

80 A'Beckett Street Watson ACT 2602

Standard Property & Timber Pest Report

"Structural Damage" means a significant impairment to the integrity of the whole or part of the Structure falling into one or more of the following categories:

- (a) Structural Cracking and Movement - major (full depth) cracking forming in Primary Elements resulting from differential movement between or within the elements of construction, such as foundations, footings, floors, walls and roofs.
- (b) Deformation - an abnormal change of shape of Primary Elements resulting from the application of load(s).
- (c) Dampness - the presence of moisture within the building, which is causing consequential damage to Primary Elements.
- (d) Structural Timber Pest Damage - structural failure, i.e. an obvious weak spot, deformation or even collapse of timber Primary Elements resulting from attack by one or more of the following wood destroying agents: chemical delignification; fungal decay; wood borers; and termites.

"Structure" means the loadbearing part of the building, comprising the Primary Elements.

"Primary Elements" means those parts of the building providing the basic loadbearing capacity to the Structure, such as foundations, footings, floor framing, loadbearing walls, beams or columns. The term 'Primary Elements' also includes other structural building elements including: those that provide a level of personal protection such as handrails; floor-to-floor access such as stairways; and the structural flooring of the building such as floorboards.

"Conditions Conducive to Structural Damage" means noticeable building deficiencies or environmental factors that may contribute to the occurrence of Structural Damage.

"Major Defect" means defect of significant magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

"Secondary Elements" means those parts of the building not providing loadbearing capacity to the Structure, or those non-essential elements which, in the main, perform a completion role around openings in Primary Elements and the building in general such as non-loadbearing walls, partitions, wall linings, ceilings, chimneys, flashings, windows, glazing or doors.

"Finishing Elements" means the fixtures, fittings and finishes applied or affixed to Primary Elements and Secondary Elements such as baths, water closets, vanity basins, kitchen cupboards, door furniture, window hardware, render, floor and wall tiles, trim or paint. The term 'Finishing Elements' does not include furniture or soft floor coverings such as carpet and lino.

"Minor Defect" means defect other than a Major Defect.

"Serious Safety Hazard" means any item that may constitute an immediate or imminent risk to life, health or property. Occupational, health and safety or any other consequence of these hazards has not been assessed.

"Tests" means where appropriate the carrying out of tests using the following procedures and instruments:

- (a) Dampness Tests - additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to damp problems. Instrument testing using electronic moisture detecting meter of those areas and other visible accessible elements of construction showing evidence of dampness was performed.
- (b) Physical Tests - the following physical actions undertaken by the consultant: opening and shutting of doors, windows and draws; operation of taps; water testing of shower recesses; and the tapping of tiles and wall plaster.

ACCEPTANCE CRITERIA The building was compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Unless noted in "Special Conditions or Instructions", the Report assumes that the existing use of the building will continue.

This Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. The Report therefore cannot deal with:

- (a) possible concealment of defects, including but not limited to, defects concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint; and
- (b) undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out.

LIMITATIONS

The Client acknowledges:

1. 'Visual only' inspections are not recommended. A visual only inspection may be of limited use to the Client. In addition to a visual inspection, to thoroughly inspect the Readily Accessible Areas of the property requires the Consultant to carry out when ever necessary appropriate Tests.
2. This Report does not include the inspection and assessment of items or matters outside the scope of the requested inspection and report. Other items or matters may be the subject of a Special-Purpose Inspection Report, which is adequately specified (see Exclusions below).
3. This Report does not include the inspection and assessment of items or matters that do not fall within the Consultant's direct expertise.
4. The inspection only covered the Readily Accessible Areas of the property. The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include - but are not limited to - roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.
5. Australian Standard AS4349.0-2007 *Inspection of Buildings, Part 0: General Requirements* recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future.
6. This Report was produced for the use of the Client. The Consultant is not liable for any reliance placed on this report by any third party.

EXCLUSIONS

The Client acknowledges that this Report does not cover or deal with:

- (i) any individual Minor Defect;
- (ii) solving or providing costs for any rectification or repair work;
- (iii) the structural design or adequacy of any element of construction;
- (iv) detection of wood destroying insects such as termites and wood borers;
- (v) the operation of fireplaces and chimneys;
- (vi) any services including building, engineering (electronic), fire and smoke detection or mechanical;
- (vii) lighting or energy efficiency;
- (viii) any swimming pools and associated pool equipment or spa baths and spa equipment or the like;
- (ix) any appliances such as dishwashers, insinkerators, ovens, stoves and ducted vacuum systems;
- (x) a review of occupational, health or safety issues such as asbestos content, the provision of safety glass or the use of lead based paints;
- (xi) a review of environmental or health or biological risks such as toxic mould;
- (xii) whether the building complies with the provisions of any building Act, code, regulation(s) or by-laws;
- (xiii) whether the ground on which the building rests has been filled, is liable to subside, swell or shrink, is subject to landslip or tidal inundation, or if it is flood prone; ; and
- (xiv) in the case of strata and company title properties, the inspection of common property areas or strata/company records.

Any of the above matters may be the subject of a special-purpose inspection report, which is adequately specified and undertaken by an appropriately qualified inspector.

ACCEPTANCE CRITERIA Unless noted in "Special Conditions or Instructions", the building being inspected was compared with a similar building. To the Consultant's knowledge the similar building used for comparison was constructed in accordance with generally accepted timber pest management practices and has since been maintained during all its life not to attract or support timber pest infestation.

Unless noted in "Special Conditions or Instructions", this Report assumes that the existing use of the building will continue.

This Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. This Report therefore cannot deal with:

- (a) possible concealment of defects, including but not limited to, defects concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint; and
- (b) undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out.

These matters outlined above in (a) & (b) are excluded from consideration in this Report.

If the Client has any doubt about the purpose, scope and acceptance criteria on which this Report was based please discuss your concerns with the Consultant on receipt of this Report.

The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

LIMITATIONS

The Client acknowledges:

1. This Report does not include the inspection and assessment of matters outside the scope of the requested inspection and report.
2. The inspection only covered the Readily Accessible Areas of the Building and Site. The inspection did not include areas which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include - but are not limited to - roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.
3. The detection of drywood termites may be extremely difficult due to the small size of the colonies. No warranty of absence of these termites is given.
4. European House Borer (*Hylotrupes bajulus*) attack is difficult to detect in the early stages of infestation as the galleries of boring larvae rarely break through the affected timber surface. No warranty of absence of these borers is given. Regular inspections including the carrying out of appropriate tests are required to help monitor susceptible timbers.
5. This is not a structural damage report. Neither is this a warranty as to the absence of Timber Pest Attack.
6. If the inspection was limited to any particular type(s) of timber pest (e.g. subterranean termites), then this would be the subject of a Special-Purpose Inspection Report, which is adequately specified.
7. This Report does not cover or deal with environmental risk assessment or biological risks not associated with Timber Pests (e.g. toxic mould) or occupational, health or safety issues. Such advice may be the subject of a Special-Purpose Inspection Report which is adequately specified and must be undertaken by an appropriately qualified inspector. The choice of such inspector is a matter for the Client.
8. This Report has been produced for the use of the Client. The Consultant or their firm or company are not liable for any reliance placed on this report by any third party.

EXCLUSIONS

The Client acknowledges that:

1. This Report does not deal with any timber pest preventative or treatment measures, or provide costs for the control, rectification or prevention of attack by timber pests. However, this additional information or advice may be the subject of a timber pest management proposal which is adequately specified.

Special conditions or instructions

Special conditions or instructions

The following apply in the ACT

Standard Inspection Report in accordance with AS 4349.1 or AS 4349.3

LIMITED LIABILITY TO A PURCHASER WITHIN THE AUSTRALIAN CAPITAL TERRITORY

This Report is made solely for the use and benefit of the Client. The Consultant is not liable for any reliance placed on this report by any third party. However, within the ACT only and in accordance with the Civil Law (Sale of Residential Property) Act 2003 and the Civil Law (Sale of Residential Property) Regulations 2004, a copy of the report must be attached to the Contract for Sale and may in certain circumstances be relied upon by the Purchaser of residential property.

The circumstances in which a Purchaser of residential property within the ACT may rely on this report in respect of the state of the property at the time of the inspection are as follows:

- (a) the inspection was carried out no earlier than three months before the day the property was first advertised or offered for sale or listed by an agent; and
- (b) the date on which the contract was entered into was not more than 180 days after the date of the inspection, this report is valid for 180 days from date of inspection; and
- (c) the report is provided to the Purchaser prior to or at the time the Contract for Sale is entered into between the Purchaser and vendor.
- (d) the service requested is a Standard Inspection Report.

IMPORTANT NOTE FOR INSPECTIONS IN THE AUSTRALIAN CAPITAL TERRITORY

For Residential Properties in the Australian Capital Territory, please be advised of the following matters:

- (a) that, in accordance with Civil Law (Sale of Residential Property) Regulations 2004, within 7 days after this report is prepared, the following information will be given to the Territory for inclusion in a publicly available register:
 - (i) the fact that the report has been prepared;
 - (ii) the street address of the property;
 - (iii) the inspection date stated in this report;
 - (iv) the name of the person who prepared the report; and
 - (v) if the person who prepared this report did so as an employee or agent of another entity - the name and contact details of that other entity.
- (b) that the person who prepared this report (or that person's employer or principal) may give a copy of this report, on payment of a reasonable charge, to a person who entered into a contract to buy the property.

This report is valid for 180 days after the date of inspection.

Asbestos Disclaimer - No inspections for asbestos was carried out at the property and no report on the presence or absence of asbestos is provided. If during the course of the inspection asbestos or materials containing asbestos happen to be noted then this may be noted. Buildings built prior to 1982 may have wall and/or ceiling sheeting and other products including roof sheeting that contains Asbestos. Even buildings built after this date may contain some Asbestos. If asbestos is noted then you should seek advice from a qualified asbestos removal expert, as to the amount and importance of removal. Access Canberra may hold further information of Asbestos being installed or removed from the property.

The parties

Pre-engagement inspection agreement number:	Booking Form
Name of Client:	Michelle & Angela North
Consultant's name:	Neris Mauragis
Company name:	First Call Property Inspections
Company address:	PO Box 5046, Chisholm, ACT, 2905
Company email:	inspections@fcpi.com.au
Company telephone number:	62559222

SECTION A RESULTS OF INSPECTION - SUMMARY

This Summary is not the Report. The following Report MUST be read in full in conjunction with this Summary. If there is a discrepancy between the information provided in this Summary and that contained within the body of the Report, the information in the body of the Report shall override this Summary.

PROPERTY REPORT - SUMMARY

In respect of significant items:

Evidence of Safety Hazards	Was not observed
Evidence of Major Defects	Was not observed
Evidence of Minor Defects	Was observed - see Section D, Item D2 - D22
Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected defects including structural damage and conditions conducive to structural damage was considered:	Moderate. See Section C for details

A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

For further information including advice on the implementation of a preventative maintenance program see Section G "Important Notes".

TIMBER PEST REPORT - SUMMARY

In respect of significant items:

Evidence of active (live) termites	Was not found
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Evidence of termite activity (including workings) and/or damage	Was not found
Evidence of a possible previous termite management program	Was found - See Item E4
The next inspection to help detect any future termite attack is recommended in	12months
Evidence of chemical delignification damage	Was not found
Evidence of fungal decay activity and/or damage	Was not found
Evidence of wood borer activity and/or damage	Was not found
Evidence of conditions conducive to timber pest attack	Was found - See Items E9 - E13
Evidence of major safety hazards	Was not found
Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected timber pest attack and conditions conducive to timber pest attack was considered	Moderate. See Section C for details

A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

For further information including advice on how to help protect against financial loss due to timber pest attack see Section G "Important Notes".

SECTION B GENERAL

The records of the appropriate local authority should be checked to determine or confirm:

- whether the ground on which the building rests has been filled, is liable to subside, is subject to landslip or tidal inundation, or if it is flood prone;
- the status of the property and services (e.g. compliance of the building with the provisions of any building Act, code, regulation or by-laws); and
- whether council has issued a building certificate or other notice for the dwelling.

Where appropriate, legal advice (e.g. from a solicitor) should be sought to explain title and ownership matters and to deal with matters concerning easements, covenants, restrictions, zoning certificates and all other law-related matters.

GENERAL DESCRIPTION OF THE PROPERTY

Residential building type:	Detached house
Number of storeys:	Single storey.

Approximate building age:	2 years
Approximate year when the property was extended:	Not applicable
Smoke detectors:	2 fitted, but not tested
Siting of the building:	Towards the middle of a large block.
Gradient:	The land is gently sloping.
Site drainage:	The site appears to be adequately drained.
Access:	Easy pedestrian and vehicular access
Main utility services:	The following services were connected:., Gas, Water, Sewer
Occupancy status:	Occupied and partly furnished
Orientation (to establish the way the property was viewed):	The facade of the building faces northeast Note. For the purpose of this report the façade of the building contains the main entrance door.
Prevailing weather conditions at the time of inspection:	Dry

PRIMARY METHOD OF CONSTRUCTION

Main building - floor construction:	Waffle pod concrete
Main building - wall construction:	Foam construction
Main building - roof construction:	Timber truss, finished with roofing tiles
Other building elements:	Not applicable
Additional Details:	
Overall standard of construction:	Good
Overall quality of workmanship and materials:	Good
Level of maintenance:	

INCOMPLETE CONSTRUCTION

Was evidence of the original construction and any alterations or additions to the building not complete in the work synonymous with construction noted (but does not include building services)?	No evidence found
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Note. This is only a general observation/comment except where any part of the building structure is, or is likely to be, at risk due to this condition.

SECTION C ACCESSIBILITY

Unless noted in "Special Conditions or Instructions", the inspection only covered the Readily Accessible Areas of the Building & Site (see Note below).

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

"Readily Accessible Areas" means areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry. The term 'readily accessible' also includes:

- (a) accessible subfloor areas on a sloping site where the minimum clearance is not less than 150 mm high, provided that the area is not more than 2 metres from a point with conforming clearance (i.e. 400 mm high by 600 mm wide); and
- (b) areas at the eaves of accessible roof spaces that are within the consultant's unobstructed line of sight and within arm's length from a point with conforming clearance (i.e. 600 mm high by 600 mm wide).

"Building & Site" means the inspection of the nominated residence together with relevant features including any car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth, embankments, surface water drainage and stormwater run-off within 30 m of the building, but within the property boundaries.

For the Timber Pest Report, the term "Building & Site" is extended to include the main building (or main buildings in the case of a building complex) and all timber structures (such as outbuildings, landscaping, retaining walls, fences, bridges, trees and stumps with a diameter greater than 100 mm and timber embedded in soil) and the land within the property boundaries up to a distance of 50 metres from the main building(s).

The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Areas, which are not normally accessible, were not inspected and include - but not limited to - the interior of a flat roof or beneath a suspended floor filled with earth. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include - but are not limited to - roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.

AREAS INSPECTED

<p>The inspection covered the Readily Accessible Areas of the property</p>	<p>Building Interior, Building Exterior, Roof Exterior, Roof Space, The site including fences, Note: Due to the construction design there was no access to the subfloor interior., Note: Due to access restrictions only part of the roof interior was inspected., The 'Work Health and Safety Act 2011' instructs that an inspector accessing a roof where the height exceeds 2 metres must be protected by safety lines and or edge fall protection. These measures are not practical or available during a standard building inspection so a 'top of ladder' inspection was undertaken at several points where safe access was available, Note: No flood tests are conducted to wet areas only visual inspection are carried out with use of moisture meter</p>
<p>Additional comments:</p>	

AREAS NOT INSPECTED

The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. The Consultant did not move or remove any obstructions which may be concealing evidence of defects such as timber pest attack. Areas, which are not normally accessible, were not inspected such as under slabs on ground as it is not "considered practical" to gain access to them. Evidence of defects in obstructed or concealed areas may only be revealed when the items are moved or removed or access has been provided.

STRATA OR COMPANY TITLE PROPERTIES

<p>Was the inspection of a strata or company title property (eg a home unit or townhouse)?</p>	<p>No</p>
<p>Was the inspection limited to assessing the interior or exterior of a particular unit?</p>	<p>No</p>
<p>Additional comments:</p>	

OBSTRUCTIONS

<p>Were there any obstructions that may conceal possible defects?</p>	<p>The following obstructions may conceal defects:</p>
<p>Building Interior</p>	<p>Roof insulation, Furniture, Clothing and personal effects, Stored articles, Ducting, Floor coverings, Stored articles in garage, Stored articles inside cupboards</p>

Building Exterior	Landscaping, Built-up areas abutting the building, Vegetation, Subframe to decking due to no access
Additional comments:	

INACCESSIBLE AREAS

Were there any normally accessible areas that did not permit entry?	There was no inspection of:
Building Interior	Areas to the roof interior was limited due to access restrictions caused by ducting and height restrictions
Building Exterior	External areas adjoining neighbouring property

Inaccessible Area Photos

UNDETECTED DEFECT RISK ASSESSMENT

Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected defects such as structural damage, conditions conducive to structural damage, timber pest attack and conditions conducive to timber pest attack was considered:	Moderate
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A further inspection is strongly recommended of areas that were not readily accessible, and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This may require the moving, lifting or removal of obstructions such as floor coverings, furniture, stored items foliage and insulation. In some instances, it may also require the removal of ceiling and wall linings, and the cutting of traps and access holes.

Additional comments:	
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SECTION D PROPERTY REPORT

The following items and matters were reported on in accordance with the Scope of Inspection. For building elements not identified in this condition report, monitoring and normal maintenance must be carried out (see also Section G 'Important note').

D1 Safety hazards

As a matter of course, in the interests of safety, and inspection and assessment of the electrical and plumbing/gas installations should be carried out by a suitably qualified person.

