMPROVED WITH PLANTING BETWEEN POOL AREA AND BOUNDARY. CONCIERGE BUILDING REIMAGINED & LANDSCAPING TREATMENTS AMENDED ALONGSIDE SERVICE DRIVEWAY
 - BUILDING A INTERFACE AND OVERSHADOWING IMPACT IMPROVED ONTO PRZ ZONE. SOFTENED LANDSCAPING, REVISED GROUND LEVEL ELEVATION & REDUCED BUILDING BULK
 - PEDESTRIAN PERMEABILITY IMPROVED WITH BRIDGE LINK ADDED BETWEEN BUILDING A AND B.
 - SUBSTATION LOCATED TO MEET ENTITY REQ'S
 - REDUCTION TO YIELD/ CHANGED UNIT DESIGN AND COMMUNAL SPACE
 - ADJUSTMENT TO BUILDING/ COURTYARD LINE (REQUIRED BY ICON WATER)
 - CHANGES TO COURTYARD PAVING/ WALKWAYS REQUIRED BY ICON WATER

PLANNING AND DEVELOPMENT ACT 2007
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 Date 29/11/2022

- SECTION 144**
- SUMMERFIELD CLOSE INTERFACE IMPROVED WITH: PLANTING BETWEEN POOL AREA AND BOUNDARY, CONCERGE BUILDING REIMAGINED & LANDSCAPING TREATMENTS AMENDED ALONGSIDE SERVICE DRIVEWAY
 - BUILDING A INTERFACE AND OVERSHADOWING IMPACT IMPROVED ONTO FRZ ZONE. SOFTENED LANDSCAPING, REVISED GROUND LEVEL ELEVATION & REDUCED BUILDING BULK
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 - SUBSTATION LOCATED TO MEET ENTITY REG'S REDUCTION TO YIELD/ CHANGED UNIT DESIGN AND COMMUNAL SPACE
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 - CHANGES TO COURTYARD PAVING/ WALKWAYS REQUIRED BY ICON WATER

REFER SHEET: DA - OF THE SAME DRAWING NUMBER WITH .AB FOR CONTINUATION



1 DA - SECTION - NORTH/ SOUTH - BUILDING C
 SCALE: 1:200

NB: DRAWINGS TO BE READ IN CONJUNCTION WITH ASSOCIATED BELOW GROUND DEVELOPMENT APPLICATION (202138651). BELOW GROUND WORKS MAY BE SHOWN TO AID WITH DA ASSESSMENT

