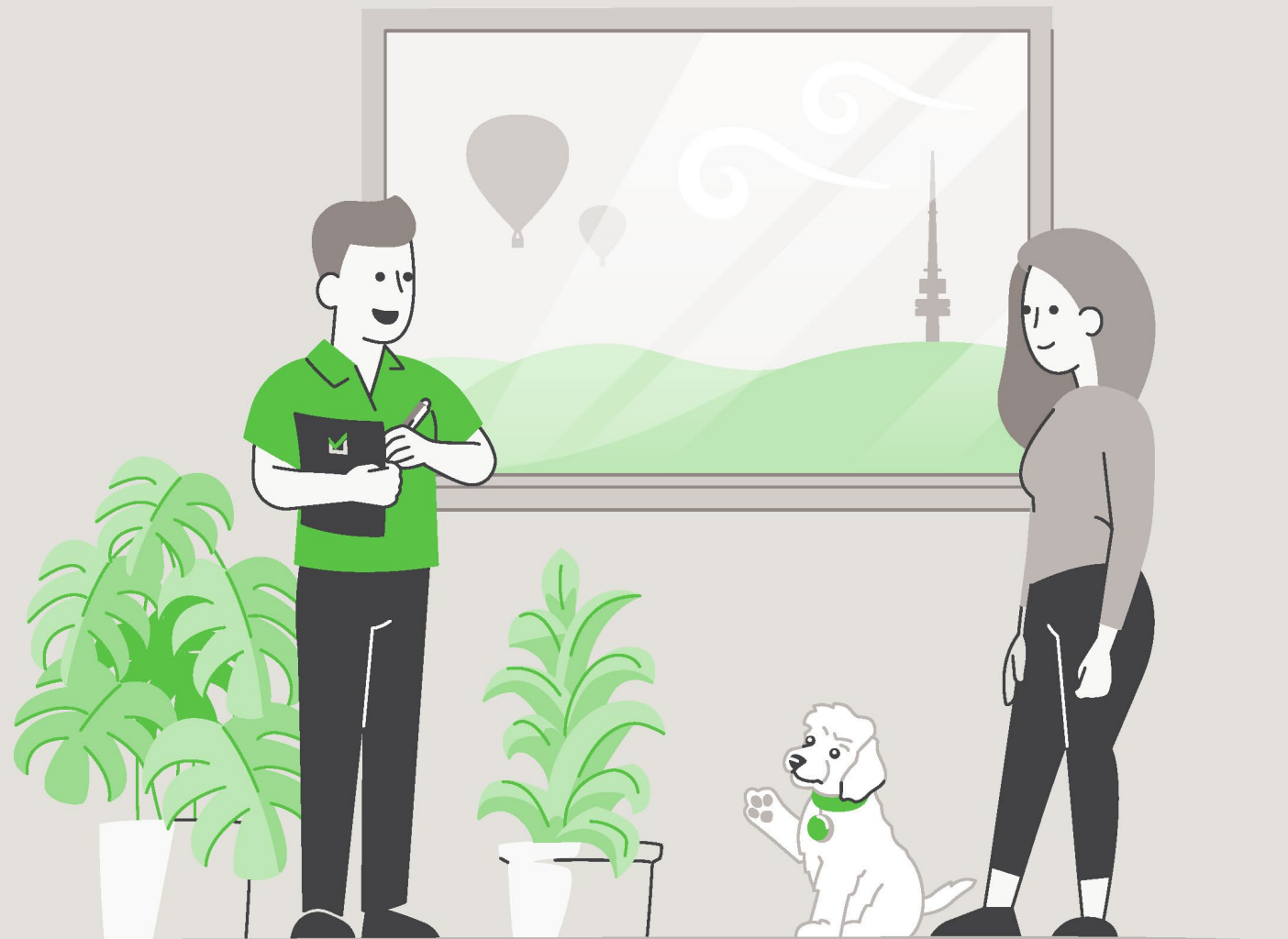


Report



LIMITED LIABILITY TO A PURCHASER WITHIN THE AUSTRALIAN CAPITAL TERRITORY

This Report is made solely for the use and benefit of the Client. The Consultant is not liable for any reliance placed on this report by any third party. However, within the ACT only and in accordance with the Civil Law (Sale of Residential Property) Act 2003 and the Civil Law (Sale of Residential Property) Regulations 2004, a copy of the report must be attached to the Contract for Sale and may in certain circumstances be relied upon by the Purchaser of residential property.

The circumstances in which a Purchaser of residential property within the ACT may rely on this report in respect of the state of the property at the time of the inspection are as follows:

- (a)** The inspection was carried out no earlier than three months before the day the property was first advertised or offered for sale or listed by an agent; and
- (b)** The date on which the contract was entered into was not more than 180 days after the date of the inspection.
- (c)** The report is provided to the Purchaser prior to or at the time the Contract for Sale is entered into between the Purchaser and vendor.
- (d)** The service requested is the Standard Inspection Report.

Building Report



CONCLUSION AND SUMMARY

The purpose of the Inspection is to identify the major defects and safety hazards associated with the property at the time of the Inspection. The Inspection and reporting are limited to a visual assessment of the Building Members in accord with Appendix C AS4349.1-2007.

The overall condition of this building has been compared to similar constructed buildings of approximately the same age where those buildings have had a maintenance program implemented to ensure that the building members are still fit for purpose.

The incidence of Major Defects in this Residential Building as compared with similar Buildings is considered: **Low**

The incidence of Minor Defects in this Residential Building as compared with similar Buildings is considered: **Low**

The overall condition of this Residential Dwelling in the context of its age, type and general expectations of similar properties is: **Average**

Please Note: This is a general appraisal only and cannot be relied upon on its own – read the Report in its entirety.

This Summary is supplied to allow a quick and superficial overview of the Inspection results. This Summary is NOT the Report and cannot be relied upon on its own. This Summary must be read in conjunction with the full Report and not in isolation from the Report. If there should happen to be any discrepancy between anything in the Report and anything in this Summary, the information in the Report shall override that in this Summary.

PROPERTY STATISTICS

Building Report	Average
Compliance Report	No unapproved structures
Pest Inspection	No active subterranean termites (live specimen) were found
Energy Efficiency Rating	6.0 Stars
Inspection Date	Thursday, March 19 th 2026
Name of Assessor	Ben Meale
Reference Number	68874
Address of Property Inspected	9/148 Overall Ave, Casey ACT 2913
Client	Motion
Unit, Block and Section	Unit 9 Block 11 Section 132 CASEY
Year original residence COU was issued	2022
House size (approximately)	Upper Level: 47.00m ² Lower Level: 42.00m ² Lower Level (back): 24.00m ² Total: 113.00m ² Garage: 46.00m ²
Weather conditions at time of Inspection	Rain
Occupancy Status	Occupied

*The table above is to be used as a quick reference. Please read the full Report before reaching your conclusion regarding the condition of the Property.

Whilst every care has been taken to ensure the accuracy of the property house and block size, we accept no responsibility for any inaccuracies as supplying this information exceeds a standard building inspection under AS4349.1-2007.

PROPERTY CONSTRUCTION DETAILS

Flooring	Waffle pod concrete slab to ground level. Timber floor framing to upper floor level
External walls	Brick veneer to the ground floor and metal cladding to the upper floor area(s)
Roof framing	Timber: Truss roof framing
Roof cladding	Metal decking roof cladding
Glazing	Double glazed windows
Cooktop	Gas cooktop
Oven	Electric oven
Dishwasher	Fisher and Paykel

*Whilst every care has been taken to ensure the accuracy of the property construction details, we accept no responsibility for any inaccuracies of construction details or testing of appliances.