Evidence of any item or matter (within the Consultant's expertise) that may constitute a present or imminent serious safety hazard:	No evidence of defects were found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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INSIDE CONDITION

D2 Ceiling

Ceilings	No evidence of defects were found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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D3 Internal Walls

Internal Walls	No evidence of defects were found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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D4 Floors

Floors	No evidence of defects were found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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D5 Internal Joinery

Internal Joinery (e.g. doors, staircase, windows and all other woodwork, etc)	No evidence of defects were found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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D6 Built-in fittings

Built-in fittings (built in kitchen and other fittings, not including the appliances)	No evidence of defects were found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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D7 Bathroom fittings

Bathroom fittings	No evidence of defects were found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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D8 Other inside detail

Other inside detail (e.g. fireplaces, chimney breasts and the outside of flues)	No evidence of defects were found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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D9 Roof space

Roof space	No evidence of defects were found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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D10 Subfloor space

Subfloor space	Not inspected due to construction design
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OUTSIDE CONDITION

D11 External walls

External walls	No evidence of defects were found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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D12 Windows

Windows	No evidence of defects were found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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D13 External doors

External doors (including patio doors)	No evidence of defects were found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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D14 Platforms

Platforms (including verandahs, patios, decks and the like)	No evidence of defects were found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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D15 Other external primary elements

Other external primary elements	No evidence of defects were found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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D16 Other external secondary & finishing elements

Other external secondary & finishing elements	No evidence of defects were found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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D17 Roof exterior

Roof exterior (including roof covering, penetrations, flashings)	No evidence of defects were found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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D18 Rainwater goods

Rainwater goods	No evidence of defects were found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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D19 The grounds

The grounds	No evidence of defects were found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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D20 Walls & fences

Walls & fences	No evidence of defects were found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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D21 Outbuildings

Outbuildings	No evidence of defects were found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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D22 Minor defects

Monitoring and normal maintenance must be carried out (see also Section G 'Important note'). How many minor defects were noted?	There were very few Minor Defects.
Comments on Minor Defects	This comment covers general minor defects which are consistent with similar aged homes- like: Patching/ Painting. Wear and tear to general surfaces and laminated surfaces. Imperfections and minor maintenance issues.

SECTION E TIMBER PEST REPORT

The following items were reported on in accordance with the Scope of Inspection

TIMBER PEST ATTACK

E1 Active (live) termites

Active (live) termites	No evidence was found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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E2 Subterranean termite management proposal

Subterranean termite management proposal	A Proposal is not recommended
Additional Comments	

E3 Termite workings and/or damage

Termite workings and/or damage	No evidence was found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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E4 Previous termite management program

Previous termite management program	The following evidence was found:
Evidence of previous program:	Treatment sticker in meter box
Additional Comments	Treatment sticker found installed inside the meter box dated during the construction stage as a preventative measure.

Previous Treatment Photos

E5 Frequency of future inspections

The next inspection to help detect termite attack is recommended in:	12 months
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Important Note. Australian Standard AS 3660 recognises that regular inspections will not prevent termite attack, but may help in the detection of termite activity. Early detection will allow remedial treatment to be commenced sooner and damage to be minimised.

E6 Chemical Delignification

Monitoring and normal maintenance must be carried out (see also Section G 'Important notes').

Chemical Delignification	No evidence was found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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E7 Fungal Decay

Important Note. Although no evidence of fungal decay was observed or revealed under test conditions, regular inspections are recommended at intervals not exceeding 12 months. Monitoring and normal maintenance must be carried out (see also Section G 'Important notes').

Fungal Decay	No evidence was found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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E8 Wood Borers

Wood Borers	No evidence was found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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CONDITIONS CONDUCIVE TO TIMBER PEST ATTACK

The Consultant sought evidence of noticeable building deficiencies or environmental factors that may contribute to the presence of timber pests. In respect of moisture management issues, the inspection included the potential for or presence of water or dampness in unintended locations.

E9 Lack of adequate subfloor ventilation

Lack of adequate subfloor ventilation	No evidence was found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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E10 The presence of excessive moisture

The presence of excessive moisture	No evidence was found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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E11 Bridging or breaching of termite barriers and inspection zones

Bridging or breaching of termite barriers and inspection zones	No evidence was found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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E12 Untreated or non-durable timber used in a hazardous environment

Untreated or non-durable timber used in a hazardous environment	No evidence was found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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E13 Other conditions conducive to timber pest attack

Other conditions conducive to timber pest attack	The following evidence was found
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The following evidence was found:

Location	Perimeter of the building.
Affected Elements	Garden beds / Paths or Paving, Landscaping, Decking, Vegetation
Defect or Sign	In contact with the ground, Abutting the building
Recommendation	Any material abutting the building may conceal termite entry. These conditions are common to most homes, Removal of conditions conducive to timber pest attack is not practical in this instance. Monitoring and normal maintenance must be carried out

MAJOR SAFETY HAZARDS

The Consultant sought evidence of any item or matter (within the Consultant's expertise) that may constitute a present or imminent major safety hazard. For example, evidence of the imminent collapse of a structural member and other building elements made unsafe by timber pest attack.

E14 Major safety hazards

Major safety hazards	No evidence of defects were found. Monitoring and normal maintenance must be carried out (see also Section G - Important Notes).
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SECTION F CONCLUSION

Your attention is drawn to the advice contained in the Terms and Conditions of this Report including any special conditions or instructions that need to be considered in relation to this Report.

PROPERTY REPORT

The incidence of Major Defects in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:	Below Average - ie. less major defects than average
The incidence of Minor Defects in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:	Below Average - ie. less minor defects than average
In conclusion, following the inspection of surface work in the readily accessible areas of the property, the overall condition of the building relative to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:	Above Average - ie. condition is better than average

TIMBER PEST REPORT

Treatment of Timber Pest Attack is required.	No
In addition to this Report a Subterranean Termite Management Proposal to help manage the risk of future subterranean termite access to buildings and structures is	Not Recommended
Removal of Conditions Conducive to Timber Pest Attack is necessary.	No
Due to the susceptibility of the property to sustaining Timber Pest Attack the next inspection is recommended	in 6 months

SECTION G IMPORTANT NOTES

PROPERTY REPORT - IMPORTANT NOTE

Australian Standard AS4349.0-2007 *Inspection of Buildings, Part 0: General Requirements* recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future. Accordingly, a preventative maintenance program should be implemented for the property which includes systematic inspections, detection and prevention of incipient failure. Please contact the Consultant who carried out this inspection for further advice.

TIMBER PEST REPORT - RISK MANAGEMENT OPTIONS

To help protect against financial loss, it is essential that the building owner immediately control or rectify any evidence of destructive timber pest activity or damage identified in this Report. The Client should further investigate any high risk area where access was not gained. It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of conditions conducive to timber pest attack.

To help minimise the risk of any future loss, the Client should consider whether the following options to further protect their investment against timber pest infestation are appropriate for their circumstances:

Undertake thorough regular inspections at intervals not exceeding twelve months or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack. To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS 3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS 3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and that thorough regular inspections of the building are necessary.

If the Client has any queries or concerns regarding this Report, or the Client requires further information on a risk management program, please do not hesitate to contact the person who carried out this Inspection.

SECTION H ADDITIONAL COMMENTS


Additional comments	There are no additional comments
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SECTION I ANNEXURES TO THIS REPORT

Annexures to this report	There are no annexures to this report
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SECTION J CERTIFICATION

This document certifies that the property described in this Report has been inspected by the Building Consultant & Timber Pest Detection Consultant in accordance with the level of service requested by the Client and the Terms and Conditions set out in this Report, and in accordance with the current edition of the Report Systems Australia (RSA) Handbooks Standard Property Inspection Reports 'Uniform Inspection Guidelines for Building Consultants' & Timber Pest Detection Reports 'Uniform Inspection Guidelines for Timber Pest Detection Consultants'.

Name:	Neris Mauragis
Authorised Signatory:	
Date of Inspection:	24th Nov, 2025



Pre-Sale Inspection - COMPLIANCE REPORT

GENERAL INFORMATION

This report is concerned with the property's compliance with the applicable legislation and regulations for that property. First Call Property Inspections will source and use the property's Residential Conveyancing File that we obtain from the Environment and Planning Directorate to assess the property's compliance. Information included in this file may include floor plans, site elevations, survey reports, certificates of occupancy and drainage plans.

First Call Property Inspections hold no responsibility any mistakes, illegibility or omissions within the Residential Conveyancing File.

Development approval is about the design of the development. It ensures the development is appropriate to an area and conforms with any lease requirements, Territory Plan codes, regulations or specific development conditions that may apply to a particular piece of land.

Building approval ensures that any planned building work will be structurally sound and safe, and conforms with the requirements of the Building Code of Australia. Exemptions from building approval may apply to some small structures. Building approval is given by a licensed building surveyor who has been appointed as a building certifier.

Should you wish to obtain any approvals as a result of this report, please contact our office and we can assist you with referral to a licensed Building Certifier.

A copy of the building file is included with this report.

This report is valid for 180 days after inspection date.

DISCLAIMER

Although a structure may be approved/exempt from building, development or both approvals this does not ensure that it also complies with the Building Code of Australia. In regard to paved and concrete areas located on easements, approvals are not required, but should the owner of the easement be required to access it, this may be done at property owner's expense. Please note that this report has been prepared for the sole use of the client at the above mentioned address, or their authorised agent. The findings of this report are valid for 6 months from the date report was undertaken. First Call Inspections accept no responsibility for any work or alterations conducted on this property after our inspection.

First Call Property Inspections expressly acknowledges and the Client acknowledges that First Call Property Inspections are not building certifiers, licensed building surveyors, or regulatory authorities under the Building Act 2004 (ACT) or the Building Code of Australia. The inspection services provided by First Call Property Inspections constitute visual inspections conducted to the best of First Call Property Inspections' ability against approved plans obtained from Access Canberra through the Residential Conveyancing File system. Further, these inspections are undertaken for compliance assessment purposes only under the Civil Law (Sale of Residential Property) Act 2003 and do not constitute certification, approval, or regulatory endorsement of any building work, structure, or development.

The Client acknowledges that compliance inspections are inherently limited in scope and First Call Property Inspections expressly excludes all liability for any failure to identify, detect, or report compliance issues including but not limited to non-compliant building work, unapproved structures, development approval deficiencies, or Building Code of Australia violations. First Call Property Inspections' obligation extends only to conducting reasonable visual inspections against available approved plans and does not include: (a) invasive or destructive testing of building elements, structures, or materials that may conceal compliance issues or defects requiring specialised investigation techniques; (b) review of internal building systems, concealed structural elements, or compliance aspects that are not readily visible during standard visual inspection procedures; and (c) verification of compliance with technical building standards, engineering requirements, or specialised regulatory provisions that require expert certification or detailed technical analysis beyond visual assessment capabilities.

First Call Property Inspections holds no responsibility for any mistakes, illegibility, omissions, inaccuracies, or completeness deficiencies within the Residential Conveyancing File obtained from the Environment and Planning Directorate. The Client acknowledges that First Call Property Inspections relies upon information provided by regulatory authorities and cannot warrant the accuracy, currency, or completeness of such information. Where approved plans are illegible, incomplete, outdated, or contain errors, First Call Property Inspections' ability to conduct comprehensive compliance assessments may be materially impaired, and First Call Property Inspections accepts no liability for any resulting compliance issues that remain undetected.

The Client acknowledges that where specific compliance concerns exist or where detailed technical assessment is required, the Client should obtain independent advice from a licensed building certifier who possesses the necessary qualifications, regulatory authority, and technical expertise to provide definitive compliance opinions and certification services. Licensed building certifiers are the appropriately qualified professionals authorised under Australian Capital Territory legislation to provide comprehensive building compliance assessments, issue compliance certificates, and determine definitively whether building work complies with applicable regulatory requirements including the Building Code of Australia, Territory Plan provisions, and development approval conditions.

To the maximum extent permitted by law, First Call Property Inspections excludes all liability whether in contract, tort (including negligence), statute, or otherwise for any loss, damage, cost, or expense (whether direct, indirect, consequential, or otherwise) arising from or in connection with any compliance issues, building defects, regulatory non-compliance, or related matters that are not identified, detected, or reported in the inspection or compliance report. This exclusion applies regardless of whether such issues were reasonably discoverable during visual inspection or required specialised investigation beyond First Call Property Inspections' stated scope of services. The Client's exclusive recourse is limited to the re-performance of inspection services where First Call Property Inspections has materially failed to comply with the stated inspection methodology outlined in this agreement.

This report was prepared by First Call Property Inspections.

Property Address 80 A'Beckett Street Watson ACT 2602
Block/Section Numbers B6/S12
Inspection Date 24 Nov 2025
Report number: 2025980

PLANS

Plan Number	Description	Certificate of Occupancy Date	Approved Y/N	Comments
B2023348/A	Demolition of all structures on site	21/12/2023	Y	
B2023502/A+/B	DA Exempt - new residence, garage, workshop and alfresco	21/12/2023	Y	

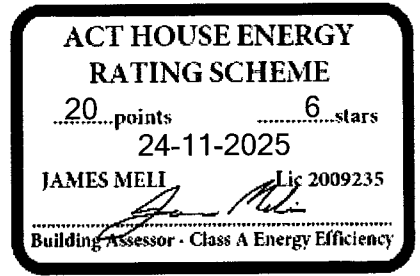
CERTIFICATE

Survey Cert	Date	Comments
TSD Surveying		Upon this land stands the concrete foundation of a building in the course of construction, to be on completion a cottage residence in the position shown on the sketch plan.

SUMMARY

There are no unapproved structures upon this block during the time of inspection.

FirstRate Report



YOUR HOUSE ENERGY RATING IS: ★ ★ ★ ★ ★ ★ 6 STARS
in Climate: 24 **SCORE: 20 POINTS**

Name:	Michelle & Angela North	Ref No:	2025980
House Title:	B6 S12 Watson	Date:	24-11-2025
Address:	80 A'Beckett Street Watson		2602
Reference:	Y:\B6 S12 WATSON		

This rating only applies to the floor plan, construction details, orientation and climate as submitted and included in the attached Rating Summary. Changes to any of these could affect the rating.

IMPROVING YOUR RATING

The table below shows the current rating of your house and its potential for improvement.

Star Rating	POOR			AVERAGE				GOOD			V. GOOD	
	0 Star	★	★★	★★★	★★★★	★★★★★	★★★★★★	★★★★★★★	★★★★★★★★	★★★★★★★★★		
Point Score	-71	-70	-46	-45	-26	-25	-11	-10	4	5	16	17
Current	20	<input type="text"/>										
Potential	27	<input type="text"/>										

Incorporating these design options will add the additional points required to achieve the potential rating shown in the table. Each point represents about a 1% change in energy efficiency. This list is only a guide to the range of options that could be used.

Design options

Additional points

Change curtain to

Heavy Drapes & Pelmet

8

ORIENTATION

Orientation is one of the key factors which influences energy efficiency. This dwelling will achieve different scores and star ratings for different orientations.

Current Rating	27	★★★★★★
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Largest windows in the dwelling;

Direction : North West

Area : 25 m²

The table below shows the total score for the dwelling when these windows face the direction indicated.

Note that obstructions overshadowing windows have been removed from all windows in these ratings to allow better comparisons to be made between orientations.

ORIENTATION	POINT SCORE	STAR RATING
1. North West	20	★★★★★★
2. North	20	★★★★★★
3. North East	20	★★★★★★
4. East	18	★★★★★☆
5. South East	16	★★★★★☆
6. South	15	★★★★★☆
7. South West	15	★★★★★☆
8. West	17	★★★★★☆

FirstRate Mode
Climate: 24

RATING SUMMARY for: B6 S12 Watson, 80 A'Beckett Street, Watson

Assessor's Name: James

Net Conditioned Floor Area: 201.8 m²

Feature		Points						
		Winter	Summer	Total				
CEILING		6	0	6				
Surface Area:	0	Insulation:	6					
WALL		3	0	3				
Surface Area:	-3	Insulation:	7	Mass: -1				
FLOOR		14	-3	12				
Surface Area:	0	Insulation:	4	Mass: 7				
AIR LEAKAGE (Percentage of score shown for each element)		8	0	8				
Fire Place	0 %	Vented Skylights	0 %					
Fixed Vents	0 %	Windows	47 %					
Exhaust Fans	17 %	Doors	18 %					
Down Lights	0 %	Gaps (around frames)	18 %					
DESIGN FEATURES		0	0	0				
Cross Ventilation	0							
ROOF GLAZING		0	0	0				
Winter Gain	0	Winter Loss	0					
WINDOWS		5	-6	-2				
Window Direction	Area		Point Scores					
	m2	%NCFA	Winter* Loss	Winter Gain	Summer Gain	Total		
NE	10	5%	-5	9	-1	0		
SE	6	3%	-4	2	-1	0		
SW	9	5%	-6	3	-1	0		
NW	25	13%	-15	13	-3	0		
Total	52	26%	-30	27	-7	-2		
* Air movement over glazing can significantly increase winter heat losses. SEAV recommends heating/cooling duct outlets be positioned to avoid air movement across glass or use deflectors to direct air away from glass.								
The contribution of heavyweight materials to the window score is 4 points								
RATING	★★★★★★				SCORE	36	-9	27*

* includes 0 points from Area Adjustment

Detailed House Data

House Details

ClientName Michelle & Angela North
 HouseTitle B6 S12 Watson
 StreetAddress 80 A'Beckett Street
 Suburb Watson
 Postcode 2602
 AssessorName James
 FileCreated 24-11-2025

Climate Details

State
 Town Canberra
 Postcode 2600
 Zone 24

Floor Details

ID	Construction	Sub Floor	Upper	Shared	Foil	Carpet	Ins RValue	Area
1	Concrete Slab on ground	No Subfloor	No	No	No	Carp	R1.0	83.9m ²
2	Concrete Slab on ground	No Subfloor	No	No	No	Tiles	R1.0	137.8m ²

Wall Details

ID	Construction	Shared	Ins RValue	Length	Height
1	Brick Veneer	No	R3.0	71.8m	2.7m
2	Weatherboard	No	R2.5	16.6m	2.7m

Ceiling Details

ID	Construction	Shared	Foil	Ins RValue	Area
1	Attic - Low Ventilation	No	Yes	R4.5	221.7m ²

Window Details

ID	Dir	Height	Width	Utility	Glass	Frame	Curtain	Blind	Fixed & Adj Eave	Fixed Eave	Head to Eave
1	NE	1.2m	2.4m	No	DG2	ALIMPR	HP	No	1.3m	1.3m	0.3m
2	NE	1.2m	1.5m	No	DGT2	ALIMPR	HP	No	0.7m	0.7m	0.3m
3	NE	1.2m	2.4m	No	DG2	ALIMPR	HP	No	0.7m	0.7m	0.3m
4	NW	0.7m	2.6m	No	DG2	ALIMPR	HB	No	0.7m	0.7m	0.3m
5	SW	1.2m	2.4m	No	DG2	ALIMPR	HB	No	0.7m	0.7m	0.3m
6	SW	1.2m	2.4m	No	DG2	ALIMPR	HB	No	0.7m	0.7m	0.3m
7	NW	2.4m	2.4m	No	DG2	ALIMPR	HB	No	0.7m	0.7m	0.3m
8	NW	2.4m	3.9m	No	DG2	ALIMPR	HB	No	3.6m	3.6m	0.1m
9	NW	2.4m	2.4m	No	DG2	ALIMPR	HB	No	0.7m	0.7m	0.3m
10	NE	1.5m	1.8m	No	DG2	ALIMPR	HB	No	0.7m	0.7m	0.3m
11	NW	1.5m	1.8m	No	DG2	ALIMPR	HB	No	0.7m	0.7m	0.3m
12	SW	0.6m	0.9m	Yes	DGT2	ALIMPR	HB	No	0.7m	0.7m	0.3m
13	SW	0.6m	0.9m	Yes	DGT2	ALIMPR	HB	No	0.7m	0.7m	0.3m
14	SW	2.2m	0.6m	No	DG2	ALIMPR	HB	No	0.7m	0.7m	0.3m
15	SW	2.2m	0.6m	No	DG2	ALIMPR	HB	No	0.7m	0.7m	0.3m
16	SE	2.2m	0.8m	No	DG2	ALIMPR	HB	No	0.7m	0.7m	0.3m
17	SE	2.2m	0.8m	No	DG2	ALIMPR	HB	No	0.7m	0.7m	0.3m
18	SE	1.4m	2.1m	No	DG2	ALIMPR	HB	No	0.7m	0.7m	0.3m

Window Shading Details

ID	Dir	Height	Width	Obst Height	Obst Dist	Obst Width	Obst Offset	LShape Left Fin	LShape Left Off	LShape Right Fin	LShape Right Off
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CONVEYANCING PART 2

No information is provided in respect of electrical, drainage or sewer matters and or to the location of overhead power lines or underground cables in relation to the building.