- DO NOT SCALE OFF DRAWINGS -

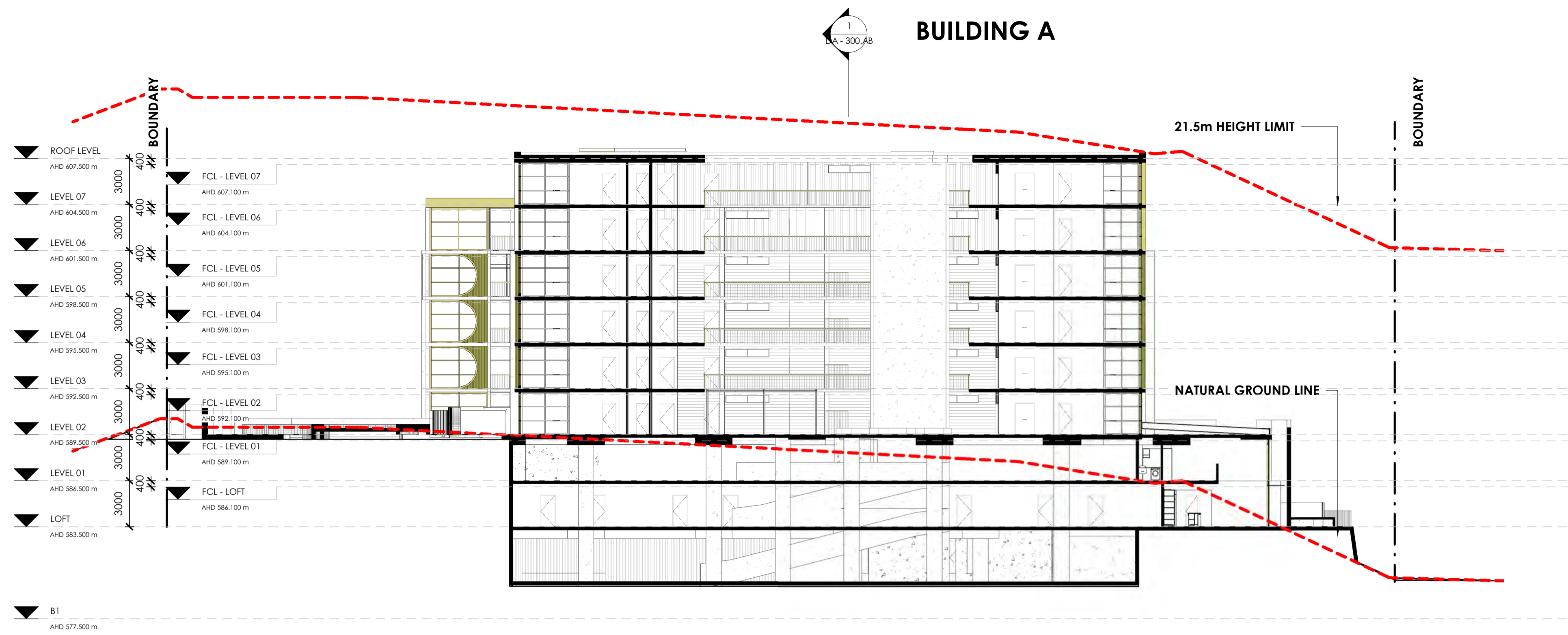
	LEVEL 1, 7 Sargood Street O'Connor ACT 2602 POST: PO BOX 52 BRADDON ACT 2612 ABN 79 145 074 344	P: 02 6181 4963 E: office@juddstudio.com.au W: juddstudio.com.au NOMINATED ARCHITECT: Nathan Gleason Judd ACT Registration No 2232 NSW Registration No 7838	ANY FORM OF REPRODUCTION OF THIS DRAWING IN FULL OR IN PART WITHOUT THE WRITTEN PERMISSION OF JUDD STUDIO PTY LTD (JUDD STUDIO) CONSTITUTES AN INFRINGEMENT OF COPYRIGHT. ALL DIMENSIONS ARE IN MILLIMETERS (mm) UNLESS NOTED OTHERWISE. DO NOT SCALE OFF DRAWINGS. DOCUMENTED DIMENSIONS ONLY ARE TO BE USED FOR CONSTRUCTION AND SITE SETOUT.	CLIENT: 	PROJECT: BLVD	ADDRESS: DENMAN PROSPECT, CNR OF JOHN GORTON DRIVE & HOLBOROW STREET BLOCK & SECTION: SECTION 75 - BLOCKS 9 DENMAN PROSPECT	DRAWING TITLE: SECTIONS - N/S	REVISIONS: <table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>-4</td> <td>PRE DA REVIEW</td> <td>27/08/2021</td> </tr> <tr> <td>1</td> <td>DA ISSUE</td> <td>01/09/2021</td> </tr> <tr> <td>2</td> <td>S144 UPDATED DRAWINGS</td> <td>25/03/2022</td> </tr> <tr> <td>3</td> <td>DA - S144 - RFI</td> <td>19/05/2022</td> </tr> </tbody> </table>	No.	Description	Date	-4	PRE DA REVIEW	27/08/2021	1	DA ISSUE	01/09/2021	2	S144 UPDATED DRAWINGS	25/03/2022	3	DA - S144 - RFI	19/05/2022	SCALE: As indicated @ A1 DA - 300.C SIZE: A1
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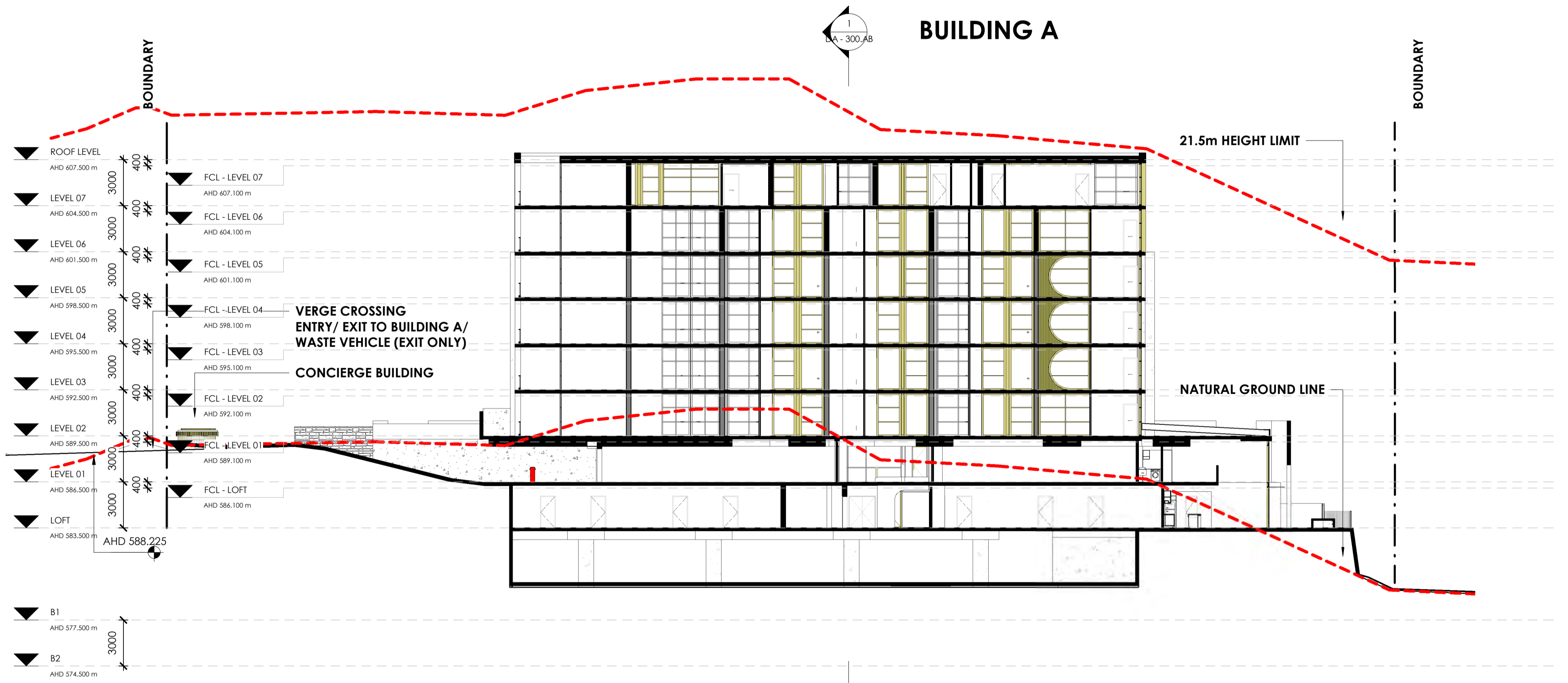
Delegate name **Fawzia Majid**
 Date **29/11/2022**