GENERAL ACCESS LIMITATIONS

Internal	At the time of inspection, the building was furnished. This allows for a limited inspection in areas not restricted by furnishings, stored goods, floor mats, etc.
External	The inspection of the exterior was restricted to the immediate exterior of the unit
Roof void	NOTE. Inspection around the eaves was restricted due to low pitch and clearance to allow bodily access in this area. This allows only for a limited visual inspection from a distance to be carried out. Other restrictions found in the roof void: Insulation on top of ceiling restricting visual inspection of the ceiling framing Ducting flex throughout the roof space restricting access in areas
On-top of roof	The inspection was restricted to visually looking from a 3.6m ladder lent against the gutter in several areas around the building. No access was gained onto the upper-level roof due to the height of the roof
Garage	The inspection of the garage was very restricted due to several stored goods being kept in the area at the time of inspection

*Where access is noted as limited or restricted, it is recommended that access be gained to these areas as these areas may contain concealed defects.

DEFINITIONS

Good	The item is in the Inspector's opinion of an acceptable standard with no defects visible. Superficial defects will not be commented on
Fair	The item in the Inspector's opinion has some minor defects and requires minimal maintenance or repair
Poor	The item in the Inspector's opinion needs significant repair or replacement

LIVING/DINING ROOM

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good

KITCHEN

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Kitchen cupboards	Good
Bench top	Good
Splashback	Good
Exhaust fan	The exhaust fan was operational at the time of inspection

HALLWAY

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Linen cupboard	Good

STAIRWELL

Ceiling	Good
Walls	Good
Floor coverings	Good
Handrail	Good

BEDROOM 1

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Wardrobe	Good

BEDROOM 2

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Wardrobe	Good

BEDROOM 3

Ceiling	Good
Walls	Minor cracking was noted around the door. This is caused through normal building movement and is not considered to be excessive cracking
Door and door hardware	Good
Floor coverings	Good
Wardrobe	Good

ENSUITE

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Shower screen	Good
Water leakage in shower area?	There was no water leakage detected
Floor and wall tiles in shower area	Good
Vanity/Basin	Good
Taps	Good
Toilet suite	Good
Exhaust fan	The exhaust fan was operational at the time of inspection

BATHROOM - ADJACENT BEDROOM 2

Ceiling	Good
Walls	Good
Door and door hardware	The striker plate on the door jamb needs adjustment to allow the door to latch
Floor coverings	Good
Shower screen	The shower screen door is slightly binding. Recommend adjustment for ease of operation
Water leakage in shower area?	There was no water leakage detected
Floor and wall tiles in shower area	Good
Vanity/Basin	Good
Taps	Good
Toilet suite	Good
Exhaust fan	The exhaust fan was operational at the time of inspection

BATHROOM - ADJACENT BEDROOM 3

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Shower screen	Good
Water leakage in shower area?	There was no water leakage detected
Floor and wall tiles in shower area	Good
Vanity/Basin	Minor chip noted to the vanity top/basin. The vanity is still in functional condition. Repairs are not required
Taps	Good
Toilet suite	Good
Exhaust fan	The exhaust fan was operational at the time of inspection

LAUNDRY

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Laundry tub	Good
Splashback	Good
Exhaust fan	The exhaust fan was operational at the time of inspection

ROOF CAVITY

Construction	Good
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EXTERIOR

Driveway and paths	Good. Some minor cracking of the concrete was noted. The cracking found is considered normal
Roof covering	Good
Roof flashings	Good
Eaves	Good
Fascia	Good
Gutters	Good. The gutters appear to be in functional condition
External walls	Good. No major cracking noted
Windows	Good
Fences	Good
Gate	Good
Front courtyard	Good
Rear courtyard	Good
Balcony	Good
Site drainage	The site generally drains away from the perimeter of the building

GARAGE

Slab	Good. Some minor cracking of the concrete was noted. The cracking found is considered normal
Ceiling	Good
Walls	Good. No major cracking noted
Garage door	Good
Access door	Good

DEFINITIONS

Above Average: The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a reasonable standard of workmanship when compared with buildings of similar age and construction.

Average: The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

Below Average: The Building and its parts show some significant defects and/or very poor non-tradesman like workmanship and/or long-term neglect and/or defects requiring major repairs or reconstruction of major building elements.

Client: The person or persons, for whom the Inspection Report was carried out or their Principal (i.e., the person or persons for whom the report is being obtained).

Building Consultant: A person, business or company who is qualified and experienced to undertake a pre-purchase inspection in accordance with Australian Standard AS 4349.1-2007 'Inspection of Buildings. Part 1: Pre-Purchase Inspections – Residential Buildings'. The consultant must also meet any Government licensing requirement, where applicable.

Building & Site: The inspection of the nominated residence together with relevant features including any car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth, embankments, surface water drainage and storm water run-off within 30 m of the building, but within the property boundaries. In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the nominated residence and does not include inspection of common property.

Readily Accessible Areas: Areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels or accessible from a 3.6 metre ladder, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry. Or where these clearances are not available, areas within the consultant's unobstructed line of sight and within arm's length.

Structure: The loadbearing part of the building, comprising the Primary Elements.

Primary Elements: Those parts of the building providing the basic loadbearing capacity to the Structure, such as foundations, footings, floor framing, loadbearing walls, beams, or columns. The term 'Primary Elements' also includes other structural building elements including those that provide a level of personal protection such as handrails; floor-to-floor access such as stairways; and the structural flooring of the building such as floorboards.

Secondary Elements: Those parts of the building not providing loadbearing capacity to the Structure, or those non-essential elements which, in the main, perform a completion role around openings in Primary Elements and the building in general such as non-loadbearing walls, partitions, wall linings, ceilings, chimneys, flashings, windows, glazing or doors.

Finishing Elements: The fixtures, fittings and finishes applied or affixed to Primary Elements and Secondary Elements such as baths, water closets, vanity basins, kitchen cupboards, door furniture, window hardware, render, floor, and wall tiles, trim or paint. The term 'Finishing Elements' does not include furniture or soft floor coverings such as carpet and lino.

Major Defect: A defect of significant magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

Minor Defect: A defect other than a Major Defect.

Safety Hazard: Any item that may constitute an immediate or imminent risk to life, health, or property. Occupational, health and safety or any other consequence of these hazards has not been assessed.

Tests: Where appropriate the carrying out of tests using the following procedures and instruments:

Dampness Tests means additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to damp problems. Instrument testing using electronic moisture detecting meter of those areas and other visible accessible elements of construction showing evidence of dampness was performed.

Physical Tests means the following physical actions undertaken by the consultant: opening and shutting of doors, windows and draws; operation of taps; water testing of shower recesses; and the tapping of tiles and wall plaster.

IMPORTANT ADVICE

NB. In the case of strata and company title properties, the Inspection is limited to the interior and immediate exterior of the particular unit being inspected. The exterior above ground floor level is not inspected. The complete Inspection of other common property areas would be the subject of a Special-Purpose Inspection Report which is adequately specified.

Trees: Where trees are too close to the house this could affect the performance of the footing as the moisture levels change in the ground. A Geotechnical Inspection can determine the foundation material and provide advice on the best course of action with regards to the trees.

The Septic Tanks: Should be inspected by a licensed plumber.

Swimming Pools: Swimming Pools/Spas are not part of the Standard Building Report under AS4349.1-2007 and are not covered by this Report. We strongly recommend a pool expert should be consulted to examine the pool and the pool equipment and plumbing, as well as the requirements to meet the standard for pool fencing. Failure to conduct this Inspection and put into place the necessary recommendations could result in finds for non-compliance under the legislation.