- | | <u>Yes</u> | <u>No</u> |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|-------------------------------------|
| 1. (a) Is this a government or ex government house? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| (b) If yes, is there a building file with approvals on it? | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Is there any record of incomplete building work on the building file?
If yes - file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 3. Are there any records on the building file of current (within 5 years) housing Indemnity insurance policies for building work? If yes - file copies attached | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Are there any records on the building file showing building applications still being processed? (Current within 3 years) If yes - file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 5. Are there any records on the building file in relation to loose-fill asbestos insulation? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

If available, copies of the following documents are provided:

- | | | |
|------------------------------------------------------------|-------------------------------------|-------------------------------------|
| • Certificate/s of Occupancy and Use | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| • Survey Certificates | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| • Unit Plan/Unit Entitlements (if property is unit titled) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| • Approved Building Plans | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| • Ex- government Building Plans* | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

If requested:

- | | | |
|--------------------|-------------------------------------|--------------------------|
| • Drainage Plan(s) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--------------------|-------------------------------------|--------------------------|

ASBESTOS

The ACT Government is not able to guarantee the accuracy of the information in this report.

You should make your own enquiries and obtain reports (from a licensed Asbestos Assessor) in relation to the presence of loose fill asbestos insulation (and other forms of asbestos) on the premises. For more information go to the Asbestos Awareness Website –

www.asbestos.act.gov.au

Please note: Development Approval plans will not be included in this report (We do not receive Development Approval Plans unless they are part of a Building Approval in which case they become Building Approval Plans), if development approval was granted you can request copies of the Development Approval plans from ACEPDcustomerservices@act.gov.au.

Please Note: Building approvals that have been generated via eDevelopment will be issued with a project number prefixed by the letter B. Initial building approval documentation will be identified with project number B20XXXX only but will be referenced as B20XXXX/A on the Certificate of Occupancy and Use. Any amendments to the original approval will be issued with the project number and an alphanumeric digit. The first amendment will be identified as B20XXXX/B, the second amendment B20XXXX/C etc. Not all eDevelopment plans will be stamped with the plan number.

***Ex Government plans:** Plans are typical and not specific to each residence. There may be slight changes to the layout or window locations that were not required to be approved.

Search officer comments (if any?)

Search officer initials: Kayne

Cost of application: \$ 144.79

Date completed:

18/11/2025



MASTER BUILDERS
FIDELITY FUND

Certificate number
Fund Reference Number

76674
18/0061

Certificate

Date Issued: 14/11/2022

This Certificate is not underwritten by the ACT Government nor by the Master Builders Association (ACT)

This Certificate applies to one dwelling only.

The contract price, or value of the work, is: \$896,255.

The builder's *estimated* construction period is from: 14/11/2022 to 31/12/2023.

Variations of up to 10% of the contract price are automatically included.

This Certificate is issued subject to the requirements of the **ACT Building Act 2004** and section 91, and in accordance with the terms and conditions set out in the Master Builders Fidelity Fund Trust Deed.

Builder's Name: **Homes by Howe Pty Ltd**

Builder's Licence No: **2017219**

Block: **6** Section: **12** Unit: **n/a** Suburb: **Watson**

Residential Address: **80 A'Beckett Street**

Type of project, (ie speculative, contract or project management): **Contract**

For the construction of: **custom house, standard specifications, single storey**

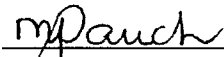
Special conditions: **n/a**

Name of Owner(s): **A Tyrrell & M Harnos**

Instructions to Builder:

This original certificate **MUST** be given to the home owner. Please photocopy for building approval purposes and for your records.

For variations in excess of 10% of the contract price, contact the Master Builders Fidelity Fund Manager on (02) 6175 5995.

Signature: 
(For and on behalf of the Master Builders Fidelity Fund)

This certificate is issued by the Master Builders Fidelity Fund and any enquiries regarding claims against this certificate must be directed to the Master Builders Fidelity Fund c/- MBA - ACT at 1 Iron Knob Street, Fyshwick ACT 2609, telephone (02) 6280 9119.

Please read the important information overleaf regarding this Certificate.

18/0061



Our Ref: 3016-SP

21 March 2023

Homes by Howe
james@homesbyhowe.com.au

Dear Sir/Madam,

RE: Identification Report for Block 6 Section 12, Watson

In accordance with your instructions, I have surveyed land for Identification purposes, in the Division of Watson, District of Canberra City, having a frontage of 21.03 metres to A'Beckett Street being Block 6 Section 12 in Deposited Plan 1214 and known as 80 A'Beckett Street, shown edged in red on the accompanying sketch plan.

IMPROVEMENTS:

Upon this land stands the concrete foundation of a building in the course of construction, to be on completion a cottage residence in the position shown on the sketch plan. This identification report is limited to this concrete foundation only.

EASEMENTS:

There is a *Sewerage Easement 2.44m wide* that affects the subject land as shown on the accompanying sketch plan.

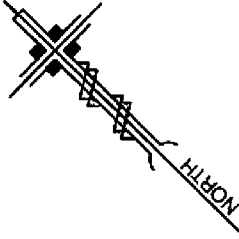
NOTES:

1. The above report has been prepared for identification purposes for use in this matter only and is not to be used for boundary definition or by any party other than Homes By Howe.
2. Further survey, boundary marking and set out, will be required if any construction work is undertaken on or near the boundaries.

Yours Faithfully

A handwritten signature in black ink, appearing to read 'Tom Darmody'.

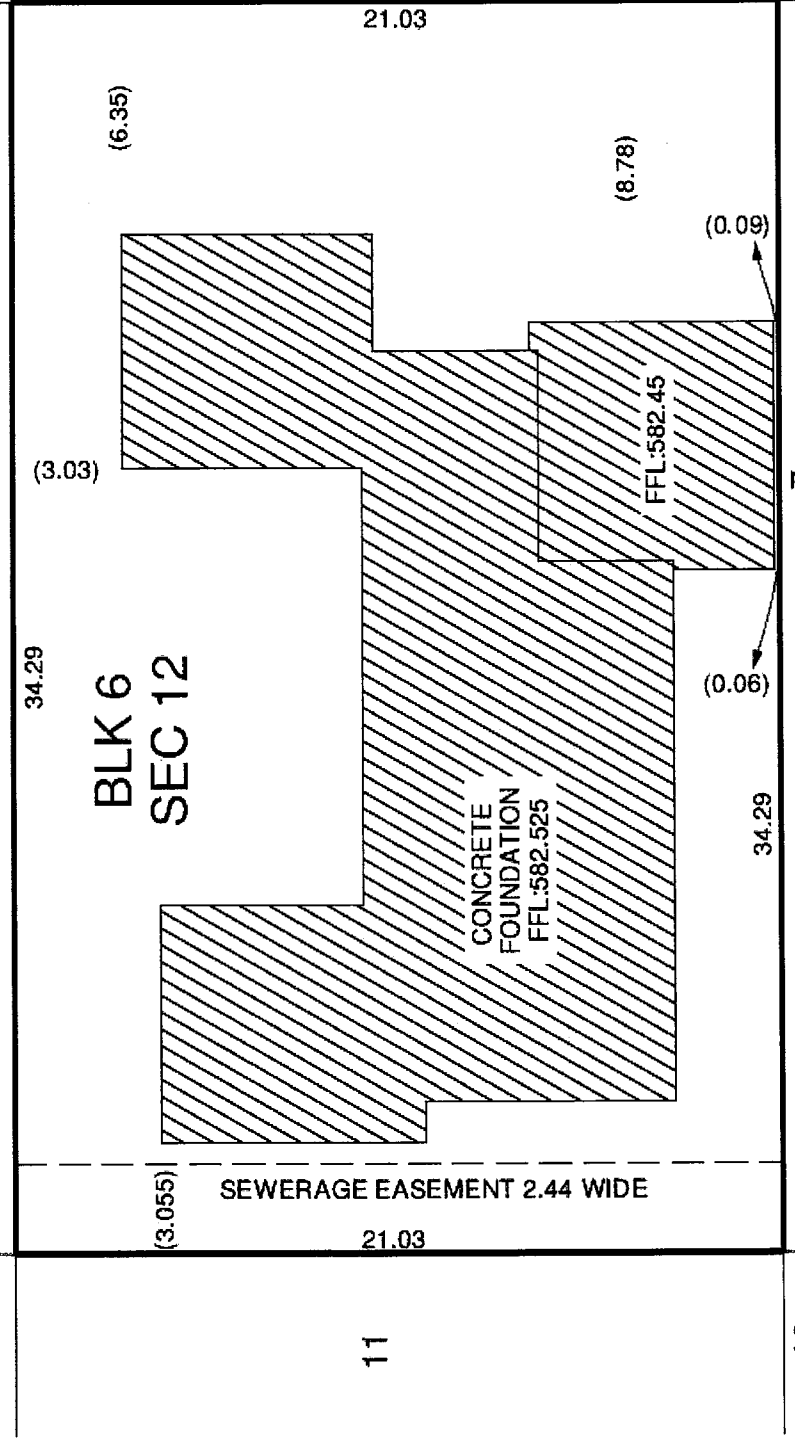
Thomas Darmody
Registered Surveyor



A'BECKETT STREET

Tom
 THOMAS D'ARMOY
 REGISTERED SURVEYOR
 Ph: 02 7204 6295
 tom@tsdsurveying.com.au

5



NOTES
 - THIS PLAN HAS BEEN PREPARED FOR IDENTIFICATION PURPOSES
 FOR EXCLUSIVE USE BY THE CLIENT IN THIS MATTER ONLY.
 - NOT TO BE USED FOR BOUNDARY DEFINITION. FURTHER SURVEY
 AND BOUNDARY MARKING MAY BE NECESSARY PRIOR
 TO ANY FUTURE DEVELOPMENT
 - SURVEY DATA SHOWN ON THIS PLAN IS CORRECT AT DATE OF SURVEY
 - THIS IS THE SKETCH PLAN REFERRED TO IN, AND ANNEXED TO,
 OUR REPORT TO HOMES BY HOWE DATED 21 MARCH 2023

PROJECT	IDENTIFICATION SURVEY OF BLK 6 SEC 12 DP 1214 80 A'BECKETT STREET, WATSON		
CLIENT	HOMES BY HOWE		
DATUM: AHD	SURVEYED: BR	SCALE: 1:200 (A4)	
CONTOUR INTERVAL: N/A	DRAWN: SP	PLAN REF: 3016-ID	
OUR REF: 3016	CHECKED: TD	DATE: 21 MARCH 2023	



ACT
Government

Certificate of Completion of Demolition

Certificate No.: **B2023348C1**

**Access Canberra Land, Planning and
Building Services**

ABN 16 479 763 216
8 Darling Street Mitchell
GPO Box 158 ACT 2601
www.act.gov.au/accesscbr

This Certificate is issued in accordance with Section 71 (2) of the Building Act 2004.

The demolition of the building works listed on this certificate has been completed in accordance with the prescribed requirements.

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	6	12	WATSON	CANBERRA CENTRAL	Australian Capital Territory

Plans

B2023348/A

Building Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Const.	Unit	BCN ID	Builder
1a	Demolition	RESIDENCE	Demolition of all structures on site	NA		B2023348N1	HOMES BY HOWE PTY LTD

Comments

Important Note:

The issue, under this Part, of a certificate in respect of a building or portion of a building does not affect the liability of a person to comply with the provisions of a law of the territory (including this Act) relating to the building or portion of the building.

Issued by: AthiraK Joy

Issued on: 21/12/2023

Delegate of the ACT Construction
Occupations Registrar.

AUSCERT
BUILDING CERTIFIERS
ACT LIC# 2017963

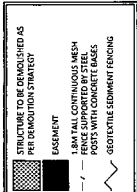
BUILDING APPROVAL
issued under s.28 of the
Building Act 2004

Issue date: 9/02/2023

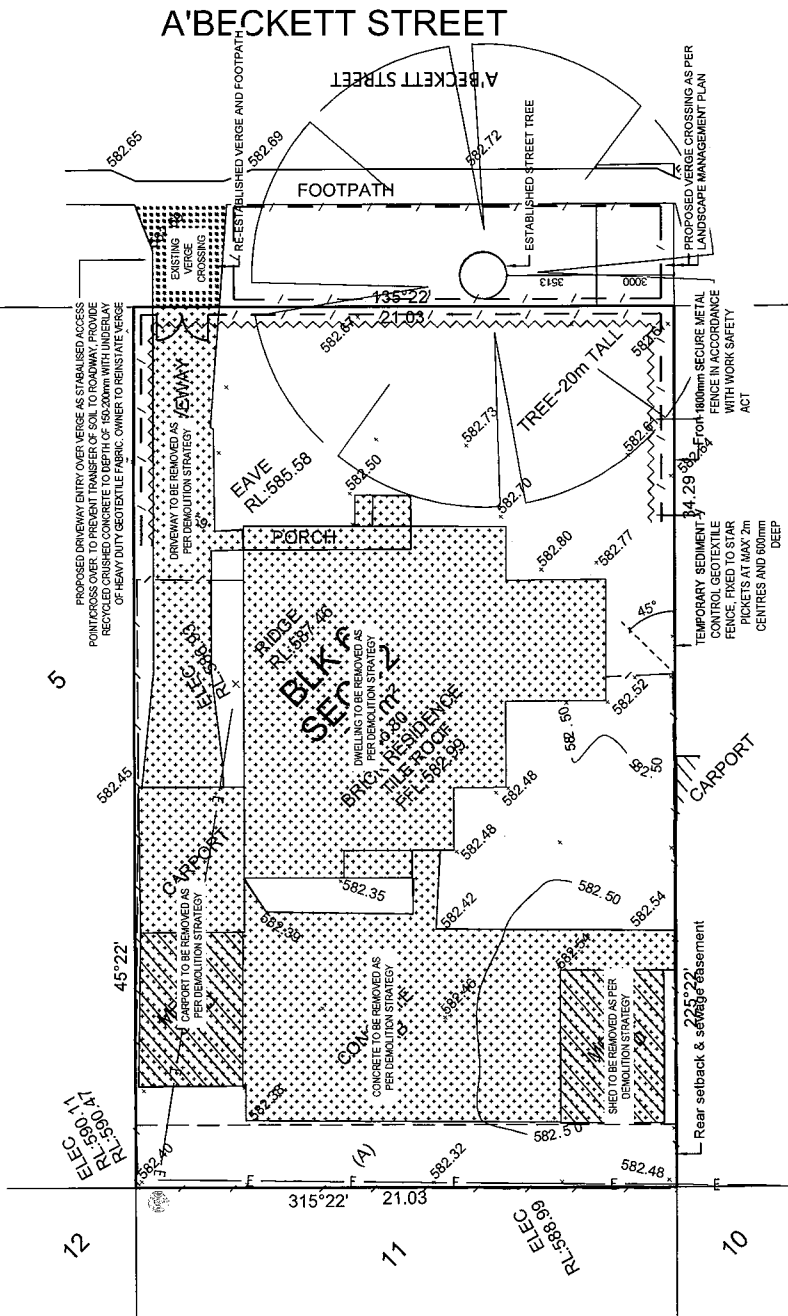
Stephen S Kolano
Certifier signature

BCA Occupancy Class: 1a

BCA Type of Construction: N/A

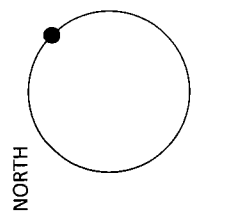


- DEMOLITION NOTES**
- PROPOSED METHOD: DIAMANTE TILE ROOF, TRIM, TRUSSES AND TIMBER BEAMS TO BE DEMOLISHED BY HAND. VERGE WALLS TO BE DEMOLISHED BY HAND. CHIMNEYS TO BE DEMOLISHED BY HAND. FRAMES AND EXTERNAL WALL FRAMES TO BE DEMOLISHED BY HAND. THE LOCAL TP, THE REMAINING CONCRETE TO BE RECYCLED AND CONCRETE RECYCLING FACILITIES FOR RECYCLING.
 - VALUERS, ASSES, INTERNAL SYNDICATES AND ACT POLLUTION CONTROL LAWS.
 - ASBESTOS - SHOULD THERE BE ANY TRACE OF ASBESTOS, ALL WORK TO BE CONDUCTED AS A WET PROCESSING AND APPROPRIATE PROTECTIVE CLOTHING AS PER THE LOCAL TP. THE REMAINING CONCRETE TO BE RECYCLED AND CONCRETE RECYCLING FACILITIES FOR RECYCLING.
 - EXISTING SERVICES - ELECTRICITY TO BE DISCONNECTED AND LINES TO BE REMOVED. SUPPLY COVERS AND STOPWATER TO BE REMOVED. ALL SERVICES TO BE TERMINATED AND CONNECTED ON A DISCONNECTED AND LINES TO BE REMOVED IN TESTUAL.
 - WATER TANKS - TANKS TO BE DEMOLISHED WITHOUT DISTURBANCE TO THOSE TREES TO BE RETAINED, AND TAKEN TO APPROPRIATE FACILITIES IN RELATION TO OVER HEAD POWER LINES.