SECTION 144

- SUMMERFIELD CLOSE INTERFACE IMPROVED WITH PLANTING BETWEEN POOL AREA AND BOUNDARY, CONCERGE BUILDING REIMAGINED & LANDSCAPING TREATMENTS AMENDED ALONGSIDE SERVICE DRIVEWAY
- BUILDING A INTERFACE AND OVERSHADOWING IMPACT IMPROVED ONTO FRZ ZONE. SOFTENED LANDSCAPING, REVISED GROUND LEVEL ELEVATION & REDUCED BUILDING BULK
- PEDESTRIAN PERMEABILITY IMPROVED WITH BRIDGE LINK ADDED BETWEEN BUILDING A AND B.
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- ADJUSTMENT TO BUILDING/ COURTYARD LINE (REQUIRED BY ICON WATER)
- CHANGES TO COURTYARD PAVING/ WALKWAYS REQUIRED BY ICON WATER



1 DA - SECTION - AA - BUILDING A - E/W
 SCALE: 1 : 200



2 DA - SECTION - BB - BUILDING A - E/W
 SCALE: 1 : 200

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CLIENT:
CORE DEVELOPMENTS

PROJECT:
BLVD

ADDRESS:
 DENMAN PROSPECT, CNR OF JOHN GORTON DRIVE & HOLBOROW STREET
 BLOCK & SECTION:
 SECTION 75 - BLOCKS 2,9 & 10
 DENMAN PROSPECT

DRAWING TITLE:
SECTIONS - BUILDING A - E/W

REVISIONS:
 No. Description
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 3 DA - S144 - RFI

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 01/09/2021
 25/03/2022
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SCALE: As indicated @ A1

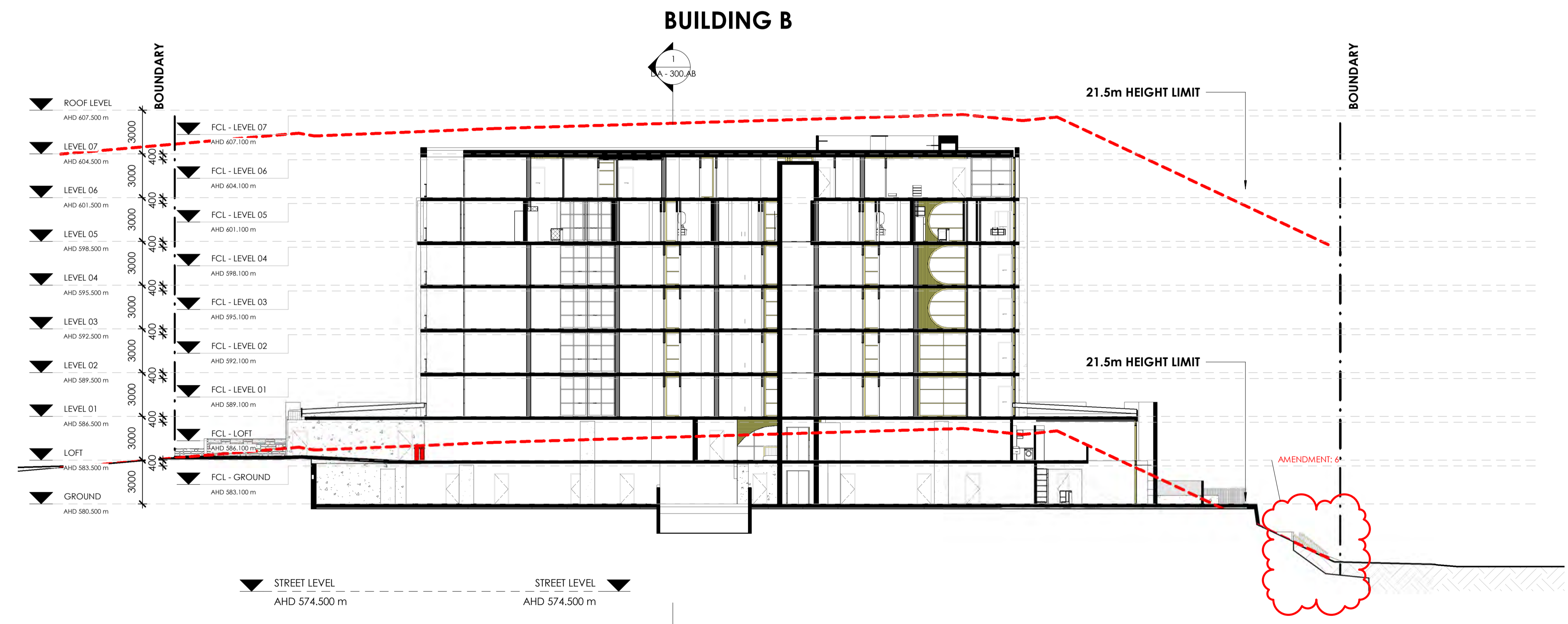
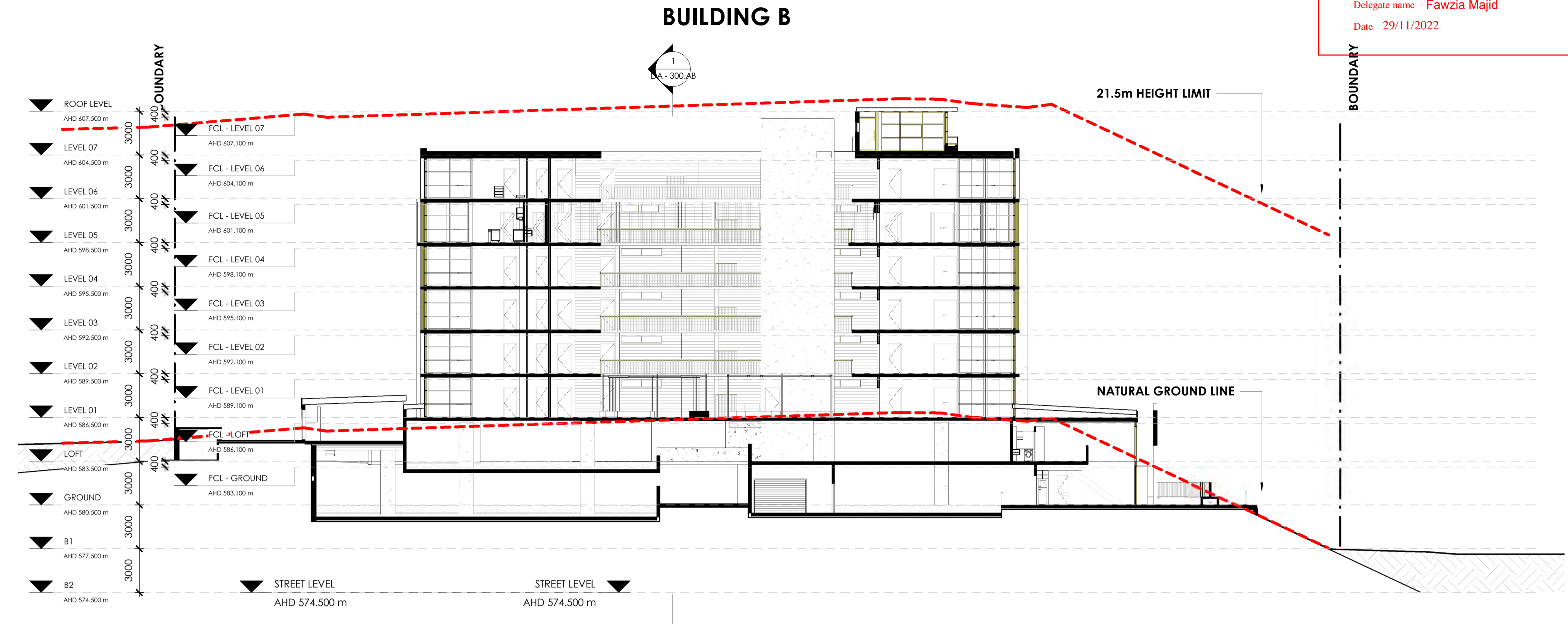
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Delegate name **Fawzia Majid**
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- SECTION 144**
- SUMMERFIELD CLOSE INTERFACE IMPROVED WITH PLANTING BETWEEN POOL AREA AND BOUNDARY, CONCERGE BUILDING REIMAGINED & LANDSCAPING TREATMENTS AMENDED ALONGSIDE SERVICE DRIVEWAY
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 - CHANGES TO COURTYARD PAVING/ WALKWAYS REQUIRED BY ICON WATER