Surface Water Drainage: The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Best practice is to monitor the flow of surface water during rainfall and stormwater runoff and have the water directed away from the house or to storm water pipes by a licensed plumber/drainier.

Weep Holes: External brick (and stone) walls are a porous material that behave much like a sponge. During a rain event, the masonry wall absorbs water and actually stores it. The weep holes are designed for two purposes. 1. To provide an opening to allow water to drain out through the bottom of the wall. 2. To allow ventilating air to enter behind the wall to help dry the structure. If weep holes have been noted as being not installed, it is recommended to consult a builder on how to best rectify the problem.

Water Leaks from Roof: The inspector cannot, and does not, offer an opinion on whether the roof currently leaks or may be subject to future leaks. The only way to determine whether a roof is absolutely watertight is to make observations during prolonged rainfall.

Subfloor dampness: The presence of dampness is not always consistent as the prevailing and recent weather conditions at the time an inspection is carried out may affect the detection of damp problems. The absence of any dampness at the time of inspection does not necessarily mean the building will not experience some damp problems in other weather conditions. Likewise, whether or not services have been used for some time prior to an inspection being carried out will affect the detection of dampness.

Shower: Where a shower recess has been water tested, and no leakage was evident, this does not necessarily mean that the shower will not leak after prolonged use. Accordingly, to fully detect and assess a damp problem may require the monitoring of the building over a period of time.

SCOPE AND LIMITATIONS

Any person who relies upon the contents of this Report does so acknowledging that the following clauses, which define the Scope and Limitations of the Inspection, form an integral part of the Report.

1) This Report is not an all-encompassing Report dealing with the building from every aspect. It is a reasonable attempt to identify any obvious or significant defects apparent at the time of the Inspection. Whether or not a defect is considered significant or not, depends to a large extent upon the age and type of the building inspected. This Report is not a Certificate of Compliance with the requirements of any Act, Regulation, Ordinance or By-law. It is not a structural Report. Should you require any advice of a structural nature you should contact a structural engineer.

2) This is a visual Inspection only, limited to those areas and sections of the property fully accessible and visible to the Inspector on the date of Inspection. The Inspection DID NOT include breaking apart, dismantling, removing, or moving objects including, but not limited to, foliage, mouldings, roof insulation/sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances, or personal possessions. The inspector CANNOT see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector DID NOT dig, gouge, force or perform any other invasive procedures. Visible timbers CANNOT be destructively probed or hit without the written permission of the property owner.

3) This Report does not and cannot make comment upon: Defects that may have been concealed; the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the Inspection and whether this will affect the detection of leaks or other defects (e.g. In the case of shower enclosures the absence of any dampness at the time of the inspection does not necessarily mean that the enclosure will not leak); the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from **surface** water drainage); swimming pools and spas (non-structural); detection and identification of illegal building work; detection and identification of illegal plumbing work; durability of exposed finishes; neighbourhood problems; document analysis; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant.

Accordingly, this Report is NOT a guarantee that defects and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property.

NB. Such matters may, upon request, be covered under the terms of a 'Special-Purpose Property Report'.

4) Consumer Complaints Procedure: In the event of any dispute or claim arising out of, or relating to the Inspection or the Report, you must notify us as soon as possible of the dispute or claim by email, fax, or mail. You must allow us (which includes persons nominated by us) to visit the property (which visit must occur within twenty eight (28) days of your notification to us) and give us full access in order that we may fully investigate the complaint. You will be provided with a written response to your dispute or claim within twenty-eight (28) days of the date of the Inspection.

If you are not satisfied with our response, you must within twenty one (21) days of your receipt of our written response, refer the matter to a Mediator nominated by us from the Institute of Arbitrators and Mediators of Australia. The cost of the Mediator will be borne equally by both parties, and as agreed as part of the mediated settlement.

Should the dispute or claim not be resolved by mediation, then the dispute or claim will proceed to arbitration. The Institute of Arbitrators and Mediators of Australia will appoint an Arbitrator who will hear and resolve the dispute. The arbitration, subject to any directions of Arbitrator, will proceed in the following manner:

(a) The parties must submit all written submissions and evidence to the Arbitrator within twenty one (21) days of the appointment of the Arbitrator; and

(b) The arbitration will be held within twenty one (21) days of the Arbitrator receiving the written submissions.

The Arbitrator will make a decision determining the dispute or claim within twenty one (21) of the final day of the arbitration. The Arbitrator may, as part of his determination, determine what costs, if any, each of the parties are to pay and the time by which the parties must be paid any settlement or costs.

The decision of the Arbitrator is final and binding on both parties. Should the Arbitrator order either party to pay any settlement amount or costs to the other party but not specify a time for payment, then such payment shall be made within twenty one (21) days of the order.

NB. In the event that you do not comply with the above Complaints Procedure and commence litigation against us, then you agree to fully indemnify us against any awards, costs, legal fees, and expenses incurred by us in having your litigation set aside or adjourned to permit the foregoing Complaints Procedure to complete.

5) Asbestos Disclaimer: “No Inspection for Asbestos was carried out at the property, and no Report on the presence or absence of Asbestos is provided”.

Buildings built prior to 1982 may have wall and/or ceiling sheeting, and other products including roof sheeting that contains Asbestos. Even buildings built after this date, up until the early 90s, may contain some Asbestos. Sheeting should be fully sealed. If you are concerned, the building was built prior to 1990, or if asbestos is noted as present within the property, then you should seek advice from a qualified asbestos removal expert as to the amount and importance of the asbestos present and the cost of sealing or removal. Drilling, cutting, or removing sheeting or products containing Asbestos is a high risk to peoples’ health. You should seek advice from a qualified asbestos removal expert.

6) Mould (Mildew and non-wood decay fungi) Disclaimer: Mildew and non-wood decay fungi are commonly known as mould. However, mould and their spores may cause health problems or allergic reactions, such as asthma and dermatitis in some people. No Inspection for mould was carried out at the property, and no Report on the presence or absence of mould is provided. If mould is noted as present within the property, or if you notice mould and you are concerned as to the possible health risk resulting from its presence, then you should seek advice from your local Council, State or Commonwealth Government Health Department, or a qualified expert such as an Industry Hygienist.

7) Magnesite Flooring Disclaimer: No Inspection for Magnesite Flooring was carried out at the property, and no Report on the presence or absence of Magnesite Flooring is provided. You should ask the owner whether Magnesite Flooring is present and/or seek advice from a Structural Engineer.

8) Estimating Disclaimer: Any estimates provided in this Report are merely opinions of possible costs that could be encountered, based on the knowledge and experience of the inspector, and are not estimates in the sense of being a calculation of the likely costs to be incurred. The estimates are NOT a guarantee or quotation for work to be carried out. The actual cost is ultimately dependent upon the materials used, standard of work carried out, and what a contractor is prepared to do the work for. It is recommended in ALL instances that multiple independent quotes are sourced prior to any work being carried out. The inspector accepts no liability for any estimates provided throughout this Report.

9) Note: If the Client has any doubt about the purpose, scope, and acceptance criteria on which the Report was based please discuss your concerns with the Consultant on receipt of the Report. The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

IMPORTANT DISCLAIMER

Disclaimer Liability: No Liability shall be accepted on an account of failure of the Report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for Inspection, or to which access for Inspection is denied by or to the Inspector (including but not limited to or any area(s) or section(s) so specified by the Report).