ON MODERN

Homes by Howe
PH: 0422702707
E: OFFICE@ONMODERN.COM.AU



REVISION

- Amended notes as per Urban Treescape advice
- All impacted tree canopies indicated
- Proposed levels indicated
- No proposed scaffolding for single level dwelling
- Indicative storage and stockpiling located

NEW HOME

80 A'BECKETT	25.08.2022	B TRAVERS	
BLOCK 06 SECTION 12 WATSON			
BLOCK SIZE	71.10m²		
PROPOSED LIVING	233.0m²		
PROPOSED GARAGE	045.0m²		
PROPOSED TOTAL	278.0m²		
PROPOSED ALFRESCO	010.0m²		

DEMOLITION PLAN

DATE	25.08.2022
DRAWN	B TRAVERS
PROJECT NO.	2212
SCALE	1:200@A3
CUEST	H.S.H

A004



ACT
Government

Certificate of Occupancy and Use

Certificate No.: **B2023502C1**

**Access Canberra Land, Planning and
Building Services**

ABN 16 479 763 216
8 Darling Street Mitchell
GPO Box 158 ACT 2601
www.act.gov.au/accesscbr

This Certificate is issued in accordance with Section 69 (2) of the Building Act 2004.

The building work listed on this certificate has been completed substantially in accordance with the prescribed requirements and is considered fit for occupation and use.

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	6	12	WATSON	CANBERRA CENTRAL	Australian Capital Territory

Plans

B2023502/A

B2023502/B

Building Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Const.	Unit	BCN ID	Builder
1a	New Standard	DA EXEMPT-RESIDENCE	New Residence	NA		B2023502N1	HOMES BY HOWE PTY LTD
10a	New	DA EXEMPT-GARAGE	Garage, Workshop and Alfresco	NA		B2023502N1	HOMES BY HOWE PTY LTD

Comments

Important Note:

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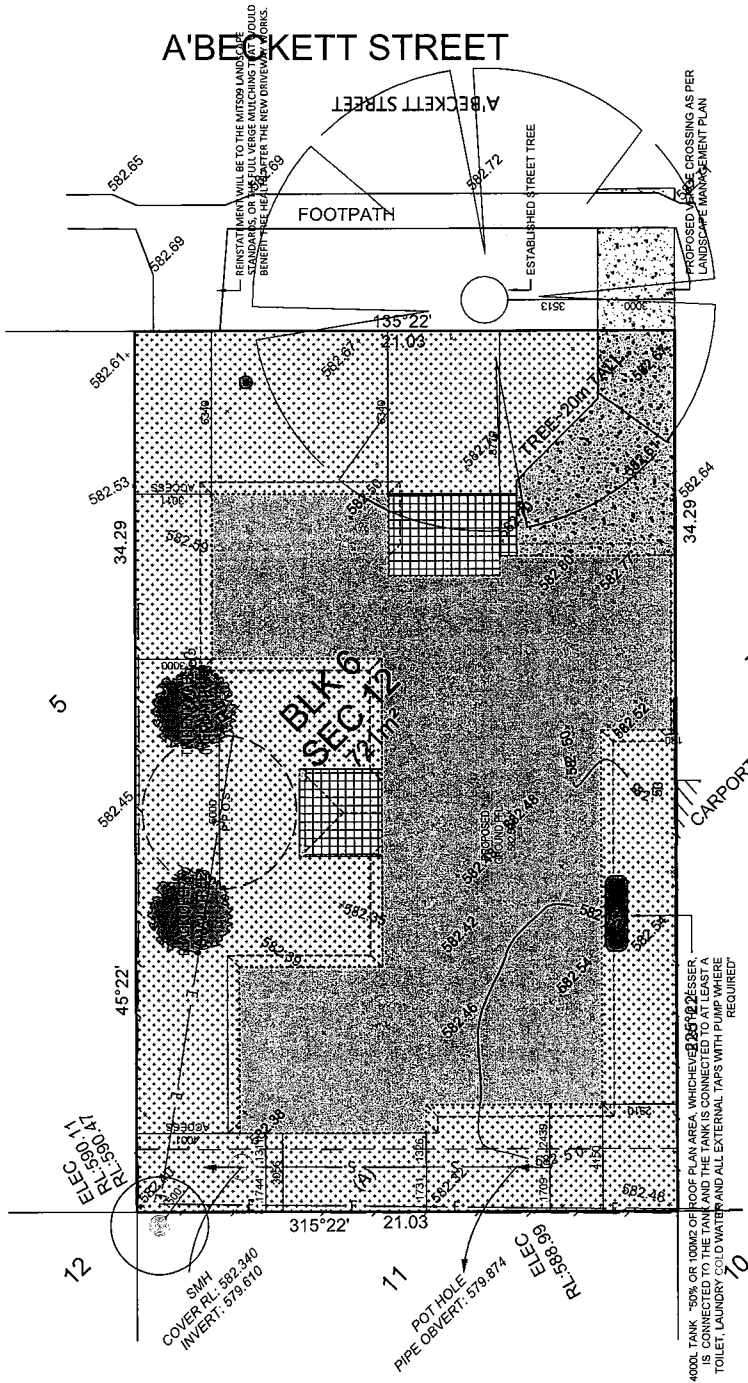
The issue, under this Part, of a certificate in respect of a building or portion of a building does not affect the liability of a person to comply with the provisions of a law of the territory (including this Act) relating to the building or portion of the building.

Issued by: AthiraK Joy

Issued on: 21/12/2023

Delegate of the ACT Construction
Occupations Registrar.

- No excavation shall take place outside the outline of the driveway shown in the plans or closer to the outside of the tree's trunk than the indicated 3515 mm. Excavation for the new driveway shall be no deeper than 100 mm below the existing ground surface level.
- Excavation within the TPZ must be executed using either hydro-excavation or hand digging techniques, unless an alternative method has been documented and endorsed by Urban Treescapes.
- No tree roots 30 mm or greater in diameter shall be cut. Exposed tree roots must be covered with soil immediately, where this is not immediately possible, the roots must be protected from desiccation by lightly watering or covering with hessian which must be kept moist.
- A layer of geotextile fabric must be placed over roots and underneath the new driveway pavement.
- There shall be no pruning or removal of tree branches without the permission of TCCS Urban Treescapes.
- The driveway must be designed and constructed in accordance with TCCS MIS Design Standards.
- The levels on the verge must not be altered as a result of the new constructed driveway.
- The driveway (domestic) must be inspected at the formwork stage by an officer of TCCS Development Planning. This driveway inspection can be organised by completing a smart form available on the TCCS website.



AUSCERT
BUILDING CERTIFIERS
ACT LIC# 2017/963

BUILDING APPROVAL
issued under s 28 of the
Building Act 2004

Issue date: 16/02/2023

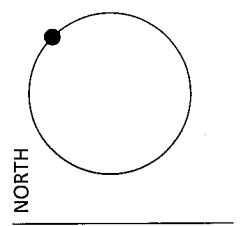
Stephen S. Kolano
Certifier signature

BCA Occupancy Class:
1a, 10a

BCA Type of Construction:
INA

All external landscaping and finishes to divert water away from building
Storm water drainage must not concentrate flow of water to adjoining properties
Excavation within zone of adjoining properties to be battered or retained in accordance with structural engineers retaining wall details
Geotechnical engineer to inspect all excavation within zone of influence of adjoining properties and retained embankments
Mechanical ventilation from all wet areas required to be ducted externally
Hard wired interconnected smoke alarms on all levels
Hand rails required to internal stairs that transition more than 1m Protection of windows in bedrooms and other rooms in accordance with BCA part 3.9.2
Balustrades protecting fall risks greater than 1m to be minimum 1m above finished floor level
Glazing decals required for all full height glazing
Draft seal all external doors and door between conditioned and non-conditioned areas
Lift off hinges to WC doors where swing is within 1200mm of pan

SITE PLAN		NEW HOME		REVISION	
DATE	06.07.2022	80 A'BECKETT		3	Icon
DRAWN	B. TRAVERS	BLOCK 06 SECTION 12 WATSON		2	Proposed verge crossing limited to 3m
PROJECT NO.	2212	BLOCK SIZE	72.0m ²		
SCALE	1:200@A3	PROPOSED LIVING	233.0m ²		
CLIENT	H&H	PROPOSED GARAGE	045.0m ²		
		PROPOSED TOTAL	278.0m ²		
		PROPOSED AFRESCO	010.0m ²		
		PROPOSED COVERAGE	288.0m ²		



ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS, BUILDING REGULATIONS, NATIONAL AND LOCAL AUTHORITY REGULATIONS.
EXECUTE ALL WORK IN THE BEST AND MOST TRADESMAN LIKE MANNER AND TO THE SATISFACTION OF SUPERINTENDANT. ALL DIMENSIONS ARE IN MILLIMETERS.
VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR DRAWING SHOP DRAWINGS
AT LEAST 20% OF THE BLOCK AREA IS PLANTING AREA, WITH A MINIMUM DIMENSION OF 2.5m

ON. MODERN

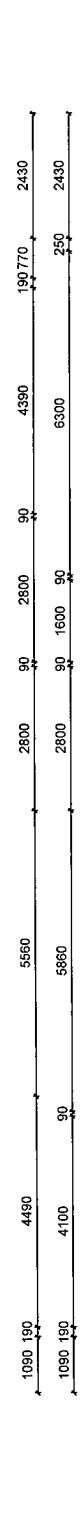
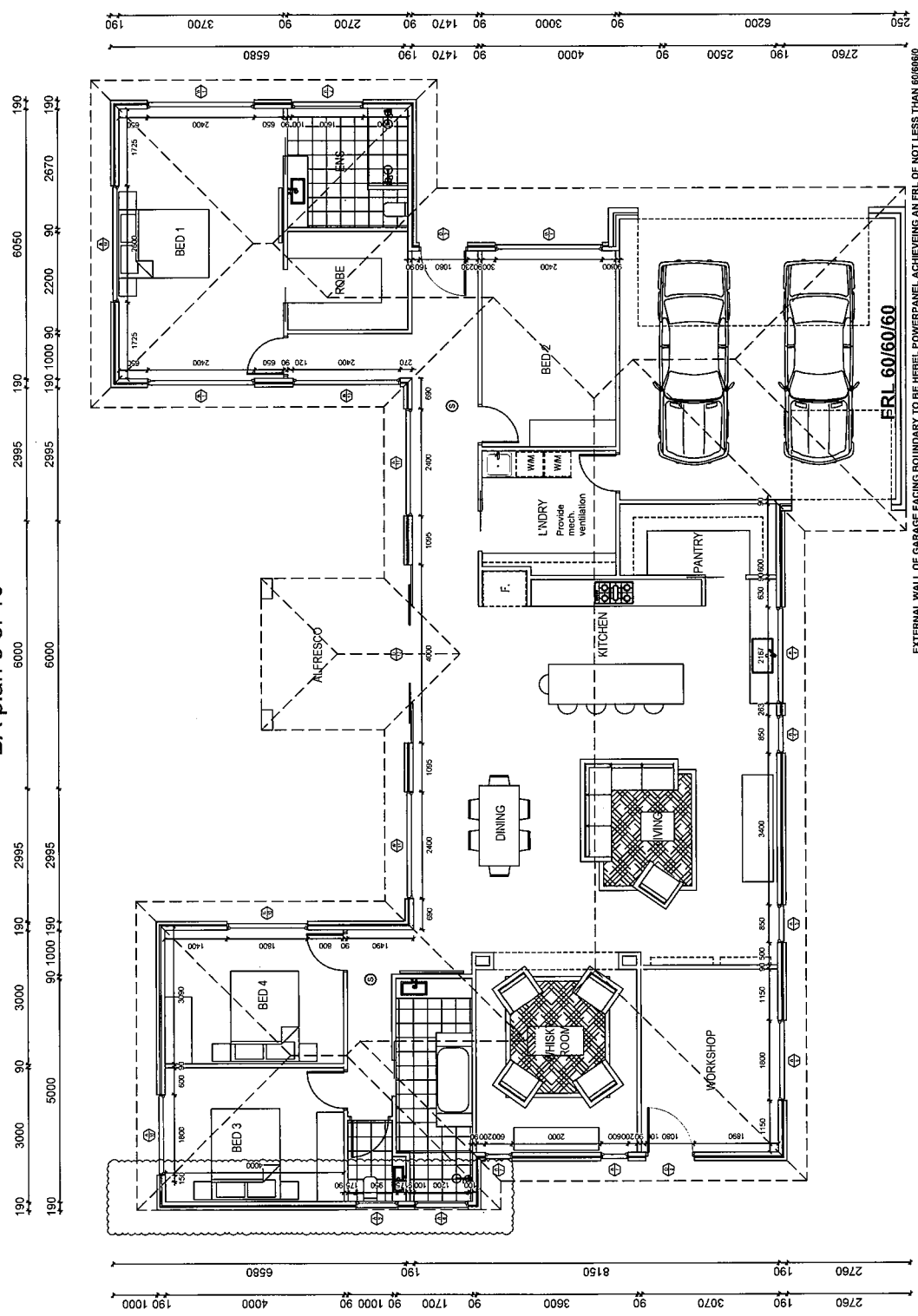
Homes
by **Howe**

PH: 0422702707
E: ON.MODERN.ME@GMAIL.COM

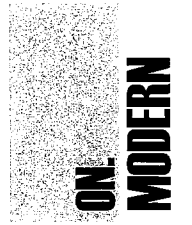
A007



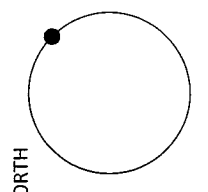
BA plan 3 of 10



AUSCERT
 BUILDING CERTIFIERS
 ACT LIC# 2017583
 BUILDING APPROVAL
 issued under s 28 of the
 Building Act 2004
 Issue date: 16/02/2023
 Stephen S Kolano
 Certifier signature



Homes
 by **Howe**
 ON MODERN
 PH: 0422702707
 E: OFFICE@ONMODERN.COM.AU



ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS, REGULATIONS, LOCAL, STATE AND FEDERAL AUTHORITIES REGULATIONS. EXECUTE ALL WORK IN THE BEST AND MOST TRADESMAN LIKE MANNER AND TO THE SATISFACTION OF SUPERINTENDANT. ALL WORK TO BE COMPLETED AND ACCEPTED UNLESS OTHERWISE NOTED. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR DRAWING SHOP DRAWINGS

REVISION

6. AMENDED EAVE
 5. AMENDED WINDOWS

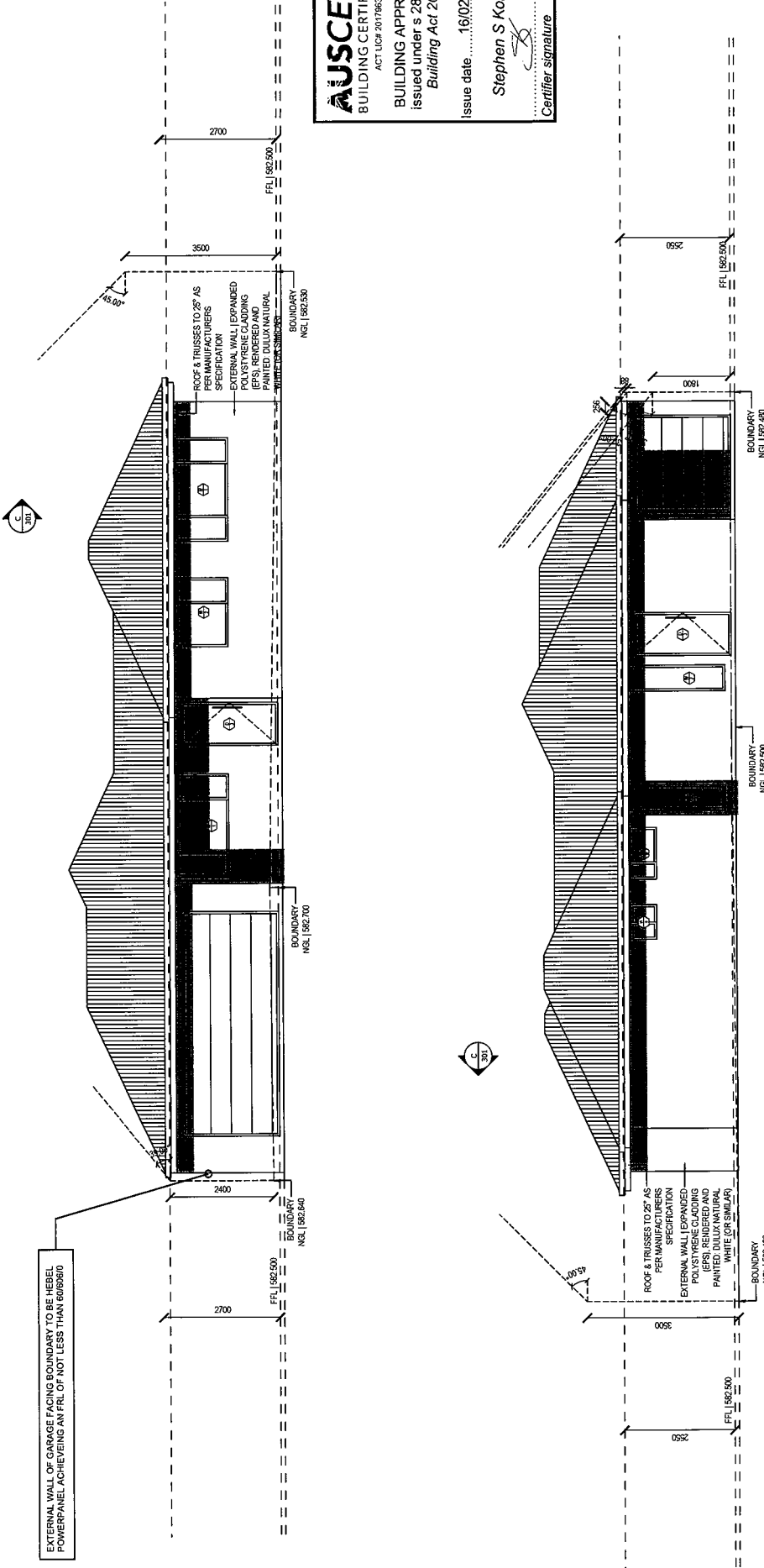
NEW HOME	
80 A/B/C/D/E	
BLOCK/SECTION 12 WATSON	721.0m ²
BLOCK SIZE	
PROPOSED LIVING	233.0m ²
PROPOSED GARAGE	045.0m ²
PROPOSED TOTAL	278.0m ²
PROPOSED ALFRESCO	010.0m ²

GROUND FLOOR PLAN
 DATE: 24.11.2022
 DRAWN: B. TRAVERS
 PROJECT NO.: 2212
 SCALE: 1:100@A3
 CLIENT: H.E.H.