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GENERAL NOTES

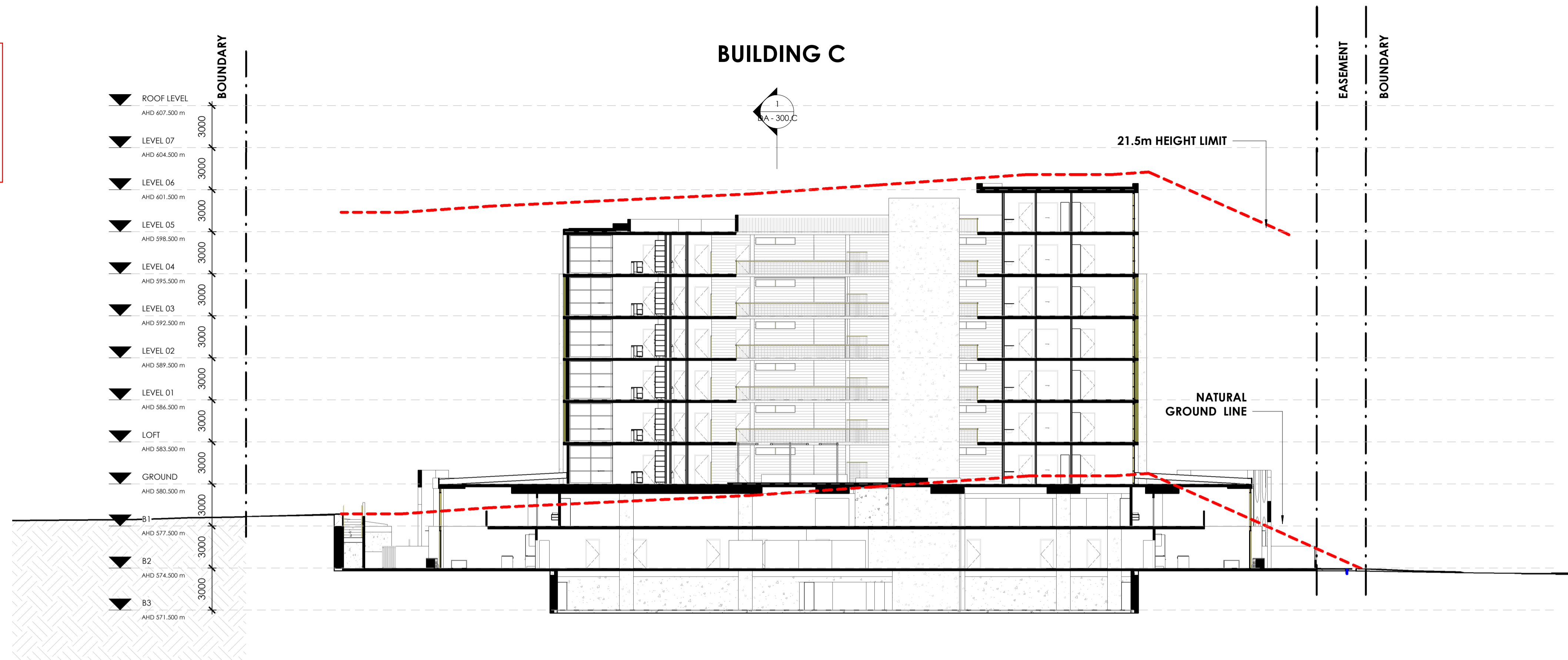
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- RESIDENTIAL LAYOUTS SHOWN (REFER TYPICAL UNITS PLANS FOR EXAMPLES OF POSSIBLE ALTERNATIVE LAYOUTS)