Disclaimer of Liability to Third Parties: Compensation will only be payable for losses arising in contract or tort sustained by the Client named on the front of this Report. Any third party acting or relying on this Report, in whole or in part, does so entirely at their own risk. However, if ordered by a Real Estate Agent or a Vendor for the purpose of auctioning a property, then the Inspection Report may be ordered up to seven (7) days prior to the auction, copies may be given out prior to the auction and the Report will have a life of 14 days during which time it may be transferred to the purchaser. Providing the purchaser agrees to the terms of this agreement, then they may rely on the Report subject to the terms and conditions of this agreement and the Report itself.

NB. In the ACT under the Civil Law (Sale of Residential Property) Act 2003 and Regulations, the Report resulting from this Inspection may be passed to the purchaser as part of the sale process, providing it is carried out no more than three months prior to listing and is not more than six months old.

Limited Liability to a Purchaser within the Australian Capital Territory only: Within the Australian Capital Territory (ACT) and in accordance with the ACT Civil Law (Sale of Residential Property) Act 2003 and Regulations, a copy of the Report may be attached to the Contract for Sale.

WARNING: The Purchaser is advised that this Report reflects the condition of the property existing at the time of the Inspection (Inspection Date) and may not reflect the current state. It is, therefore, very strongly recommended that you promptly arrange for another Inspection and Report in accordance with Australian Standard AS4349.1 to be carried out prior to the expiration of the 'Cooling off Period' and settlement.

This is not a Compliance Report strictly in accordance with Civil Law (Sale of Residential Property) Regulations: The Report may contain copies of any approved plans, building approvals, building permit and Certificates of Occupancy. However, any comments made by the person who prepared the Report as to whether or not, in the opinion of the Inspector, the structures on the land substantially comply with the approved plans (if any) are made on the basis of a cursory glance of the plans and not upon a detailed examination. Any opinion expressed as to whether or not any building approval or approval under the Land (Planning and Environment) Act, 1991, is based on the limited knowledge and belief, at the time, of the Inspector. The Purchaser is advised that a Special Purpose Report is available through the Inspector to advise more fully in respect to these matters. The structures may have been damaged by pests, storm, strong wind or fire or the Vendor may have carried out alterations and/or additions to the Property since the Inspection Date. The Report may no longer reflect the true condition of the Property. The structure(s) may no longer be in accordance with the attached plans etc. IT IS STRONGLY RECOMMENDED that, if the Purchaser has any concerns in respect to the compliance of the structures, a Special Purpose Report be obtained. Alternatively, the Purchaser should rely upon his, her or their own enquiries.

Contact the Inspector: Please feel free to contact the Inspector who carried out this Inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this Report, then you should immediately contact the Inspector and have the matter explained to you. If you have any questions at all, or require any clarification, then contact the Inspector prior to acting on this Report.

OTHER INSPECTIONS AND REPORTS REQUIRED

It is strongly recommended that the following Inspections and Reports be obtained prior to any decision to purchase the Property. Obtaining these Reports will better equip the purchaser to make an informed decision. Although appliances may be listed in the Report, they have not been tested as this is outside the scope of the standard Building Inspection. Other Inspections we recommend the purchaser obtains before making their decision are:

- Electrical Inspection,
- Plumbing Inspection,
- Structural (Engineer),
- Geotechnical Inspection,
- Drainage Inspection,
- Asbestos Inspection,
- Mould Inspection,
- Gas fitting Inspection,
- Appliances Inspection,
- Air-conditioning Inspection,
- Alarm/Intercom/Data Systems,
- Hydraulics Inspection,
- Mechanical Services,
- Hazards Inspection,
- Fire/Chimney Inspection,
- Estimating Report,
- Garage Door Mechanical,
- Durability exposed surfaces

SMOKE DETECTORS

The occupier/purchaser should satisfy themselves as to the working condition of the smoke detectors, if installed. It is highly recommended that suitable smoke detectors be installed in all residential properties. AS 3786 advises that smoke detectors are required for all buildings where people sleep. It is recommended that an electrician be consulted to advise on those installed or install these detectors.

CRACKING OF BUILDING ITEMS

Regardless of the type of crack(s), a Pre-Purchase Building Inspector carrying out a Pre-Purchase Inspection within the scope of a visual Inspection is unable to determine the expected consequences of the cracks.

Obtaining Information regarding the below all fall outside the scope of this Pre-Purchase Inspection:

- (a)** The nature of the foundation material on which the building is resting,
- (b)** The design of the footings,
- (c)** The site landscape,
- (d)** The history of the cracks and,
- (e)** Carrying out an invasive Inspection.

However, the information obtained from the five items above is valuable in determining the expected consequences of the cracking and any remedial work needed. Cracks that are small in width and length on the day of the Inspection may have the potential to develop over time into structural problems for the homeowner, resulting in major expensive rectification work being carried out. If cracks have been identified in the Report above, then a Structural Engineer is required to determine the significance of the cracking prior to a decision to purchase.

NOTICE TO THE PURCHASER (ACT ONLY)

(a) At the Exchange, and prior to the 'Cooling-off Period', you were given an Inspection Report on the property you intend on purchasing. This Report reflects the condition of the property existing at the time of the Inspection (Inspection Date) and may not reflect the current state. The structures may have been damaged by pests, storm, strong wind or fire or the vendor may have carried out alterations and/or additions to the property since the Inspection date. The Report may no longer reflect the true condition of the property. The structure(s) may no longer be in accordance with the attached plans etc. It is, therefore, very strongly recommended that you urgently arrange for another Inspection and Report in accordance with Australian Standard AS 4349.1 to be carried out prior to exchange, or prior to the expiration of any 'Cooling Off Period' and prior to settlement.

(b) If the Report indicated the presence of termite damage, or recommends any other Inspections or treatments, you should obtain copies of these Reports and any treatment proposals, certificates of treatment carried out, including details of all repairs including copies of quotations, invoices, and any other Reports. It is strongly recommended that you arrange for an Inspection and Report in accordance with AS 4349.3 to verify that the treatment has been successful and carried out in accordance with AS 3660.2, and a further building Inspection in accordance with AS 4349.1.

(c) If you fail to procure a further Inspection and Report as recommended in (a) and (b), or fail to obtain copies of other Reports, treatment proposals, certificates of treatment carried out, details of all repairs including copies of quotations, invoices and any other Reports as recommended in (b) above, then you agree that you have decided not to have a further Inspection and Report carried out, or to obtain copies of treatment proposals, certificates of treatment carried out, details of all repairs including copies of quotations, invoices and any other Reports and have relied upon your own enquires and the Report, knowing the possible consequences, and that the condition of the property, as stated in the Report, may have changed.

(d) You agree that the person carrying out the Inspection **and** the company, partnership or sole trader that employs that person will have no liability to you for any damage or loss you may suffer as a result of your entering the contract to purchase the property, or in connection with completing the purchase of the property as a result of your failure to heed the advice given in (a) and (b) and the warning contained in (c) above, and may use such failure in defense of any claim that you may later make against any of them.

NB. It is a condition of your right to rely upon the Report that you transmit by fax, post, or otherwise deliver the signed "Notice to the Purchaser" (ACT only) to the company, partnership or sole trader at the address detailed on the front of the Report not less than four (4) days prior to the date of settlement. If you fail to complete, sign, or deliver the Notice then it will be deemed that you did not rely upon the report in respect to your decision as to whether or not to purchase the property. This may seriously affect any rights to future compensation to which you may be entitled.

Please cross out the statement below that does not apply: - At the date of settlement, not more than 180 days will have elapsed since the Inspection date.