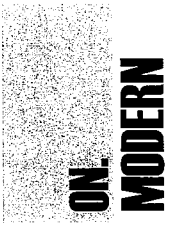


BA plan 5 of 10

CLASS 4 VAPOUR PERMEABLE MAMBRANE OR DRAINED CAVITY REQUIRED TO ALL EXTERNAL WALLS



AUSCERT
 BUILDING CERTIFIERS
 ACT LIC# 2017863
 BUILDING APPROVAL
 issued under s 28 of the
 Building Act 2004
 Issue date 16/02/2023
 Stephen S Kolano
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Homes
 by **Howe**
 PH: 0422702707
 E: OFFICE@ONMODERN.COM.AU

REVISION
 5. AMENDED WINDOWS

NEW HOME

80 A BECKETT	BLOCK 06 SECTION 12 WATSON	721.0m ²
DATE	B.T. TRAVERS	
24.11.2022	PROJECT NO.	222
SCALE	1:100@A3	
CLIENT	H.B.H	
PROPOSED LIVING	233.0m ²	
PROPOSED GARAGE	045.0m ²	
PROPOSED TOTAL	278.0m ²	
PROPOSED ALFRESCO	010.0m ²	

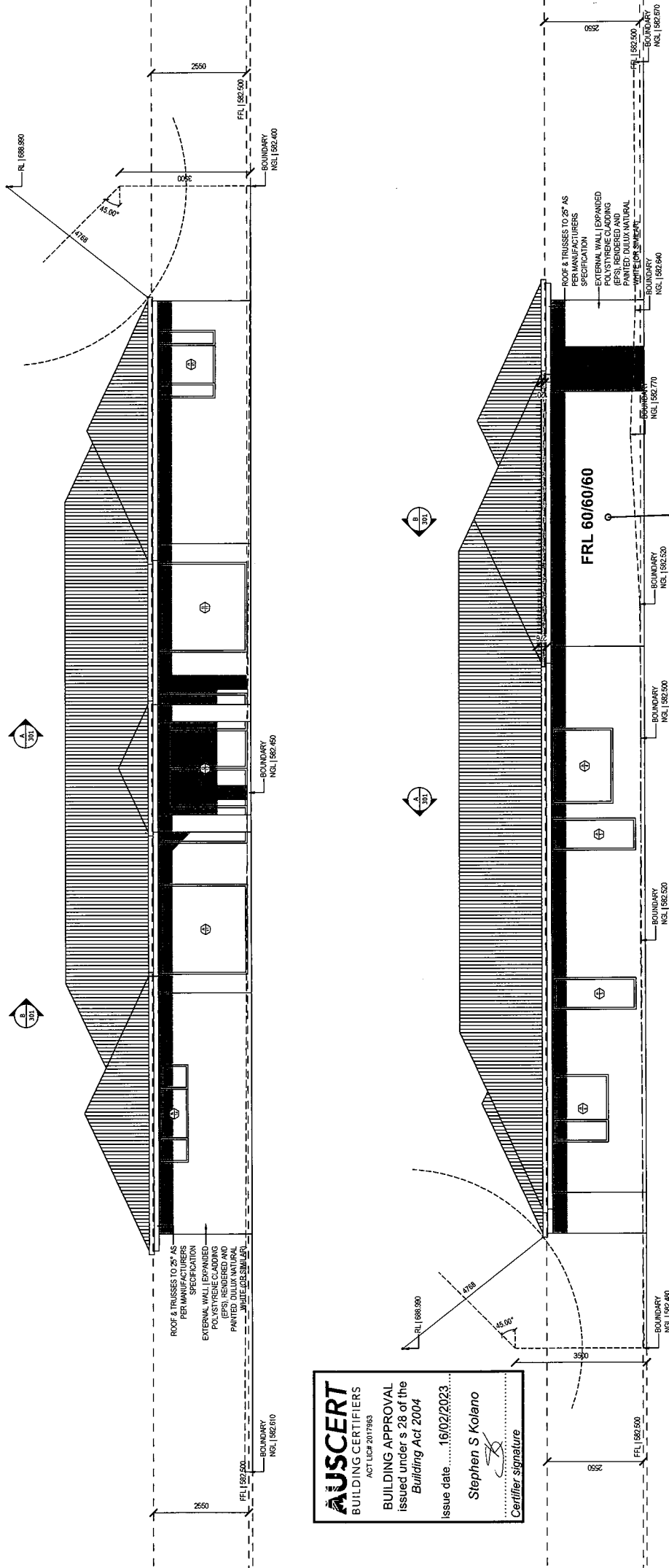
GROUND FLOOR PLAN

DATE	24.11.2022
DRAWN	B.T. TRAVERS
PROJECT NO.	222
SCALE	1:100@A3
CLIENT	H.B.H

ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS, BUILDING CODE OF AUSTRALIA AND LOCAL COUNCIL REQUIREMENTS. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE SPECIFIED. TRADESMAN LIKE MANNER AND TO THE SATISFACTION OF SUPERINTENDANT. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE SPECIFIED. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR DRAWING SHOP DRAWINGS

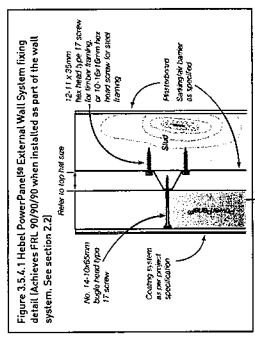
A201

CLASS 4 VAPOUR PERMEABLE MAMBRANE OR DRAINED CAVITY REQUIRED TO ALL EXTERNAL WALLS



AUSCERT
 BUILDING CERTIFIERS
 ACT LIC# 2017983
 BUILDING APPROVAL
 issued under s 28 of the
 Building Act 2004
 Issue date 16/02/2023
 Stephen S Kolano
 Certifier signature

EXTERNAL WALL OF GARAGE FACING BOUNDARY TO BE HEBEL POWERPANEL ACHIEVING AN FRL OF NOT LESS THAN 60/60/60



NORTH

ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS, BUILDING CODE OF AUSTRALIA AND LOCAL REGULATIONS. ALL WORK TO BE DONE IN THE MOST SATISFACTORY MANNER AND TO THE SATISFACTION OF SUPERINTENDANT. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE SPECIFIED. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR DRAWING SHOP DRAWINGS

REVISION

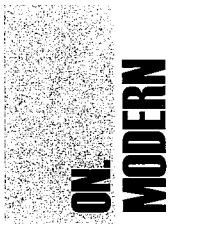
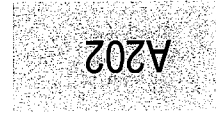
6	AMENDED WINDOWS
---	-----------------

NEW HOME

90 A BEECHT	BLOCK/05 SECTION 12 WATSON	
BLOCK SIZE I		721.0m ²
PROPOSED LIVING I		233.0m ²
PROPOSED GARAGE I		045.0m ²
PROPOSED TOTAL I		278.0m ²
PROPOSED ALFRESCO I		010.0m ²

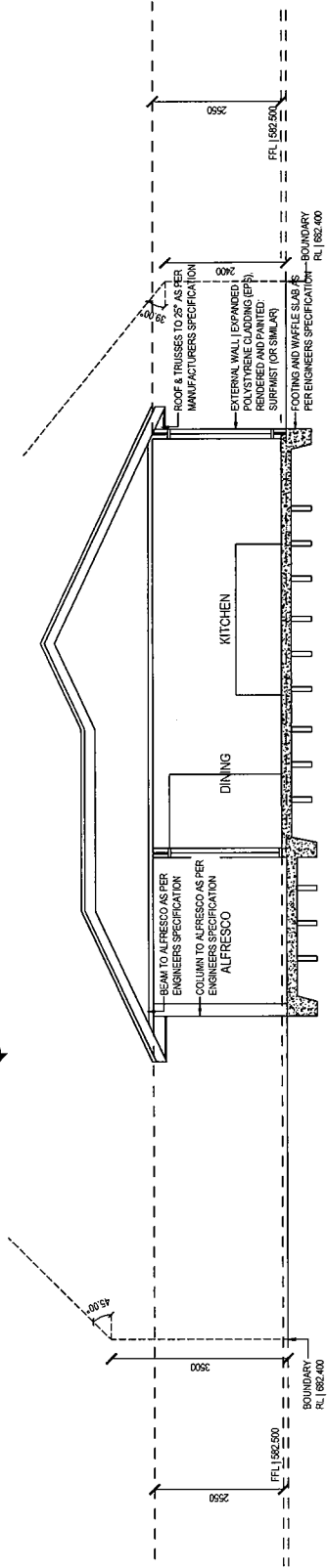
GROUND FLOOR PLAN

DATE	24.11.2022
DRAWN	B. TRAVERS
PROJECT NO.	2212
SCALE	1:100@A3
CLIENT	H.B.H



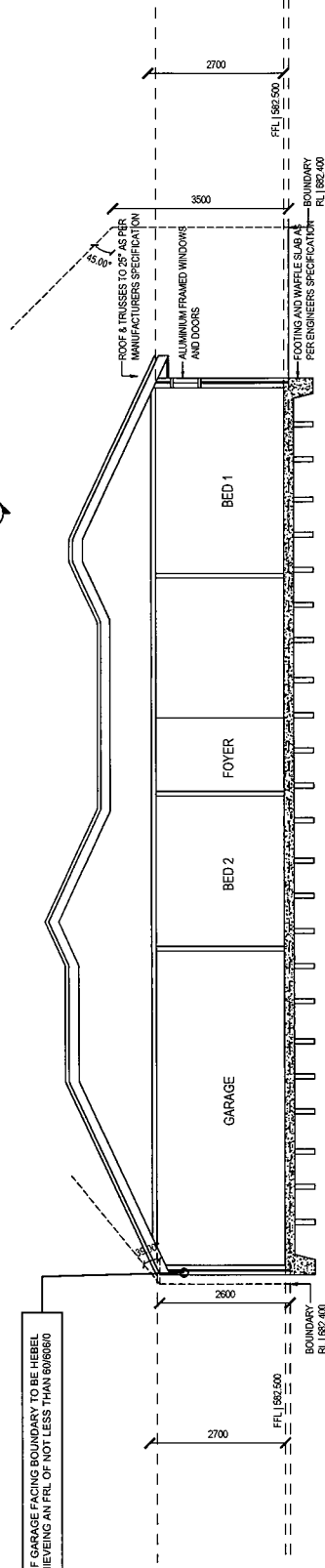
Homes
 by **Howe**
 PH: 0422702707
 E: OFFICE@ONMODERN.COM.AU

BA plan 7 of 10

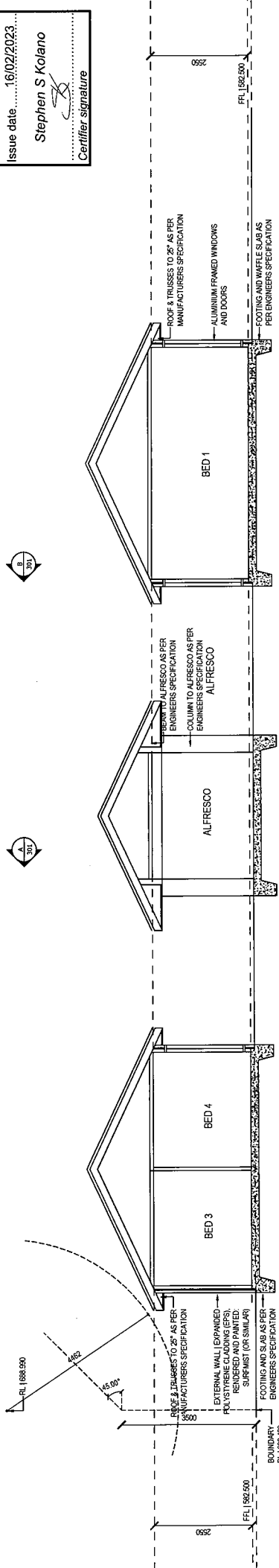


SECTION A

EXTERNAL WALL OF GARAGE FACING BOUNDARY TO BE HEBEL POWERPANEL ACHIEVING AN FRL OF NOT LESS THAN 60/60/60



SECTION B



SECTION C

AUSCERT
BUILDING CERTIFIERS
ACT LIC# 2017963

BUILDING APPROVAL
issued under s 28 of the
Building Act 2004

Issue date: 16/02/2023

Stephen S Kolano
[Signature]
Certifier signature

NORTH

ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS, BUILDING CODE OF AUSTRALIA AND LOCAL COUNCIL REGULATIONS. CONTRACTOR TO EXECUTE ALL WORK IN THE BEST AND MOST TRADESMAN LIKE MANNER AND TO THE SATISFACTION OF SUPERINTENDANT. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE SPECIFIED. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR DRAWING SHOP DRAWINGS

REVISION

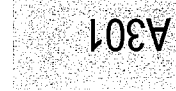
5. SLAB DETAILS AS PER EERS SPECIFICATIONS

NEW HOME

80 A/REG/ETT	24.11.2022	B. TRAVIS	
BLOCK 05 SECTION 12 WATSON			
BLOCK SIZE 1	721.0m ²		
PROPOSED LIVING 1	233.0m ²		
PROPOSED GARAGE 1	645.0m ²		
PROPOSED TOTAL 1	278.0m ²		
PROPOSED ALFRESCO 1	010.0m ²		

SECTION A,B,C

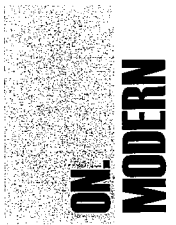
DATE	24.11.2022	DRAWN	B. TRAVIS
PROJECT NO.	2312	SCALE	1:100@A3
CLIENT	H.B.H		



ON. MODERN

Homes
by **Howe**

PH: 0422702707
E: OFFICE@ONMODERN.COM.AU



BA plan 8 of 10

Shower Areas

- Enclosed and unenclosed (including shower over bath) must consider the following:
 - Floor of the shower area must be waterproof - including any hob or stepdown.
 - Walls to be water resistant to not less than 1800 mm above finished floor level and waterproof > not less than 150 mm above floor substrate; or > not less than 25 mm above maximum retained water level; and
 - Wall junctions and joints to be waterproof not less than 40 mm either side of the junction.
 - Wall/floor junctions to be waterproof
 - Penetrations to be waterproof - Protection caps must be removed prior to waterproofing

- Outside shower areas
 - Floor concrete and compressed fibre-cement sheet flooring must be water resistant.
 - Timber floors including particleboard, plywood and other timber-based flooring materials must be waterproof.
 - Wall/floor junctions must be waterproof.
 - Bathroom entry to be waterproof min. 25mm above finished floor surface.
 - The doorway waterstop requires the base to be sealed to floor and upstand flush with finished floor surface

- Areas adjacent to baths and spas (vessel)
 - Floor concrete, compressed fibre-cement and fibre-cement sheet - must be water resistant.
 - Timber floors including particleboard, plywood and other timber-based flooring materials - must be waterproof.
 - Walls water resistant to a height of not less than 150 mm above the vessel, for the extent of the vessel, where the vessel is within 75 mm of a wall. All exposed surfaces below vessel lip - must be water resistant.
 - Wall junctions and joints to be water resistant when located within 150 mm above a vessel for the extent of the vessel.
 - Wall/floor junctions to be water resistant for the extent of the vessel.
 - Penetrations tap and spout penetrations to be waterproof where they occur in horizontal surfaces. Protection caps must be removed prior to waterproofing

- Inserted baths and spas
 - Floor Waterproof shelf area, incorporating waterstop under the bath lip.
 - Wall to be waterproof to not less than 150 mm above the lip of the bath or spa; and
 - no requirement under bath.
 - Wall junctions and joints within 150 mm above bath or spa; and no requirement under bath.
 - Penetrations tap and spout penetrations to be waterproof where they occur in horizontal surfaces. Protection caps must be removed prior to waterproofing

- Laundries and WCs
 - Floor required to be water resistant.
 - Wall/floor junctions required to be water resistant.
 - Walls adjoining sink, basin or laundry tub (vessel)
 - Walls to be water resistant to a height of not less than 150 mm above the vessel, for the extent of the vessel, where the vessel is within 75 mm of a wall.
 - Wall junctions waterproof where a vessel is fixed to a wall.
 - Penetrations: Waterproof where they occur in surfaces required to be waterproof or water resistant.

- Materials - waterproof
 - The following materials used in waterproofing systems are deemed to be waterproof:
 - Stainless steel.
 - Flexible waterproof sheet flooring material with waterproof joints.
 - Membranes complying with AS/NZS 4855.
 - Waterproof sealant.

- Materials - water resistant substrates
 - The following materials are deemed to be water resistant:
 - Concrete complying with AS 3600, treated to resist moisture movement.
 - Cement render, treated to resist moisture movement.
 - Compressed fibre-cement sheeting manufactured in accordance with AS/NZS 2908.2.
 - Water resistant plasterboard sheeting.
 - Masonry in accordance with AS 3700, treated to resist moisture movement.