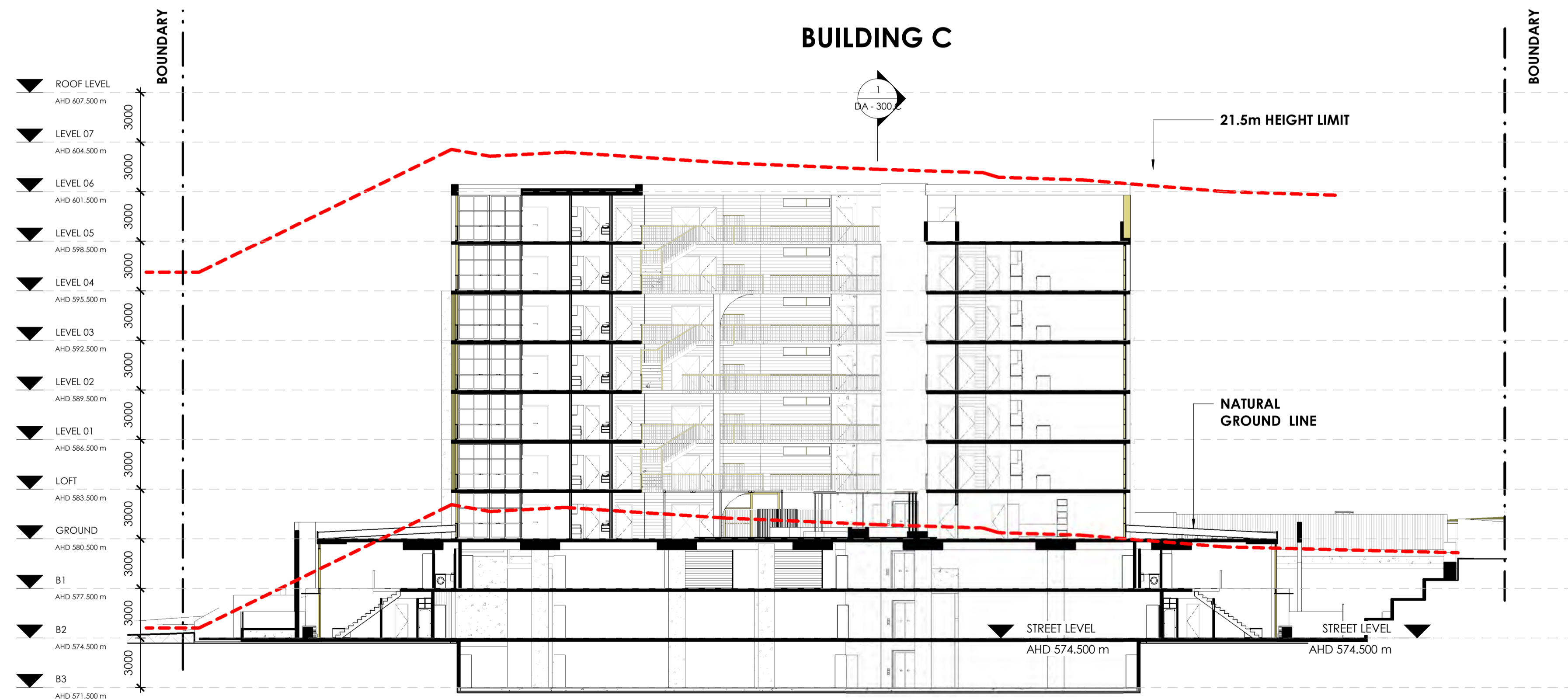
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1 DA - SECTION - EE - BUILDING C - E/W
 SCALE: 1:200