1. I/We have read and understood the 'Limited Liability to a Purchaser within the Australian Capital Territory only' clause of the Report, and this Notice to the Purchaser. I/We have not arranged for another inspection and report in respect of the property, and it is my/our intention to **rely upon the findings contained in the report**; or

2. I/We have **arranged for another Inspection of the Property and Report** to be carried out, which I/We will use in conjunction with this Report in deciding whether to proceed with the purchase of the property; or

3. I/We have read and understood the 'Limited Liability to a Purchaser within the Australian Capital Territory only' clause of the Report, and this Notice to the Purchaser. I/We have not arranged for another Inspection and Report in respect of the property and have **relied on my/our own enquiries in respect of the condition of the property** as at the date of settlement including any changes in the condition of the property that have taken place since the Inspection date stated in the Report

Timber Pest Report



SUMMARY SHEET

Property Address: 9/148 Overall Ave, Casey ACT 2913
Client: Motion
Inspection Date: Thursday, March 19th 2026
Inspection carried out by: Ben Meale

This summary is supplied to allow a quick and superficial overview of the Inspection results. This summary is NOT the Report and cannot be relied upon on its own. This summary must be read in conjunction with the full Report and not in isolation from the Report. If there should happen to be any discrepancy between anything in the Report, and anything in this summary, the information in the Report shall override that in the summary. The Report is subject to conditions and limitations. Your attention is particularly drawn to the clauses, disclaimer of liability to third parties, limited liability to a purchaser with the Australian Capital Territory (ACT), and to the notice to the purchaser at the back of this Report.

1.0 ACCESS LIMITATIONS

There were access limitations to the inspection/report. Please refer to section 1.0 of the report.

2.0 TERMITE ACTIVITY

No active subterranean termites (live specimens) were found.

No visible evidence of subterranean termite workings or damage was found.

3.0 BORER ACTIVITY

No visible evidence of borers of seasoned timbers was found.

4.0 DECAY FUNGI

No evidence of damage caused by wood decay (rot) fungi was found.

For complete and accurate information, please refer to the attached 'Visual Timber Pest Report', which is prepared in accordance with AS 4349.3.

CONDITIONS OF THIS INSPECTION

Important Information:

Any person who relies upon the contents of this Report does so acknowledging that the following clauses, which define the scope and limitations of the Inspection, form an integral part of the Report.

This is a **Visual Inspection Only**, prepared in accordance with AS 4349.3, 'Inspection of Buildings Part 3: Timber Pest Inspections'. Visual Inspection was limited to those areas and sections of the property to which reasonable access (see definition) was both available and permitted on the date of Inspection.

The Inspection **did not** include breaking apart, dismantling, removing, or moving objects including but not limited to – foliage, mouldings, roof insulation/sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances, or personal possessions.

The Inspector **cannot** see inside walls, between floors, inside skillion roofing, inside the eaves, behind stored goods in cupboards, or in any other areas that are concealed or obstructed.

The Inspector **did not** dig, gouge, force or perform any other invasive procedures. An invasive Inspection will not be performed unless a separate contract is entered into.

In an occupied property, it must be understood that furnishings or household items may be concealing evidence of Timber Pests, which may only be revealed when the items are moved or removed.

In the case of strata type properties, only the interior of the unit is inspected.

Scope of Report:

This Report only deals with the detection or non-detection of Timber Pest Attack and Conditions Conducive to Timber Pest Attack discernible at the time of inspection. The inspection was limited to the Readily Accessible Areas of the Building and Site (see note below) and was based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests. Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

Limitations:

The Client acknowledges:

(a) This Report does not include the inspection and assessment of matters outside the scope of the requested inspection and report.

(b) The inspection only covered the Readily Accessible Areas of the Building and Site. The inspection did not include areas which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include – but are not limited to – roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements, or earth.

(c) The detection of dry wood termites may be extremely difficult due to the small size of the colonies. No warranty of absence of these termites is given.

(d) European House Borer (*Hylotrupes bajulus*) attack is difficult to detect in the early stages of infestation as the galleries of boring larvae rarely break through the affected timber surface. No warranty of absence of these borers is given. Regular inspections including the carrying out of appropriate tests are required to help monitor susceptible timbers.

(e) This is not a structural damage report. Neither is this a warranty as to the absence of Timber Pest Attack.

(f) If the inspection was limited to any particular type(s) of timber pest (e.g., subterranean termites), then this would be the subject of a Special-Purpose Inspection Report, which is adequately specified.

(g) This Report does not cover or deal with environmental risk assessment or biological risks not associated with Timber Pests (e.g., toxic Mould) or occupational, health or safety issues. Such advice may be the subject of a Special-Purpose Inspection Report which is adequately specified and must be undertaken by an appropriately qualified inspector. The choice of such inspector is a matter for the Client.

(h) This Report has been produced for the use of the Client. The Consultant or their firm or company are not liable for any reliance placed on this report by any third party, except as provided in the section Limited Liability To a Purchaser within the Australian Capital Territory.

Determining extent of Damage:

This is not a structural building report, and any inexpert opinion we provide on timber damage cannot be relied upon. This Report **will not** state the full extent of any Timber Pest damage. It will state Timber Pest Damage found as either 'slight', 'moderate', 'moderate to extensive', or 'extensive', and this information is not the opinion of an expert. If any evidence of Timber Pest activity and/or damage resulting from Timber Pest activity is reported, either in the structure(s) or the grounds of the property, then you must assume that there may be concealed structural damage within the building(s).

This concealed damage may only be found when wall linings, cladding or insulation are removed to reveal previously concealed timbers. In this case, an Invasive Timber Pest Inspection (for which a separate contract is required) is strongly recommended, and you should arrange for a qualified professional such as a builder, engineer, or architect to carry out a structural Inspection to determine the full extent of the damage, and the extent of repairs that may be required. You agree that neither we, nor the individual conducting the Inspection, are responsible or liable for the repair of any damage, whether disclosed by the Report or not.

Disclaimer of Liability:

No liability shall be accepted on account of failure of the Report to notify any termite activity and/or damage present at, or prior to, the date of the Report, in any area(s) or section(s) of the subject property physically inaccessible for Inspection, or to which access for Inspection is denied by, or to, the licensed Inspector (including, but not limited to, any area(s) or section(s) specified by the Report).

1.0 ACCESS LIMITATIONS

1.1 Area(s) inspected:

Only structures, fences &/or trees within 50m of the building but within the property boundaries were inspected.

1.2 Common area(s) not inspected:

No Inspection was made, and no Report will be submitted, of inaccessible area(s).

These include, but may not be limited to; cavity walls, concealed frame timbers, eaves, flat roofs, fully enclosed patios, inaccessible parts of the subfloors, inaccessible parts of the roof void, soil concealed by concrete floors, fireplace hearths, wall linings, landscaping, rubbish, floor coverings, furniture, pictures, appliances, stored items, insulation, and hollow blocks/posts etc.

1.3 Area(s) in which visual inspection was obstructed or restricted and why:

Ceiling framing timbers were concealed by insulation. Clothing and other stored items concealed timbers in cupboards and built in robes/closets. Furniture and stored items concealed some of the skirting boards and architraves inside the house. Ducting flex throughout the roof space restricting access in areas. The inspection of the exterior was restricted to the immediate exterior of the unit. Areas of the internal framing timbers of the garage were concealed by stored items.

NB. Please note that since a complete Inspection of the above area(s) was not possible, Timber Pest activity and/or damage may exist in these areas.

1.4 The property was furnished at the time of inspection.

Where a property is furnished at the time of Inspection, it must be understood that the furnishings and stored goods may be concealing evidence of Timber Pest activity. This evidence may be revealed when the property is vacated, and a further Inspection of the vacant property is strongly recommended if the house was furnished at the time of inspection.