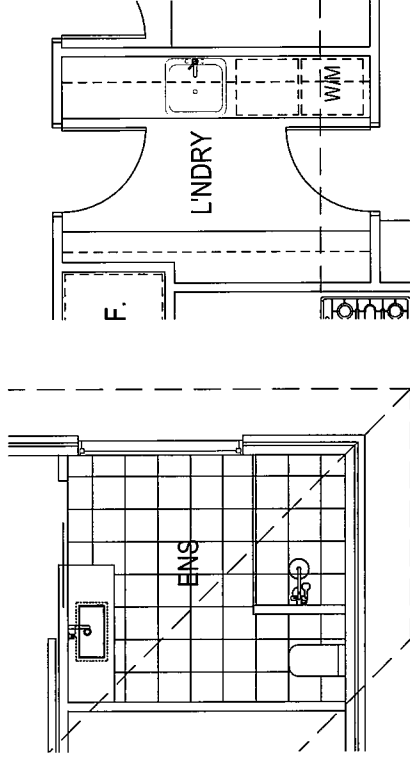
- For floors:
 - Concrete complying with AS 3600.
 - Concrete slabs complying with AS 2870.
 - Compressed fibre-cement sheeting manufactured in accordance with
 - AS/NZS 2908.2 and supported on a structural floor.

- Materials - water resistant surface materials
 - The following surface materials are deemed to be water resistant:
 - Thermosetting laminate.
 - Pre-decorated compressed fibre-cement sheeting manufactured in accordance with AS 2908.2.
 - Tiles when used in conjunction with a compliant substrate systems.
 - Water resistant flexible sheet wall material with sealed joints when used in conjunction with a compliant substrate system.
 - Sanitary grade acrylic linings.

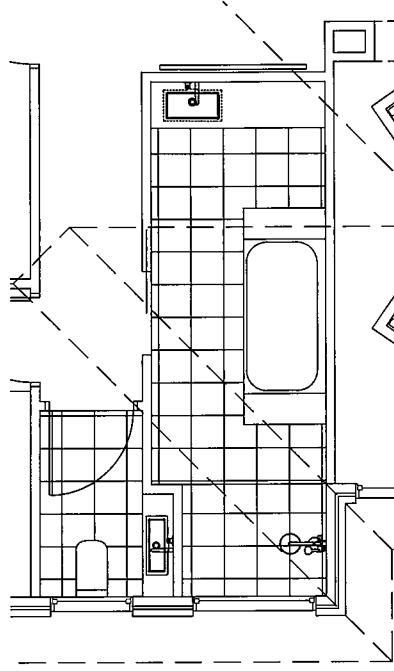
- Recommendations
 - It is recommended building certifiers ensure adequate documentation is submitted with the building approval as required under Building Act, 2004 Section 28A & Section 151 - Minimum Documentation requirements for building (lodgement Class 1 & 10 - Residential Construction). Builders should supervise and inspect waterproofing to ensure compliance prior to proceeding to tiling and fitout. Enforcement Action. Where identified, insufficient or incorrect waterproofing of wet areas and lack of documentation may result in the issuance of a Stop Work Notice in accordance with section 53 of the Building Act 2004, and formal licencing action including issuing of demerit points in accordance with section 55 of the Construction Occupations (Licensing) Act 2004

- Installation:
 - Installation of the waterproofing to the internal wet areas and external areas to be carried out in accordance with Australian Standard 3740-2010 and the Building Code of Australia Volume 2 Part 3.8.1.
 - The product used complies with AS/NZS 4654.1:2012;
 - The installation is in accordance with AS/NZS 4654.2:2012.

- Water proof product or compound used :
 - Fillet and bond breaker used :
 - Number of coats applied :



ENSUITE 1:50



BATHROOM/LAUNDRY 1:50

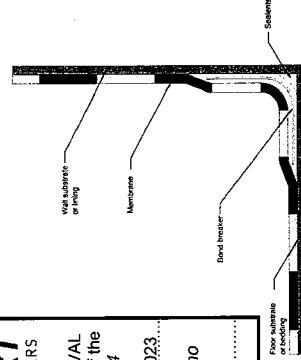
AUSCERT
BUILDING CERTIFIERS
ACT LCM 2017983

BUILDING APPROVAL
issued under s 28 of the
Building Act 2004

Issue date 16/02/2023

Stephen S Kolano

Certifier signature



TYPICAL BOND BREAKER CLASS II

REVISION

1.

NEW HOME

80 A REGENT	25.10.2022	B. TRAVERS	721.0m ²
BLOCK 06 SECTION 12 WATSON			
BLOCK SIZE			
PROPOSED LIVING	233.0m ²		
PROPOSED GARAGE	045.0m ²		
PROPOSED TOTAL	278.0m ²		
PROPOSED ALFRESCO	010.0m ²		

WET AREAS

DATE	25.10.2022	DRAWN	B. TRAVERS
PROJECT NO.	2212	SCALE	1:50@A3
CLIENT	H.B.H		

A600

ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS, BUILDING CODE OF AUSTRALIA AND LOCAL AUTHORITY REQUIREMENTS. CONTRACTORS MUST EXECUTE ALL WORK IN THE BEST AND MOST TRADESMAN LIKE MANNER AND TO THE SATISFACTION OF SUPERINTENDANT. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE STATED. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR DRAWING SHOP DRAWINGS.



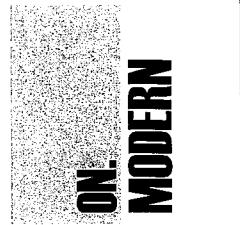
Homes
by **Howe**

PH: 0422702797

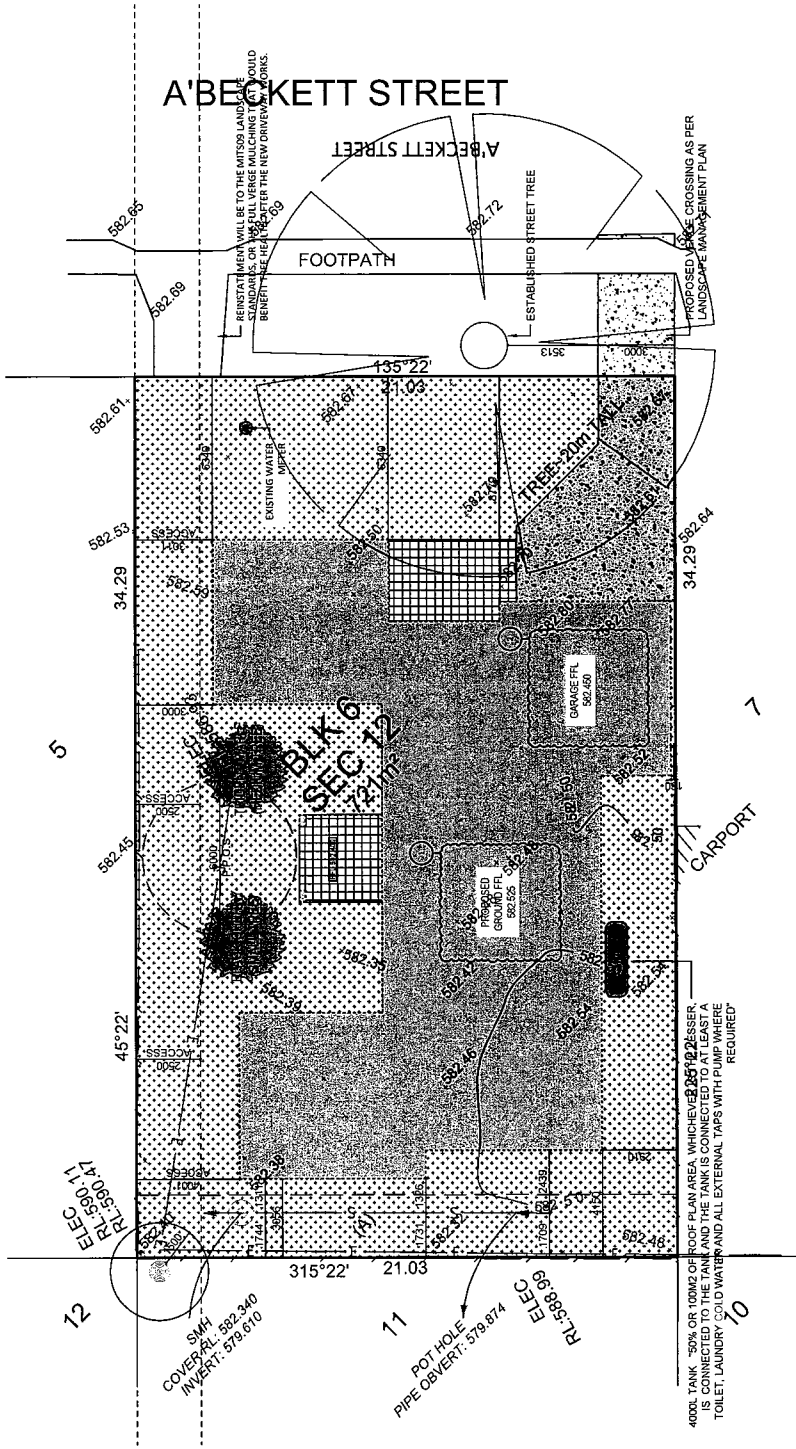
E: OFFICE@ONMODERN.COM.AU

ON.
MODERN

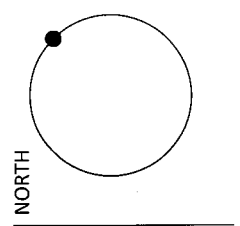
AUSCERT
BUILDING CERTIFIERS
FOR AUSTRALIA
BUILDING APPROVAL
is amended under s 32
Building Act 2004
Issue date: 15/12/2023
Stephen S. Kolano
Certifier signature
Building Approval
Amendment relates to items
outlined on plans and listed
on schedule 1. All other
changes are endorsed as
part of this approval.



Homes
by **Howe**
PH: 0422702707
E: ON.MODERN.ME@GMAIL.COM



VERIFICATION OF EXEMPT DEVELOPMENT STATUS
Under the provisions of the Development Regulation 2023 and Part 2, Schedule 1 of the Planning (Exempt Development) Regulation 2023
DATE: 15/12/2023
Simon Hawke
Assessor
NOTE: 1) In relation to the nominated amendments only. 2) Multiple applications will require multiple approvals.



ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS, BUILDING CODE OF AUSTRALIA AND LOCAL COUNCIL REGULATIONS. EXECUTE ALL WORK IN THE BEST AND MOST TRADESMAN LIKE MANNER AND TO THE SATISFACTION OF SUPERINTENDANT. ALL DIMENSIONS ARE IN METRES UNLESS OTHERWISE STATED. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR DRAWING SHOP DRAWINGS.
AT LEAST 30% OF THE BLOCK AREA IS PLANTING AREA, WITH A MINIMUM DIMENSION OF 2.5m

REVISION

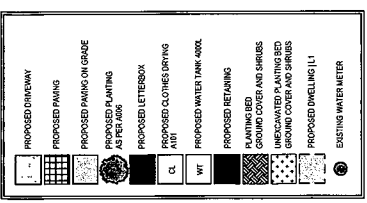
- Amended FFL
- Amended garage FFL
- Utility water meter location identified. ICON access statement identified

NEW HOME

80 A BECKETT	BLOCK 06 SECTION 12 WATSON	711.0m ²
B TRAVERS	BLOCK SIZE 1	233.0m ²
2212	PROPOSED LIVING I	045.0m ²
1:200@A3	PROPOSED GARAGE I	278.0m ²
H.B.H	PROPOSED TOTAL I	010.0m ²
	PROPOSED ALFRESCO I	288.0m ²

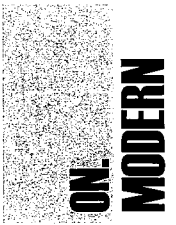
SITE PLAN

25.08.2023	DATE	
B TRAVERS	DRAWN	
2212	PROJECT NO.	
1:200@A3	SCALE	
H.B.H	CLIENT	



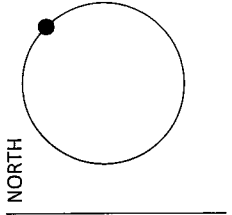
REVISION AMENDMENTS SCHEDULE
REVISION 5
Amended FFL
Amended Garage FFL
REVISION 4
Existing water meter location identified
ICON access statement identified

A007



Homes
by **Howe**

PH: 0422702707
E: OFFICE@ONMODERN.COM.AU



ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS, BUILDING CODE OF AUSTRALIA AND LOCAL REGULATIONS. ALL WORK IN THE BEST AND MOST TRADESMAN LIKE MANNER AND TO THE SATISFACTION OF SUPERINTENDANT. ALL DIMENSIONS ARE IN MILLIMETERS. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR DRAWING SHOP DRAWINGS

REVISION

12.	Amended FFL	Amended Garage FFL
11.	SHOWER SCREEN DIMENSIONS IDENTIFIED	AMENDED DOOR OPENING
10.		

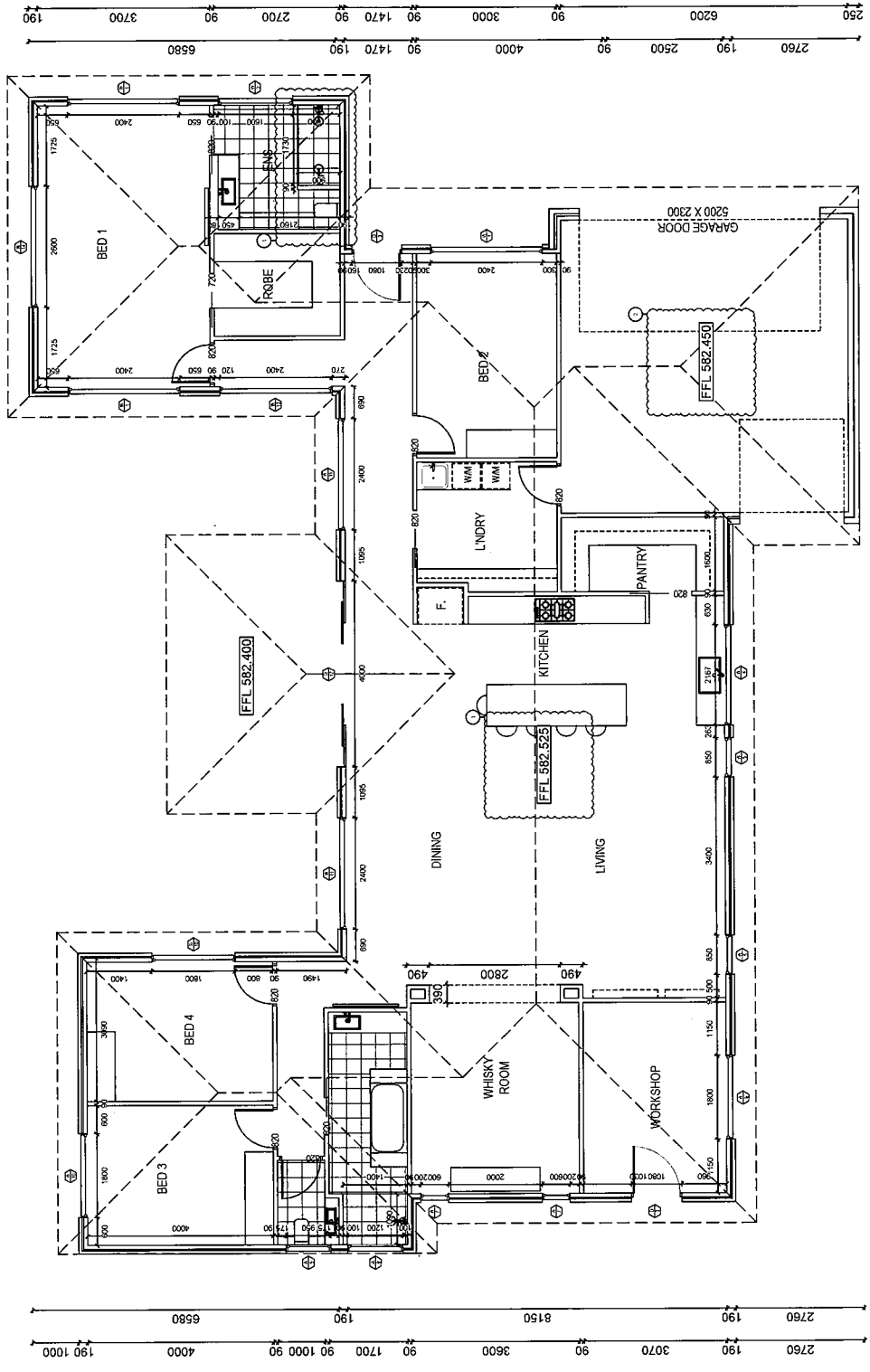
NEW HOME

80 A BRECKITT	BLOCK/05 SECTION 12 WATSON	71.0m ²
BLOCK SIZE I		
PROPOSED LIVING I		238.0m ²
PROPOSED GARAGE I		045.0m ²
PROPOSED TOTAL I		276.0m ²
PROPOSED ALFRESCO I		010.0m ²

GROUND FLOOR PLAN

DATE	24.08.2023
DRAWN	B.TRAVERS
PROJECT NO.	2212
SCALE	1:100@A3
CLIENT	H.B.H

A101



- REVISION AMENDMENTS SCHEDULE**
- REVISION 12.
1. AMENDED FFL
- REVISION 11.
1. SHOWER SCREEN DIMENSIONS IDENTIFIED
- REVISION 10.
1. AMENDED DOOR OPENING
- REVISION 9.
1. ADDITIONAL DIMENSIONS
- REVISION 8.
1. PROPOSED INTERNAL DOOR SIZES
- REVISION 7.
1. AMENDED DOOR LOCATION (WORKSHOP)
2. ADDITIONAL STUD WALL FOR CABINET RECESS
- REVISION 6.
1. AMENDED EAVE
- REVISION 5.
1. AMENDED WINDOWS