2 DA - SECTION - FF - BUILDING C - E/W
 SCALE: 1:200

SECTION 144

- SUMMERFIELD CLOSE INTERFACE IMPROVED WITH PLANTING BETWEEN POOL AREA AND BOUNDARY. CONCERGE BUILDING REIMAGINED & LANDSCAPING TREATMENTS AMENDED ALONGSIDE SERVICE DRIVEWAY
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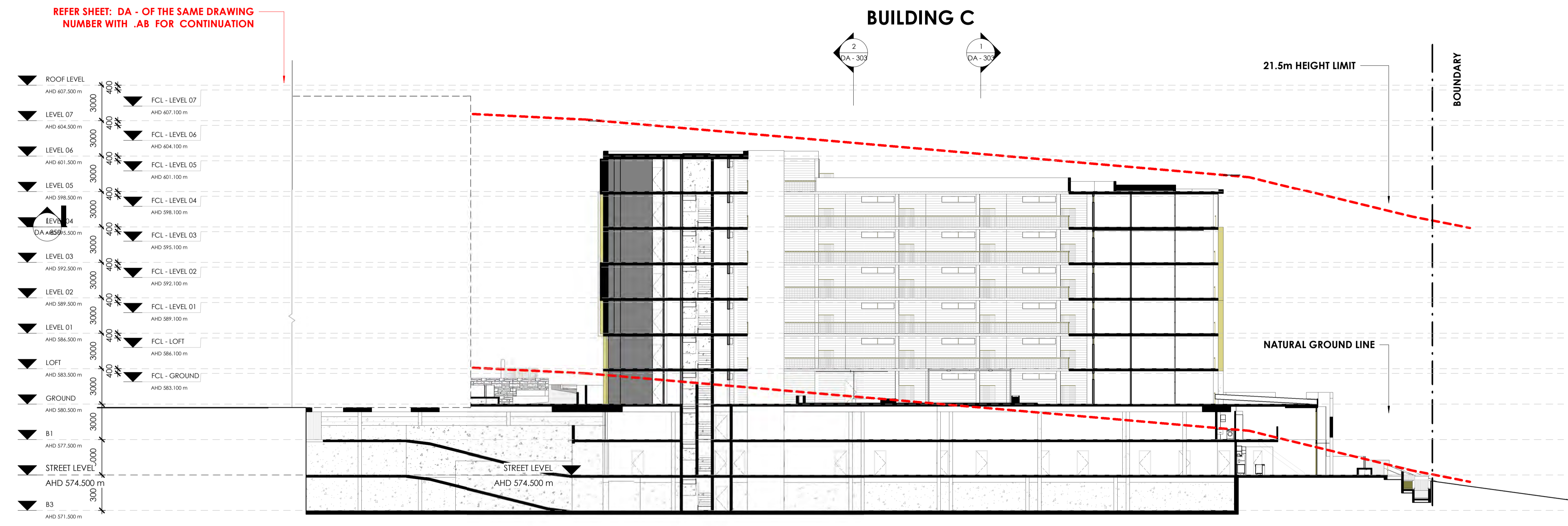
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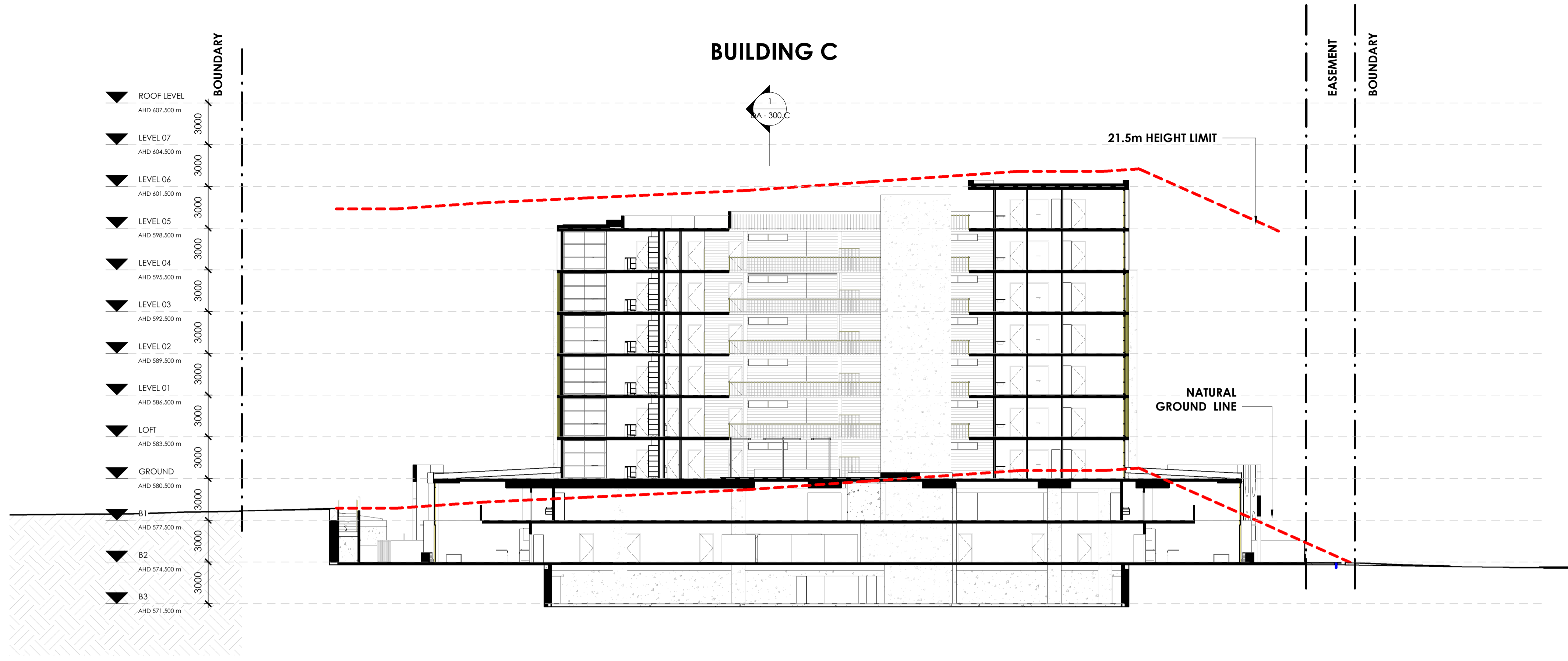