1.5 Undetected timber pest risk assessment is considered Low/Moderate.

NB. Where the risk is considered "Moderate" or "Moderate-High" or "High", a further inspection is strongly recommended of areas that were not readily accessible, and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This may require the moving, lifting or removal of obstructions such as floor coverings, furniture, stored items foliage and insulation. In some instances, it may also require the removal of ceiling and wall linings, and the cutting of traps and access holes. Seek further advice from your Consultant.

2.0 TERMITE ACTIVITY

2.1 No active (live) termites were present at the time of Inspection.

2.2 No visible evidence of subterranean termite workings and/or damage was found.

2.3 A termite nest was not found.

2.4 No evidence of timber damage caused by Termite attack was visible at the time of the Inspection.

NB. Where evidence of termite activity by the *Nasutitermes* or *Coptotermes* species was found in the grounds, the risk to buildings is very high. A treatment to eradicate the termites and to protect the building(s) should be carried out. Where the evidence of termite workings was found in the grounds or the building(s), then the risk of a further attack is very high.

2.5 Very important:

If live termites or any evidence of termite workings or damage was reported above, within the building(s) or in the grounds and fences, then it must be assumed that there may be concealed termite activity and/or timber damage. This concealed activity or damage may only be found when alterations are carried out, such as when wall linings, cladding or insulation are removed; or if you arrange for an invasive Inspection. We claim no expertise in structural engineering or building, and we strongly recommend that you have a qualified professional such as a builder, engineer, architect, or other qualified expert determine the full extent of the damage, if any. This may require an invasive Inspection. We take no responsibility for the repair of any damage, whether disclosed by this Report or not (see 'Terms and Limitations').

Where visual evidence of termite workings and/or damage is reported above, but no live termites were present at the time of Inspection, you must realise that it is possible that termites are still active in the immediate vicinity, and that the termites may continue to cause further damage. It is not possible, without further investigation and a number of Inspections over a period of time, to ascertain whether any infestation is active or inactive. Active termites may simply have not been present at the time of Inspection due to a prior disturbance or climatic conditions, or they may have been utilizing an alternative feeding source.

Continued, regular Inspections are essential. Unless written evidence of a termite protection program in accordance with 'AS 3660' with ongoing Inspections is provided, you must arrange for a treatment in accordance with 'AS 3660' to be carried out to reduce the risk of further attack.

2.6 Previous termite treatment: There were no signs of a termite treatment or evidence of a possible previous termite treatment, at the time of inspection.

NB. If there is evidence of drill holes in concrete or brickwork, bait stations or other signs of a possible previous treatment are reported, then the treatment was probably carried out because of an active termite attack. Extensive structural damage may exist in concealed areas. You should have an invasive Inspection carried out, and have a builder determine the full extent of any damage, and the estimated cost of repairs, as the damage may only be found when wall linings etc. are removed. Normally, if a termite treatment has been carried out, then a durable notice should be located in the metre box, indicating the type of termite shield system, treated zone or combination that has been installed.

2.7 Termite management: A termite management notice was not found in the meter box; however, due to the age of the residence a barrier system should have been installed.

This firm can give no assurances with regard to work that may have been previously performed by other firms. You should obtain copies of all paperwork and make your own enquiries as to the quality of the treatment when it was carried out, and warranty information. In most cases, you should arrange for a treatment in accordance with "Australian Standard 3660" to be carried out to reduce the risk of further attack.

2.8 General remarks:

Where any current visible evidence of Timber Pest activity is found, it is strongly recommended that a more invasive Inspection be performed. Trees on and near the property up to a height of 2 metres, have been visually Inspected where possible and practicable, for evidence of Termite activity. It is very difficult to locate termite nests since they are underground, and evidence in trees is usually well concealed. Therefore, we strongly recommend that you arrange to have the medium to large eucalypt trees within a 50 metre radius of the property test drilled for evidence of termite nests.

3.0 BORER ACTIVITY

3.1 No visible evidence of borers was found.

The **Lyctid Borer** - The most common lyctid borer in Australia is **Lyctus brunneus (powder post beetle)**. Attack usually takes place during the first six to twelve months of the service life of timber. However, the powder post beetle is not considered a significant pest of timber and treatment of infestation is not usually required. As only the sapwood of certain hardwoods is destroyed, larger-dimensional timbers (such as rafters, bearers, and joists) in a building are seldom weakened significantly to cause collapse. The **Anobiid Borer** There are many different species of Anobiid borer, the most frequently encountered being *Anobium punctatum* (furniture beetle) and *Calymmaderus incisus* (Queensland pine beetle). Attack mainly occurs to softwoods especially pine timbers such as floorboards that have been in service for at least ten years. Should any structural timbers be attacked by Anobiid borers it is often difficult to determine what extent the borer damage has weakened such timbers and replacement is often the only way of ensuring safety from collapse.

In the case of Anobiid borers, once an attack is initiated it is unlikely to cease or die out of its own accord without some sort of eradication treatment. Therefore, unless proof of treatment is provided, evidence of an attack must always be considered active. Although a chemical treatment is an option, replacement of infested timbers with non-susceptible, or treated timber, is the most effective method of treatment. Before any option is considered, competent advice (e.g., from a licensed building contractor) should be sought to determine the extent of any structural damage, and as to the need or otherwise for rectification or repair work.

Other Borers: A further (more invasive) investigation is strongly recommended to determine whether infestation is still active and to positively identify the borer species responsible for the attack. Always seek further advice from the Consultant.

Management Program: Wherever practical, remove any conditions conducive to attack (e.g., *Anobium* borer thrive in badly ventilated subfloor areas). Regular inspections are recommended at intervals not exceeding 12 months. Always seek further advice from the Consultant.

4.0 DECAY FUNGI

4.1 No evidence of damage caused by wood decay (rot) fungi was found.

NB. If any evidence of fungal decay or damage is reported, you should consult a building expert to determine the full extent of damage, and the estimated cost of repairs or timber.

General Description of Attack Decaying wood contains sufficient moisture to retain its original shape and may have sufficient strength to withstand normal loads. In contrast decayed wood is reduced both in moisture content and size as indicated by cracking either along or across the grain or fibres coming apart in a stringy manner. Decayed wood will have undergone considerable strength reduction.

Economic Significance Fungal decay can cause at one extreme, structural failure of the affected timber, and at the other purely superficial surface damage. The most critical determination is that of which timber is affected and decaying because decay will most likely spread (unless sources of moisture are quickly removed). Affected and decayed timber may warrant timber replacement, but the rot should not spread unless a new moisture source becomes available in that area.

Where evidence of decayed timber exists, competent advice (e.g., from a licensed or registered building contractor) should be sought to determine the extent of any structural damage, and as to the need or otherwise for rectification or repair work. It is important to correct any condition conducive to attack prior to replacing decayed wood.

Where evidence of decaying timber exists, competent advice (e.g., from a licensed or registered building contractor) should be sought to remove the condition(s) conducive to attack, and to determine the extent of any structural damage, and as to the need or otherwise for rectification or repair work.

Where the full extent of damage or the overall condition of the timber is undetermined a further inspection is strongly recommended by a competent person (e.g., from a licensed or registered building contractor). This may require monitoring of the timber over a period and include the assessment of conditions conducive to attack in different weather conditions (e.g., to determine the adequacy of existing drainage).

Management Program Remove any conditions conducive to attack (e.g., lack of ventilation or the presence of excessive moisture). Regular inspections are recommended at intervals not exceeding 12 months. Always seek further advice from the Consultant.