AUSCERT
BUILDING CERTIFIERS
AC1.1.04.201983

BUILDING APPROVAL
Is amended under s 32
Building Act 2004

Issue date: 15/12/2023

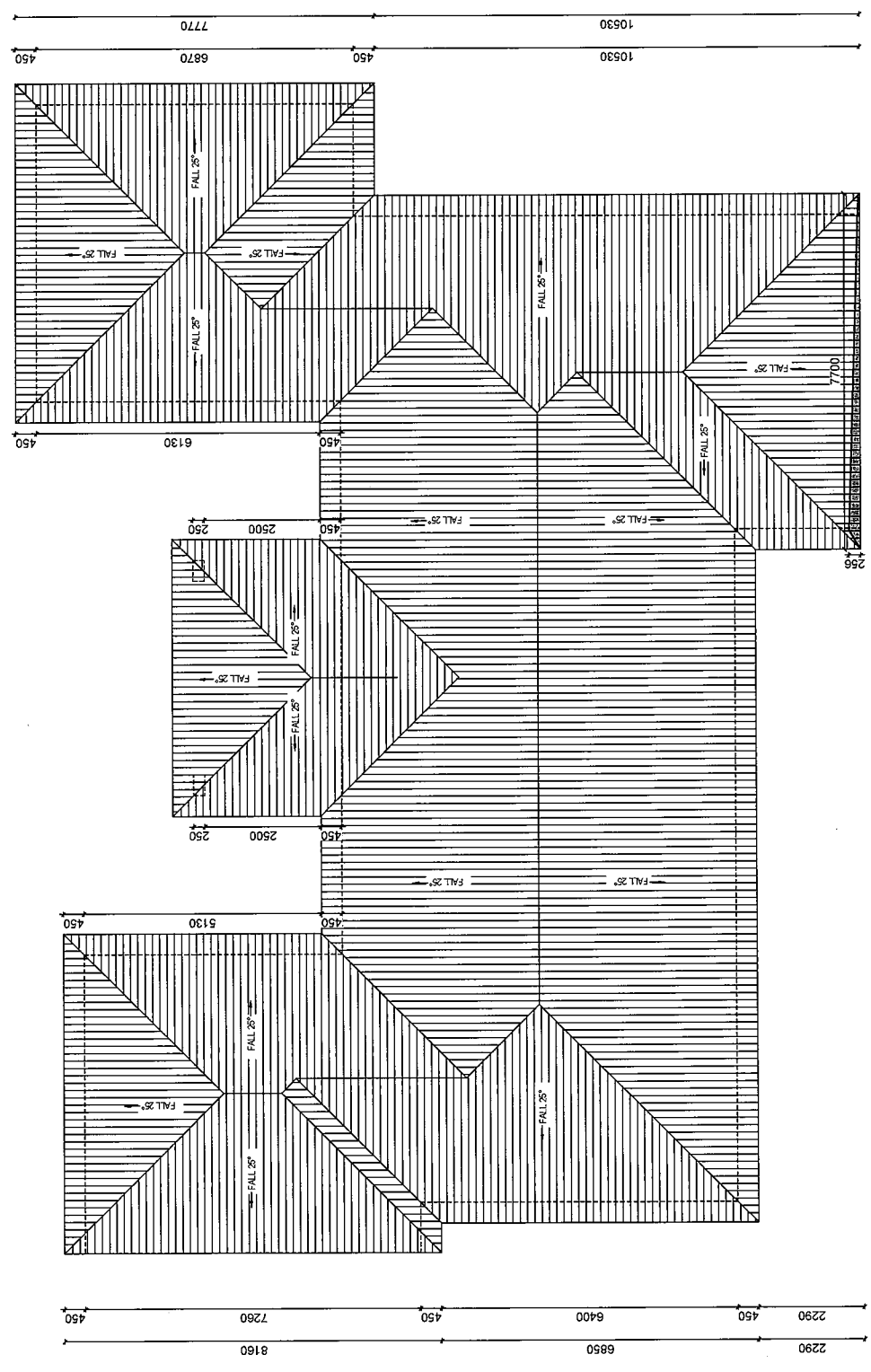
Stephen S Kolano
Certifier signature

Building Approval
The certifier certifies that the plans and issues
in schedule only. No other
changes are endorsed as
part of this approval.

VERIFICATION OF EXEMPT DEVELOPMENT STATUS
Under s 150 of the Planning Act 2009, the following information is provided to you for the purposes of the Planning (Exempt Development) Regulation 2023

Simon Hawke
Date: 15/12/2023

NOTE:
1) The information in the certified amendments only
2) This work may still require building approval



AUSCERT
BUILDING CERTIFIERS
ACT LIC 62763

BUILDING APPROVAL
is amended under s 32
Building Act 2004

Issue date: 15/12/2023

Stephen S Kolano
Certifier Signature

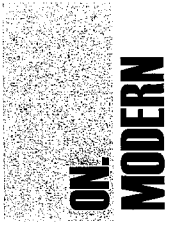
Building Approval
Amendment relates to items
circled on plans and listed
in the schedule. All other
changes are endorsed as
part of this approval.

**VERIFICATION OF EXEMPT
DEVELOPMENT STATUS**
Under s 150 of the Planning Act
2023 and Part 2, schedule 1
of the Planning (Exempt
Development) Regulation
2023

Simon Hawke
Assessor

Date: 15/12/2023

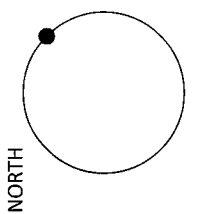
NOTE:
1) In relation to the nominated
2) This work may still require
building approval



Homes
by Howe

PH: 0422702707
E: OFFICE@ONMODERN.COM.AU

ON.
MODERN



REVISION

2.	
----	--

NEW HOME

80' B'CRETT	BLOCK OF SECTION 12 WATSON
BLOCK SIZE	721.0m ²
PROPOSED LIVING	233.0m ²
PROPOSED GARAGE	065.0m ²
PROPOSED TOTAL	278.0m ²
PROPOSED ALFRESCO	010.0m ²

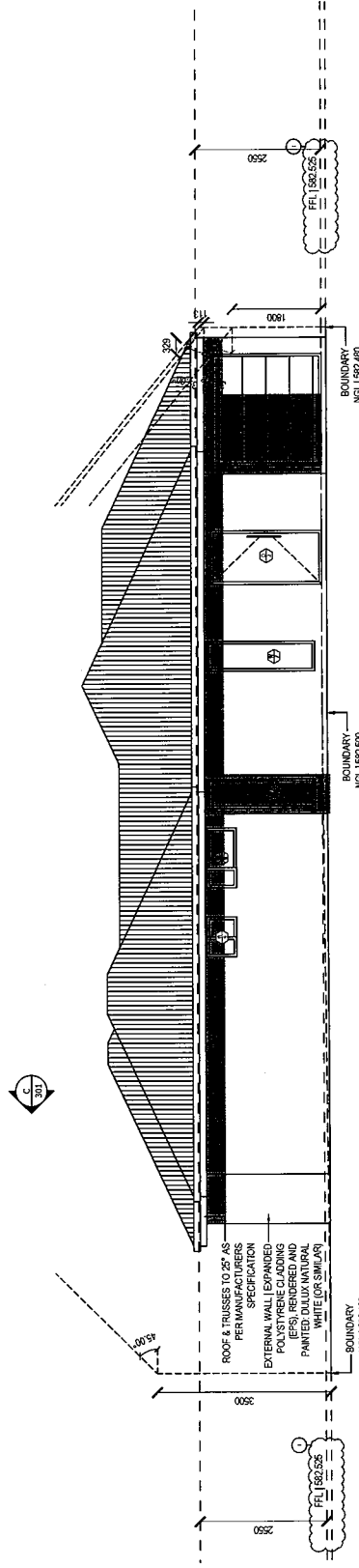
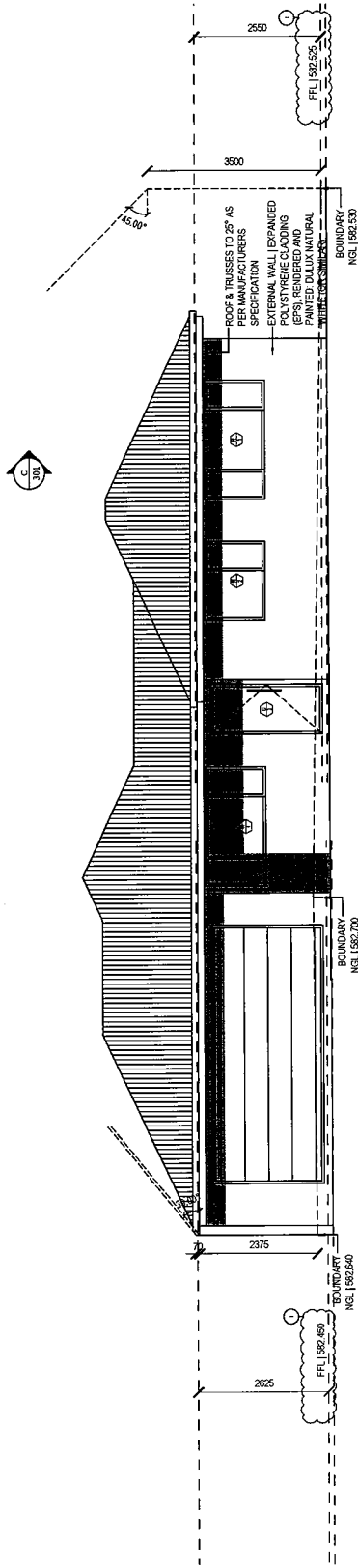
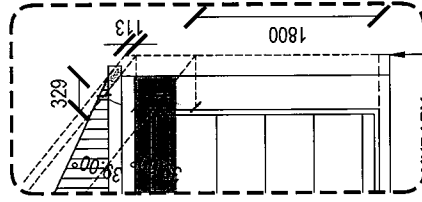
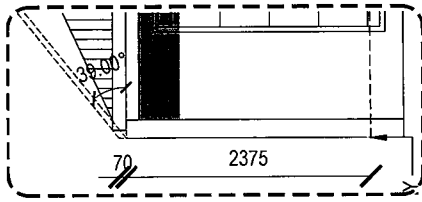
ROOF PLAN

DATE	01.02.2023
DRAWN	B. TRAYERS
PROJECT NO.	2212
SCALE	1:100@A3
CLIENT	H.B.H

A102

REVISION AMENDMENTS SCHEDULE

REVISION 8.
1. AMENDED FFL
2. AMENDED DOOR LOCATION
REVISION 6.
1. DIMENSIONS IDENTIFIED



AUSCERT
ACT LIC# 2017963
BUILDING CERTIFIERS

BUILDING APPROVAL is amended under s.32 Building Act 2004

Issue date.....15/12/2023

Stephen S Kolano

Certifier Signature

Building Approval Amendment relates to items clouded on plans and listed in schedule only. No other items are to be added as part of this approval.

VERIFICATION OF EXEMPT DEVELOPMENT STATUS Under s.159 of the Planning Act 2023 and Part 2, schedule 1 of the Planning (Exempt Development) Regulation 2023

Simon Hawke
Assessor

Date.....15/12/2023

NOTE:
1) In relation to the nominated development
2) This work may still require building approval

ELEVATION 1,2

DATE	24.08.2023
DRAWN	B. TRAVERS
PROJECT NO.	2212
SCALE	1:100@A3
CLIENT	H.B.H

NEW HOME

80 A BELCETT	
BLOCK 06 SECTION 12 WATSON	
BLOCK SIZE	72.0m ²
PROPOSED LIVING	233.0m ²
PROPOSED GARAGE	065.0m ²
PROPOSED TOTAL	278.0m ²
PROPOSED ALFRESCO	010.0m ²

REVISION

- Amended FFL
- Amended door location
- Dimensions identified

NORTH

ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS, BUILDING CODE OF AUSTRALIA AND LOCAL REGULATIONS. THE CONTRACTOR SHALL EXECUTE ALL WORK IN THE BEST AND MOST TRADESMAN LIKE MANNER AND TO THE SATISFACTION OF SUPERINTENDANT. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR DRAWING SHOP DRAWINGS.

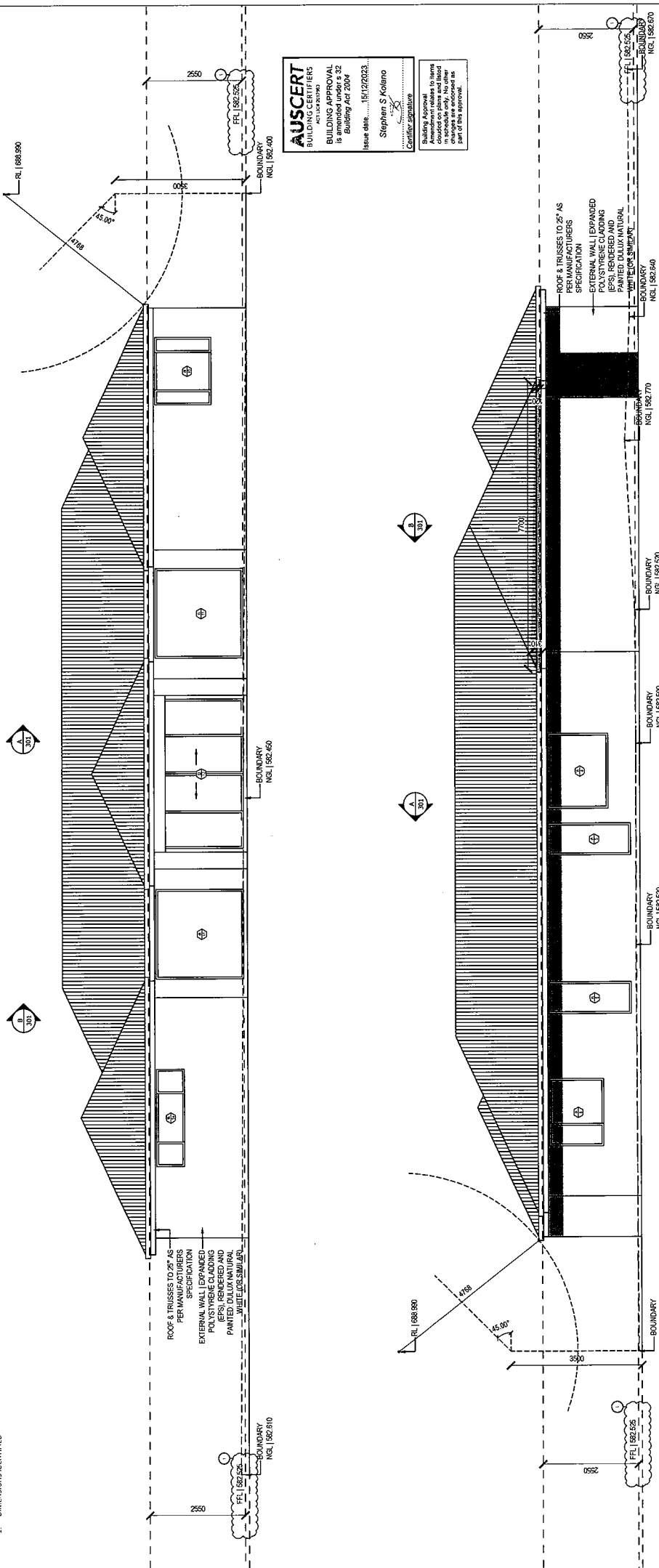
ON. MODERN

Homes
by **Howe**

PH: 0422702707
E: OFFICE@ONMODERN.COM.AU

A201

REVISION AMENDMENTS SCHEDULE
 REVISIONS:
 1. DIMENSIONS IDENTIFIED



AUSCERT
 BUILDING CERTIFIERS
 BUILDING APPROVAL
 is amended under s 32
 Building Act 2004
 Issue date: 15/12/2023
 Stephen S Kolomo
 Certifier signature
 Building Approval
 Amendment relates to items
 in schedule only. No other
 work is to be carried out as
 part of this approval.

VERIFICATION OF EXEMPT DEVELOPMENT STATUS
 IN RELATION TO THE PROPOSED DEVELOPMENT AT 80 A BRECKETT BLOCK 06 SECTION 12 | WATSON
 2023 and Part 2, Schedule 1 of the Planning (Exempt Development) Regulation 2023
 Simon Hawke
 Assessor
 Date: 15/12/2023
 NOTE:
 1) In relation to the nominated amendments only, you require building approval.

ELEVATION 3,4
 DATE: 24.08.2023
 DRAWN: B. TRAVERS
 PROJECT NO.: 2212
 SCALE: 1:100@A3
 CLIENT: H.B.H.

NEW HOME
 80 A BRECKETT BLOCK 06 SECTION 12 | WATSON
 BLOCK SIZE | 721.0m²
 PROPOSED LIVING | 233.0m²
 PROPOSED GARAGE | 045.0m²
 PROPOSED TOTAL | 278.0m²
 PROPOSED AFRESCO | 010.0m²

REVISION
 8. Amended FFL
 7. Dimensions identified

NORTH
 ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS, BUILDING CODE OF AUSTRALIA AND LOCAL REGULATIONS.
 EXECUTE ALL WORK IN THE BEST AND MOST TRADESMAN LIKE MANNER AND TO THE SATISFACTION OF SUPERINTENDANT. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE STATED.
 VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR DRAWING SHOP DRAWINGS

ON. MODERN
Homes
 by **Howe**
 PH: 0422702707
 E: OFFICE@ONMODERN.COM.AU

A202

MINIMUM INTERNAL DIMENSIONS FOR STORMWATER INLETS

DEPTH TO CENTER OF INLET	RECTANGULAR		CIRCULAR	
	WIDTH	LENGTH	DIAMETER	DIAMETER
-500	600	1500	600	600
-600	600	1500	600	600
-700	600	1500	600	600
-800	600	1500	600	600
-900	600	1500	600	600
-1000	600	1500	600	600

AS3500.3.2 TABLE 8.2

DRAINAGE PLAN No.

- REFERENCE:
- AAV - AIR ADMITTANCE VALVE
 - DP - DOWNPIPE
 - e - EXISTING
 - FW - FLOORWASTE
 - HT - HOSE TAP
 - HTER - HIGH END RISER
 - ID - INSPECTION OPENING
 - IN - INSPECTION SHAFT
 - IN - TANK INLET
 - OF - OVERFLOW
 - ORG - OVERFLOW RELIEF GULLY
 - RWT - RAINWATER TANK
 - RWO - RAINWATER OUTLET
 - RWH - RAINWATER HEAD
 - SVP - SOIL VENT PIPE
 - SSD - SUB SOIL DRAINAGE
 - TD - TUNDISH
 - VP - VENT PIPE
 - PBO - PLANTER BED OUTLET
 - VJU - VERTICAL JUMP UP
 - [Symbol] - STORMWATER SUMP

SANITARY FIXTURES, DRAINAGE DESIGN BASED ON ARCHITECTURAL CONCEPT PLANS FINAL. REFER TO FINAL CONSTRUCTION SET OF ARCHITECTURAL DRAWINGS FOR NEW DOWNSPIPE LOCATIONS.