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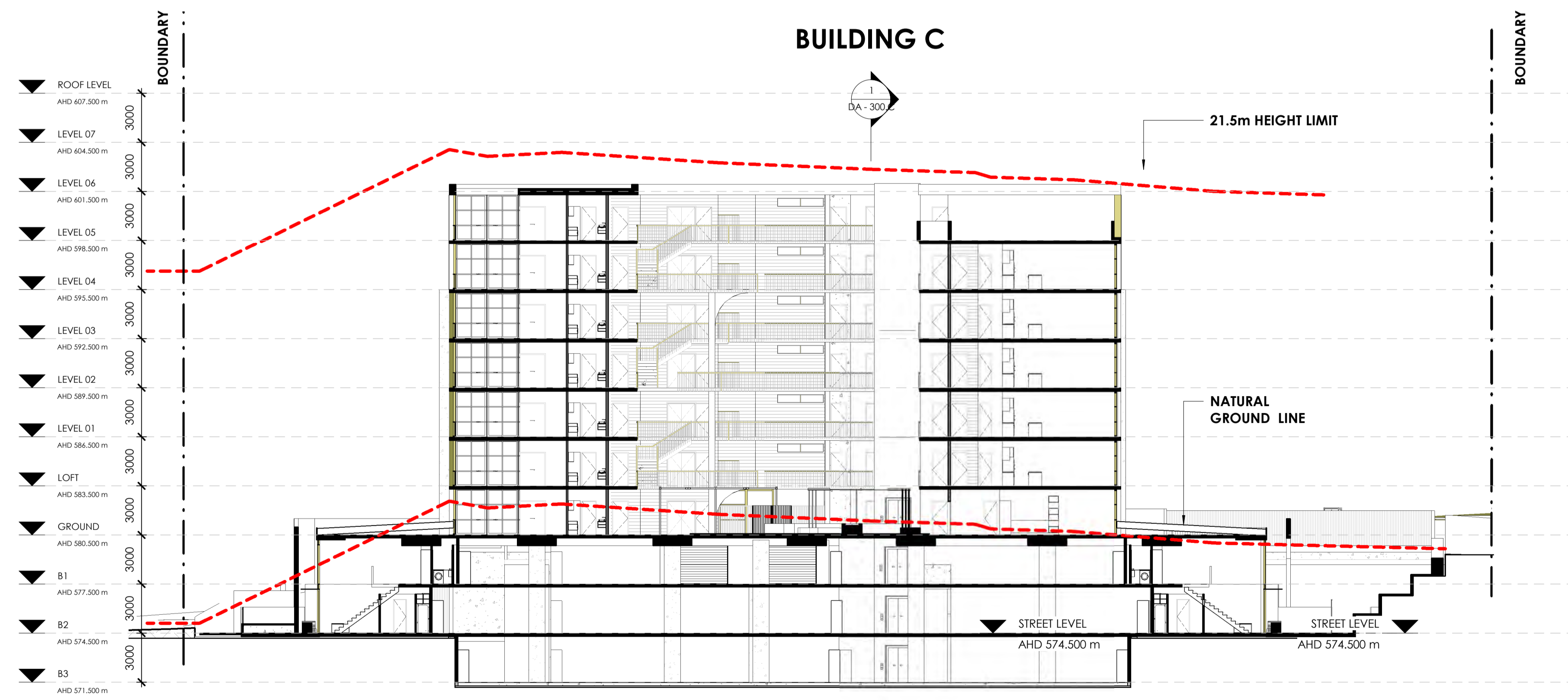
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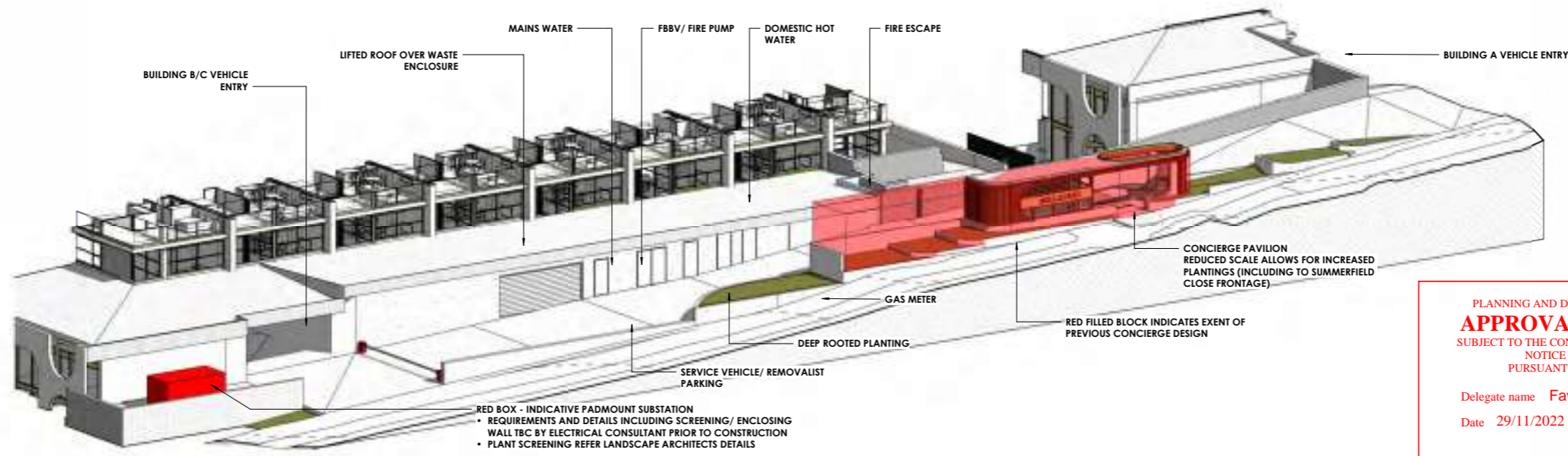
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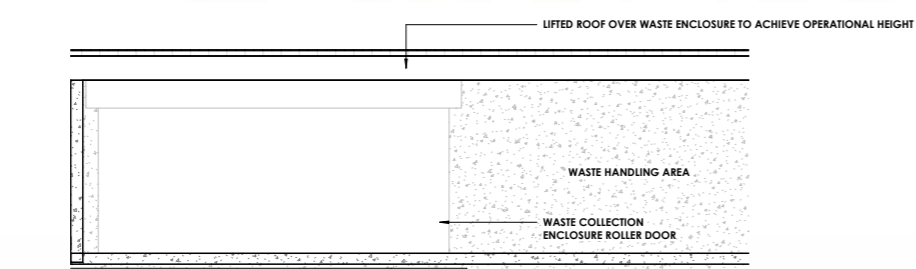
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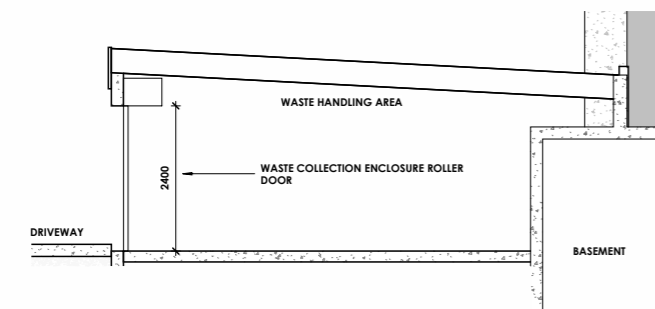
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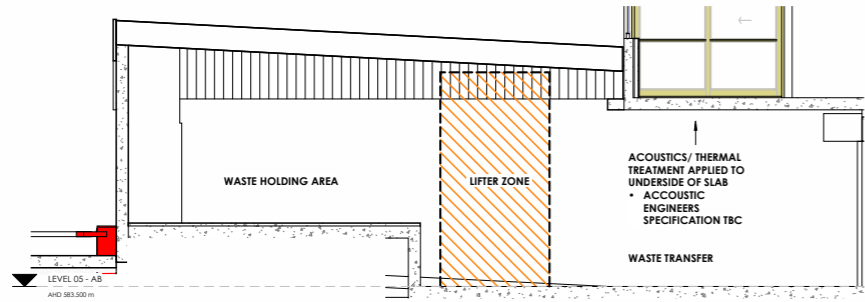