5.0 CONDITIONS THAT ARE CONDUCTIVE TO TIMBER PESTS

5.1 Water leaks: At the time of the inspection no leaks were found to be present.

Water leaks, especially in or into the subfloor, or against the external walls; increase the likelihood of termite attack. Leaking showers or leaks from other 'wet areas' also increase the likelihood of concealed termite attack. Hot water overflows should be plumbed away from the building.

NB. We claim no expertise in building, and if any leaks were reported, you should consult a plumber or other building expert to determine the full extent of damage, and the estimated cost of repairs.

5.2 Moisture/drainage: Not applicable as the home is built on a concrete slab.

Lack of Adequate Subfloor Ventilation Inadequate ventilation provides a condition suitable for timber pest infestation. For example, subterranean termites thrive in damp humid conditions typical of those provided in a poorly ventilated subfloor space. Where evidence of a lack of adequate ventilation has been identified in the report, the Client should seek competent advice (e.g., from a licensed or registered building contractor) regarding upgrading ventilation. The Presence of Excessive Moisture Ground levels around the building should be maintained in such a way to minimise water entering under the building. Also, the ground surface in subfloor areas should be kept graded to ensure that moisture does not pond or accumulate in any area. Where necessary, sub-surface drains should be installed and maintained to assist with drainage around and under the building. Likewise, the presence of excessive moisture can often be directly related to ventilation limitations and the resultant high humidity. Also, plumbing oversights and defects such as a leaking drain or tap will provide a microclimate conducive to timber pest attack. Where necessary, the Client should seek competent advice (e.g., from a licensed or registered plumbing contractor) to determine the adequacy of existing drainage and remove any conditions conducive to the presence of excessive moisture. The building may need to be monitored over a period of time to detect or confirm a damp problem. The presence of dampness (including moisture) is not always consistent as the prevailing and recent weather conditions at the time an inspection is carried out may affect the detection of damp problems. Importantly, precipitation at or near the time of inspection does not necessarily guarantee that a damp problem will automatically be evident due to such circumstances as prevailing wind conditions or intensity of rainfall. The absence of any dampness at the time of inspection does not necessarily mean the building will not experience some damp problems in other weather conditions. Likewise, whether services have been used for some time prior to an inspection being carried out will affect the detection of dampness.

5.3 Ventilation: Not applicable as the home is built on a concrete slab.

Lack of Adequate Subfloor Ventilation Inadequate ventilation provides a condition suitable for timber pest infestation. For example, subterranean termites thrive in damp humid conditions typical of those provided in a poorly ventilated subfloor space. Where evidence of a lack of adequate ventilation has been identified in the report, the Client should seek competent advice (e.g., from a licensed or registered building contractor) in regard to upgrading ventilation.

5.4 Hot water services and air conditioning units: There is no need for this work to be carried out.

Hot water services and air conditioning units which release water alongside or near to building walls should be piped to a drain (if not possible then several metres away from the building), as the resulting wet area is highly conducive to termites.

5.5 Slab edge exposure: The slab edge inspection zone does not apply to this property.

Where external concrete slab edges are not exposed, there is a high risk of concealed termite entry.

In some buildings built since July 1995, the edge of the slab forms part of the termite shield system. In these buildings an Inspection zone of at least 75mm should be maintained to permit detection of termite entry. The edge should not be concealed by render, tiles, cladding, flashings, adjoining structures, paving, soil, turf, or landscaping etc. Where this is the case, you should arrange to have the slab edge exposed for Inspection.

Concealed termite entry may already be taking place but could not be detected at the time of the Inspection. This may have resulted in concealed timber damage.

NB. A very high proportion of termite attacks are over the slab edge. Covering the slab edge makes concealed entry easy. This is particularly true of infill type slab construction. Termite activity and/or damage may be present in concealed timbers of the building. We strongly recommend frequent regular inspections in accordance with AS 3660.2.

5.6 Weep holes in external walls: Weep holes were clear allowing the free flow of air.

It is very important that soil, lawn, concrete paths, or pavers do not cover the weep holes. Sometimes, they have been covered during the rendering of the brick work. They should be clean and free flowing and covering the weep holes in part or in whole may allow undetected termite entry.

5.7 Termite shields: Not applicable as the home is built on a concrete slab.

Termite Shields (Ant Caps) should be in good order and condition, so termite workings are exposed and visible. This helps prevent termites from gaining undetected entry. Joints in the shielding should have been soldered during the installation. If it is observed that the joints in the shielding have not been soldered, then the shielding must be reported as inadequate. It may be possible for a builder to repair the shielding. If not, a chemical treated zone may need to be installed to deter termites from gaining concealed access to the building. Missing, damaged or poor shields increase the risk of termite infestation. If considered inadequate, a builder or other building expert should be consulted.

Other physical shield systems are not visible to inspection and no comment is made on such systems.

5.8 Bridging or breaching of termite barriers and inspection zones: No bridging or breaching was found.

“Bridging” is the spanning of a termite barrier or inspection zone so that subterranean termites are provided with passage over or around that barrier. “Breaching” is the making of a hole or gap in a termite barrier so that termites are provided with a passage through that barrier.

5.9 Other area(s) and/or situations that appear conducive to (may attract) subterranean termite infestation: Medium to large trees and stumps within a 50 metre radius of the property, due to the nesting conditions.

6.0 OVERALL ASSESSMENT OF THE PROPERTY

6.1 Where evidence of live termites, termite damage or termite workings (mudding) was found in the building(s) then the risk of a further attack is extremely high.

Where evidence of live termites, termite damage or termite workings was found in the grounds but not in the building(s) then the risk to buildings must be reported as high to extremely high.

6.2 At the time of the Inspection, the degree of risk of subterranean termite infestation to the overall property was considered to be **Moderate**.

6.3 Subterranean Termite Treatment Recommendation: A management program in accordance with AS 3660-2000 to protect against subterranean termites is considered **not essential, but 6 to 12 monthly inspections are essential**.

6.4 Future Inspections: AS 3660.0-2000 recommends “regular competent Inspections should be carried out at least on an annual basis, but more frequent Inspections are strongly recommended”.

It goes on to inform that “regular Inspections will not prevent termite attack but may help in the detection of termite activity. Early detection will allow remedial treatment to be commenced sooner, and damage to be minimized”.

Due to the degree of risk of subterranean termite infestation noted above and all other findings of this Report; we strongly recommend that a full Inspection and written Report in accordance with AS 4349.3 or AS 3660.2-2000 is conducted at this property every 6 months, but no more than 12 months.

DEFINITIONS

Timber Pest Attack: Means Timber Pest Activity and/or Timber Pest Damage.

Timber Pest Activity: Means telltale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.

Timber Pest Damage: Means noticeable impairments to the integrity of timber and other susceptible materials resulting from attack by Timber Pests.

Major Safety Hazard: Means any item that may constitute an immediate or imminent risk to life, health or property resulting directly from Timber Pest Attack. Occupational, health and safety or any other consequence of these hazards has not been assessed.

Conditions Conducive to Timber Pest Attack: Means noticeable building deficiencies or environmental factors that may contribute to the presence of Timber Pests.

Readily Accessible Areas: Means areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry. The term 'readily accessible' also includes accessible subfloor areas on a sloping site where the minimum clearance is not less than 150 mm high, provided that the area is not more than 2 metres from a point with conforming clearance (i.e., 400 mm high by 600 mm wide); and areas at the eaves of accessible roof spaces that are within the consultant's unobstructed line of sight and within arm's length from a point with conforming clearance (i.e. 600 mm high by 600 mm wide).