HOSE TAP LOCATIONS ARE INDICATIVE ONLY FINAL LOCATION TO BE CONFIRMED ON SITE WITH CLIENT & BUILDER.

REFER TO LANDSCAPE DRAWINGS FOR GRATED STORM WATER SUMPS LOCATIONS. NEW DOWN PIPES TO CONNECT TO PROPOSED RAINWATER TANK AND EXISTING STORM WATER DRAINAGE. REFER TO FINAL ARCHITECTURAL PLANS FOR LOCATION.

INTERNAL SITE SANITARY AND STORM WATER DRAINAGE PIPES ARE NOT PERMITTED TO ENCROACH EXISTING AUTHORITY SEWER AND STORM WATER EASEMENT.

ENSURE SANITARY AND STORM WATER DRAINAGE PIPES LAID ADJACENT TO THE BUILDING STRUCTURE DO NOT IMPACT ON THE STRUCTURAL FOOTINGS ZONE OF INFLUENCE.

SUB-SOIL DRAINAGE SERVING INTERNAL WATER PROOFING AND OR RETAINING WALLS TO BE CONNECTED TO STORMWATER SYSTEM. PROVIDE SUB SOIL DRAINS TO THE BASE OF ALL CUTS AND RETAINING WALLS. LIAISE WITH STRUCTURAL ENGINEER AND PROPRIETARY WATER PROOFING SYSTEM SPECIFICATIONS TO CONFIRM POSITION OF SUB-SOIL DRAINAGE.

GENERAL NOTES:

- G1. THE TOTAL PLUMBING AND DRAINAGE SYSTEM MUST COMPLY WITH RELEVANT PLUMBING CODES AND STANDARDS.
- G2. ALLOW FOR ALL I.O.S., JUMP UPS, ALTERING PIPES, ETC. AS REQUIRED.
- G3. COORDINATE ALL HYDRAULIC PIPEWORK WITH EXISTING AND PROPOSED STRUCTURES AND SERVICES ON SITE PRIOR TO INSTALLATION. TYPICAL.
- G4. THE ROOF GUTTER DOWNPIPES AND OVERFLOW SYSTEM MUST BE SIZED AND INSTALLED IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE AND AS/NZS 3500.3:2018.
- G5. THE HYDRAULIC CONTRACTOR IS TO ALLOW FOR FLEXIBLE EXPANSION JOINTS TO SANITARY PIPE WORK IF SLAB CONSTRUCTION IS A WAFFLE POD.
- G6. RAINWATER FIRST FLUSH SYSTEM PRIOR TO INLET OF RAINWATER TANK AND REUSE PUMP SYSTEMS TO BE DETERMINED ON SITE BETWEEN CLIENT AND BUILDER.
- G7. EXTERNAL TAPS FINAL LOCATIONS TO BE DETERMINED ON SITE PLAN IS TO BE VIEWED AND COORDINATED IN CONJUNCTION WITH THE LATEST ARCHITECTURAL, STRUCTURAL & LANDSCAPE PLANS THE DESIGN AND INSTALLATION OF ROOF GUTTERS WITH SUMP OUTLETS IS TO BE IN ACCORDANCE WITH AS3500.2.

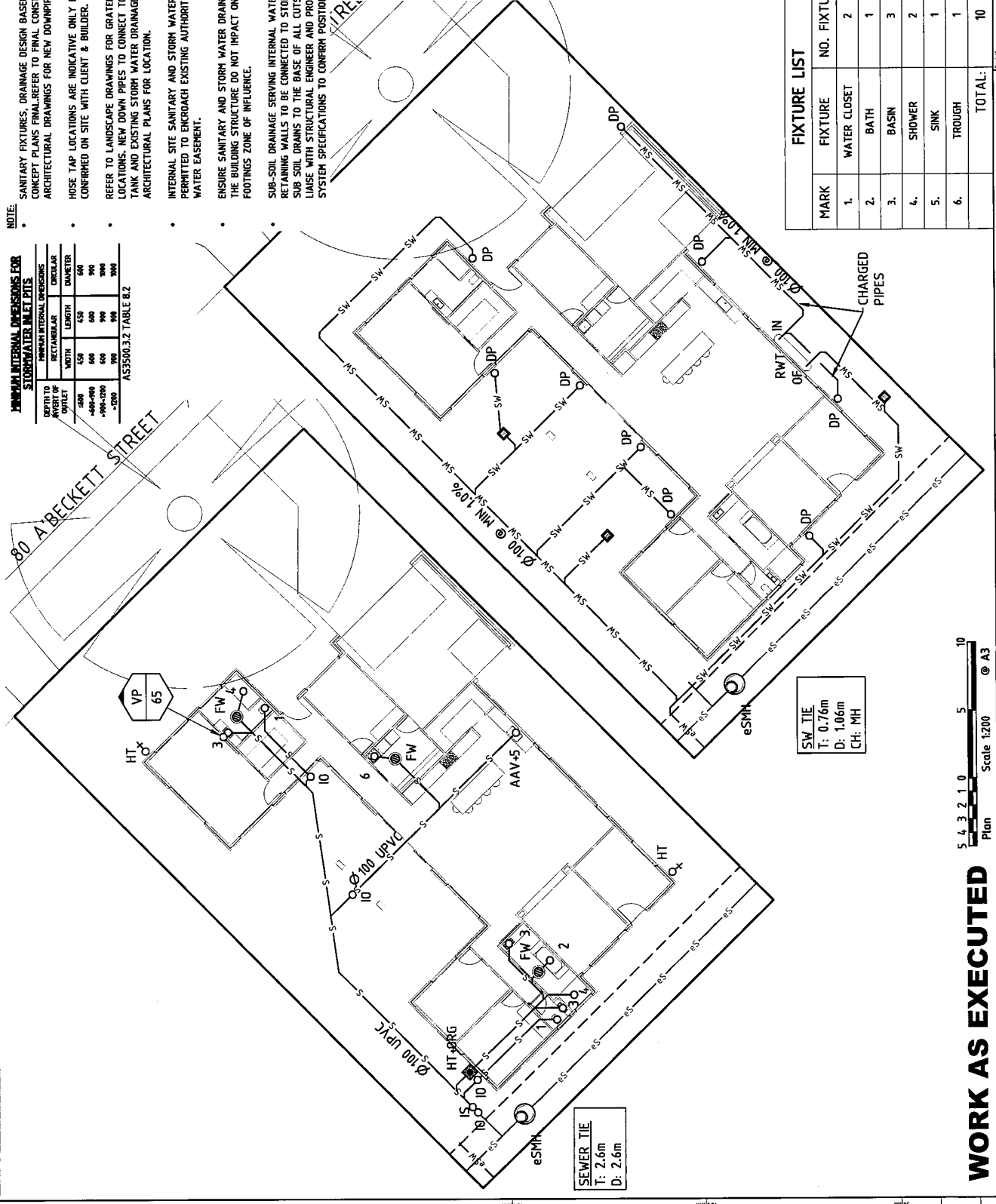
STANDARD NOTES:

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE CAMBERA SEWERAGE AND WATER SUPPLY REGULATIONS. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL PLUMBING CODE OF AUSTRALIA AS 3500 VITRIFIED CLAY PIPES TO BE IN ACCORDANCE WITH AS1693 AND AS1642.

- NEW SEWER DRAINS S S S S S
- EX. SEWER DRAINS eS eS eS eS eS
- NEW SEWER MAINS SW SW SW SW SW
- EX. SEWER MAINS eSW eSW eSW eSW eSW
- NEW SUB SOIL DRAINS S S S S S
- NEW SW RISING MAIN RM RM RM RM RM

FIXTURE LIST

MARK	FIXTURE	NO. FIXTURES
1.	WATER CLOSET	2
2.	BATH	1
3.	BASIN	3
4.	SHOWER	2
5.	SINK	1
6.	TROUGH	1
TOTAL:		10



WORK AS EXECUTED

Scale 1:200 @ A3

5 4 3 2 1 0

PLUMBING PLAN

Project: **NEW RESIDENCE**
80 A BECKETT STREET
BLOCK 6 SECTION 12 WATSON

Client: **HOWES BY HOWE**
ON MODERN

Drawing No: **230214-H100**

Sheet 1 of 1

PLUMBDESIGN
HYDRAULIC DESIGN CONSULTANTS

Rev	Description / Reason for Issue	Date	Drawn by	Checked by	Issued by
1	WORK AS EXECUTED	15/03/24	AV	AV	AV
2	INTEREST FOR A	28/02/23	AV	AV	AV

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Certificate of Currency

Policy Number	BP20200497		
Item 1	The Insured:	First Call Property Inspection Pty Ltd T/As First Call Property Inspection	
Item 2	Address:	PO Box 5046, Chisholm ACT 2905	
Item 3	Professional Services covered by this policy:	Pre-Purchase Building Inspections (AS4349.1) Pre-Sale Inspections Handover Inspections Compliance Reports Timber Pest Inspections (AS4349.3) Termite Management including inspections (AS3660.2) Energy Efficiency Rating	
Item 4	Description of the Policy:	Professional Indemnity & Broadform Liability (CGU PIB 03-17)	
Item 5	Period of Insurance:	From 11/02/2025	To 4.00 pm on 11/02/2026
Item 6	Particulars of Risk:		
	<u>Civil Liability Professional Indemnity</u>		
	6.1 The Policy Limit is	\$1,000,000	which includes all policy sections
	6.2 The Policy Excess is	\$15,000	
	6.3 The Retroactive Date is	06/02/2015	
	<u>Public Liability</u>		
	6.4 Sum Insured	\$10,000,000	
	6.5 Excess	\$2,500	
	Date and Place of Issue	14/02/2025 Melbourne, Victoria	

Signed for and on behalf of Insurance Australia Limited ABN 11 000 016 722

Najibi Bisso, Manager

This Certificate of Currency indicates policy cover effective as at the date of issue only



TAX INVOICE

Michelle North & Angela North

Invoice Date
24 Nov 2025

Invoice Number
INV-2025980

Reference
80 A'Beckett Street
Watson ACT 2602

ABN
51 602 744 927

First Call Property
Inspections Pty Ltd
P.O BOX 5046
CHISHOLM ACT 2905
AUSTRALIA
(02) 62559222
inspections@fcpi.com.au

Description	Amount AUD
Pre-Purchase Standard Property/Timber Pest Report	1,800.00
	INCLUDES GST 10% 163.64
	TOTAL AUD 1,800.00

Due Date: 24 Mar 2026

Payment Terms & Conditions:

Cheques can be made out to First Call Property Inspections or Credit Card Payments (surcharge applies)

Preferred Payment, Direct Deposits as follows:

Account name: First Call Property Inspections

Bank: ANZ

BSB: 012 951

Account Number: 427552437

PLEASE REFERENCE ANY PAYMENT WITH YOUR NAME OR INVOICE NUMBER

Deferred payment terms are available on FULL inspections only

The client agrees to pay the invoice: On settlement or before 120 days, which ever comes first regardless of whether the property sells

For all other reports, the client agrees to pay the invoice by the due date found on the invoice

Vendor/Client will be accountable for any incurred fees by us if debt recovery is required Via debt collector, ACAT or other services.

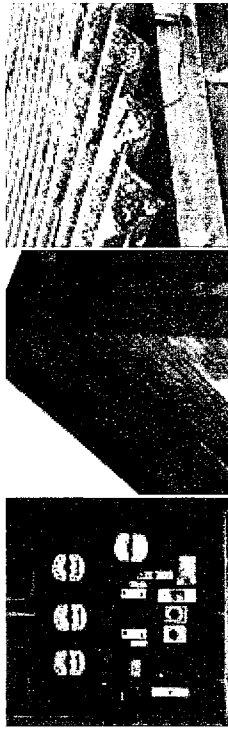
If client refuses to pay for services provided, we reserve the right to report default of payment if not paid.

Unpaid invoices sent to debt collection service will incur a fee currently at 22.62% totaling \$373.20

If a home was built before 1990 it may contain dangerous asbestos material



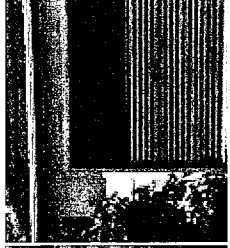
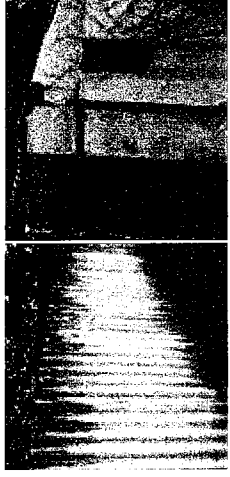
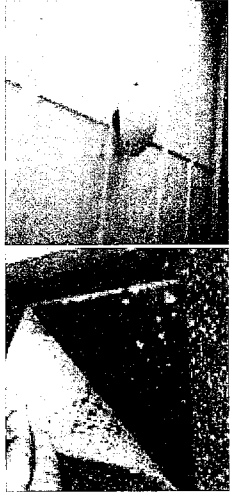
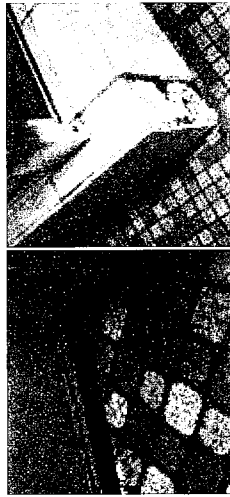
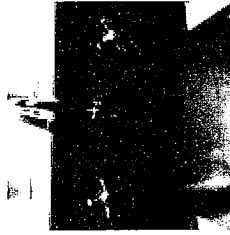
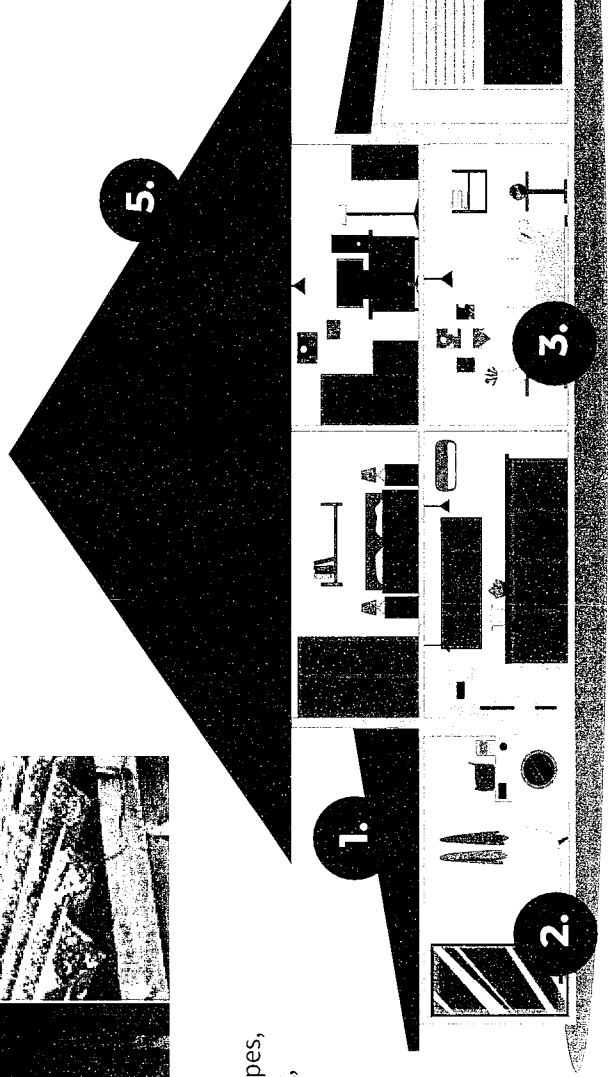
Identify where asbestos materials might be. Five common places are:



- 1. Exterior
roof sheeting, gutters, downpipes,
ridge capping, eaves, cladding,
electrical switchboards



- 5. Building cavities
A small number of homes may still contain
loose fill asbestos insulation in the roof
cavity, wall cavities or sub-floor space



- 2. Wet areas - bathroom, laundry and kitchen
wall and ceiling panels, vinyl floor tiles, backing for wall tiles
and splashbacks, hot water pipe insulation

- 3. Internal areas
wall and ceiling panels, carpet underlay,
textured paints, insulation in domestic
heaters

- 4. Backyard
fences, sheds, garages, carports, dog kennels, buried or
dumped waste, letterboxes, swimming pools

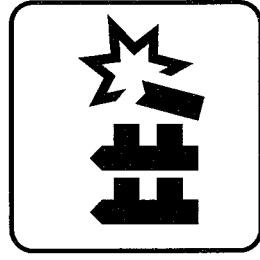
If a home was built before 1990 it may contain dangerous asbestos material



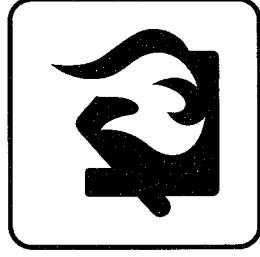
Assess the risk

A licensed asbestos assessor can help identify asbestos in your home and its condition.

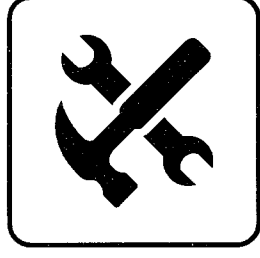
Asbestos materials become dangerous when:



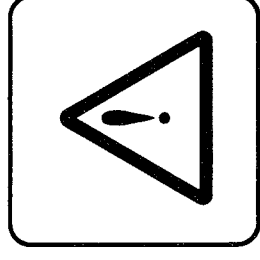
Broken or in poor
condition



Damaged
accidentally



Disturbed during
renovation or repairs



Loose fill asbestos
insulation

Manage asbestos safely

- Monitor the condition of asbestos in your home
- Inform tradespeople of locations of asbestos in your home
- Avoid disturbing or damaging asbestos if working on your home
- Engage a licensed asbestos removalist to remove asbestos

If you suspect your home contains loose fill asbestos insulation, contact Access Canberra.

For more information, visit www.worksafe.act.gov.au or call Access Canberra contact centre – 13 22 81
If you need interpreting help, telephone the Translating and Interpreting Service on 131 450

*Advice based on the Asbestos Safety and Eradication Agency's residential asbestos disclosure research.