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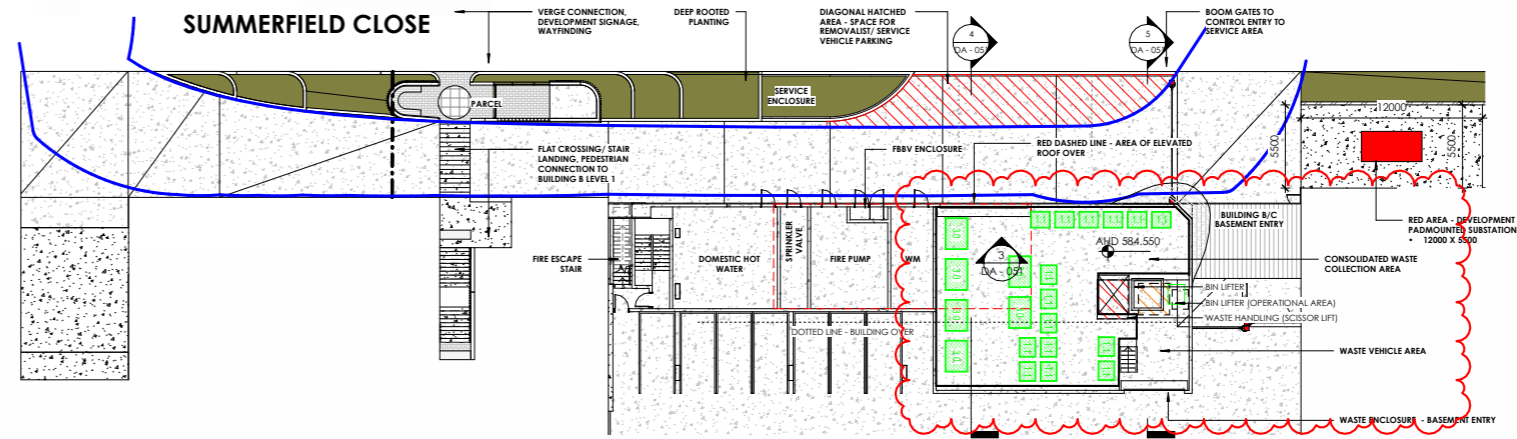
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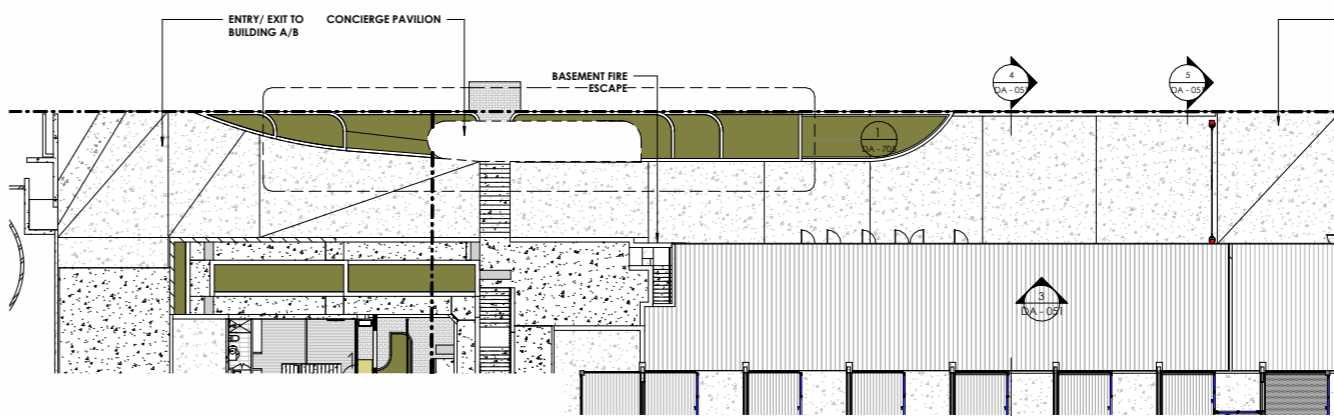
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 SCALE: 1:50



5 WASTE COLLECTION - SECTION 02
 SCALE: 1:50



1 WASTE COLLECTION - LEVEL LOFT
 SCALE: 1:200



2 WASTE COLLECTION - LEVEL 1
 SCALE: 1:200

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