Client: Means the person or persons for whom the Timber Pest Detection Report was carried out or their Principal (i.e., the person or persons for whom the report was being obtained).

Timber Pest Detection Consultant: Means a person who meets the minimum skills requirement set out in the current Australian Standard AS 4349.3 Inspections of Buildings. Part 3: Timber Pest Inspection Reports or state/territory legislation requirements beyond this Standard, where applicable.

Building and Site: Means the main building (or main buildings in the case of a building complex) and all timber structures (such as outbuildings, landscaping, retaining walls, fences, bridges, trees, and stumps with a diameter greater than 100 mm and timber embedded in soil) and the land within the property boundaries up to a distance of 50 metres from the main building(s).

Timber Pests: Means one or more of the following woods destroying agents which attack timber in service and affect its structural properties:

Chemical Delignification: The breakdown of timber through chemical action.

Fungal Decay: The microbiological degradation of timber caused by soft rot fungi and decay fungi, but does not include Mould, which is a type of fungus that does not structurally damage wood.

Wood Borers: Wood destroying insects belonging to the order 'Coleoptera' which commonly attack seasoned timber.

Termites: Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.

Tests: Means additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to attack by Timber Pests. Instrument testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Instrument Testing: Means where appropriate the carrying out of Tests using the following techniques and instruments:

- (a) Electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements.
- (b) Stethoscope - an instrument used to hear sounds made by termites within building elements.
- (c) Probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g., bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees; and
- (d) Sounding - a technique where timber is tapped with a solid object.

IMPORTANT MAINTENANCE ADVICE REGARDING INTEGRATED PEST MANAGEMENT FOR PROTECTING AGAINST TIMBER PESTS

You should read and understand the following important information. It will help explain what is involved in a Timber Pest Inspection, the difficulties faced by a Timber Pest Inspector, and why it is not possible to guarantee that a property is free of Timber Pests. It also details important information about what you can do to help protect your property from Timber Pests. This information forms an integral part of the Report. Any structure can be attacked by Timber Pests. Periodic maintenance should include measures to minimise possibilities of infestation in and around a property. Factors which may lead to infestation from Timber Pests include situations where the edge of the concrete slab is covered by soil or garden debris, filled areas, areas with less than 400mm clearance, foam insulation at foundations, earth/wood contact, damp areas, leaking pipes, etc.; form-work timbers, scrap timber, tree stumps, mulch, tree branches touching the structure, wood rot, etc. Gardens, pathways, or turf abutting or concealing the edge of a concrete slab will allow for concealed entry by timber pests any timber in contact with soil such as form-work, scrap timbers or stumps must be removed from under and around the buildings and any leaks repaired. You should endeavor to ensure such conditions DO NOT occur around your property. We further advise that you engage a professional pest control firm to provide a termite management program in accord with AS 3660 to minimise the risk of termite attack. There is no way of preventing termite attack. Even AS 3660 advises that "the provision of a complete termite barrier will impede and discourage termite entry into a building. It cannot prevent termite attack. Termites can still bridge or breach barriers, but they can be detected more readily during routine inspections."

Reasonable access:

Unless specified in writing, the inspection only covered the Readily Accessible Areas of the Building and Site.

The inspection did not include areas which were inaccessible, not readily accessible or obstructed at the time of inspection. Areas which are not normally accessible were not inspected and include - but not limited to – inside walls, the interior of a flat roof or beneath a suspended floor filled with earth.

Building Interior, the Consultant did not move or remove any ceilings, wall coverings, flooring, floor coverings (including carpeting), furnishing, equipment, appliances, pictures, or other household goods. In an occupied property, furnishings or household items may be concealing evidence of timber pest attack which may only be revealed when the items are moved or removed.

Building Exterior, Roof Exterior and Site, the Consultant did not move or remove any obstructions such as wall cladding, awnings, trellis, earth, plants, bushes, foliage, stored materials, debris, or rubbish. Due to the 'secretive' nature of timber pests, it is possible that hidden damage may exist in concealed areas, e.g., wall framing. Damage may only be found when the obstruction is removed. In the case of buildings constructed on concrete slabs, if the edge of the slab or any weep hole or vent at the base of external walls is concealed by pavements, gardens, lawns, or landscaping then it is possible for termites to gain undetected entry into the building. The building of gardens or planting of shrubs close to the perimeter of the building can promote and conceal termite entry points. The storage of cellulose materials such as building materials and firewood near the ground or building may encourage termite activity.

Roof Space Obstructions such as roofing, stored articles, thermal insulation, sarking, and pipe/duct work may be concealing evidence of timber pest attack which may only be revealed when the obstructions are moved or removed. Also, bodily access should be provided to the interior of all accessible roof spaces. In accordance with Australian Standard ASS 4349 the minimum requirement is a 400mm by 500 mm access manhole.

Subfloor Space Subfloor areas should be kept free from all vegetation (including tree stumps) and other cellulose material which may encourage timber pest activity. Also, storage of materials in subfloor areas is not recommended as it reduces ventilation and makes inspection difficult. Obstructions may be concealing evidence of timber pest attack which may only be revealed when the obstructions are moved or removed. Bodily access should be provided to all accessible subfloor areas with the minimum requirement being a 500 mm x 400 mm access manhole. In the case of suspended floors, if the clearance between the ground and structural components is less than 400 mm, then the ground should be excavated to provide the required clearance, subject to maintaining adequate drainage and support to footings. If the subfloor has been sprayed for subterranean termites or if the area is susceptible to mould growth, appropriate health precautions must be followed before entering the area. Also, special care should be taken not to disturb the treated soil. Always seek further advice from the Consultant.

A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

A more invasive physical inspection is available and recommended:

As detailed above, there are many limitations to this visual inspection only. With the permission of the owner of the premises we WILL perform a more invasive physical inspection that involves moving or lifting insulation, stored items, furniture, or foliage during the inspection. We WILL physically touch, tap, test and when necessary, force/gouge suspected accessible timbers. We WILL gain access to areas, where physically possible and considered practical and necessary, by way of cutting traps and access holes.

This style of Report is available by ordering with several days' notice. Inspection time for this style of Report will be greater than for a VISUAL INSPECTION.

It involves disruption in the case of an occupied property, and some permanent marking is likely. You must arrange for the written permission of the owner who must acknowledge all the above information and confirm that our firm will not be held liable for any damage caused to the property.

A price is available on request.

Concrete slab homes:

Homes constructed on concrete slabs pose special problems with respect to termite attack. If the edge of the slab is concealed by concrete paths, patios, pavers, garden beds, lawns, foliage, etc. then it is possible for termites to affect concealed entry into the property, and they can then cause extensive damage to concealed framing timbers. Even the most experienced Inspector may be unable to detect their presence due to concealment by wall linings. Only when the termites attack timbers in the roof void, which may in turn be concealed by insulation, can their presence be detected. Where termite damage is in the roof, it should be expected that concealed framing timbers will be extensively damaged. With a concrete slab home, it is imperative that you expose the edge of the slab and ensure that foliage and garden beds do not cover the slab edge. Weep holes must be kept free of obstructions.

It is strongly recommended that you have a Termite Inspection in accordance with AS 3660.2 carried out every 6 to 12 months.

Subterranean termites:

No property is safe from termites. General Description of Attack Timber hollowed beneath; some cracking at the surface of timber; earthen channels present; or pale faecal spots present.

Important note:

As a delay may exist between the time of an attack and the appearance of telltale signs associated with the attack, it is possible that termite activity and damage exists though not discernible at the time of inspection.

Treatment After discovery of an active infestation, it is imperative that the species of termite is accurately identified before costly (and sometimes unnecessary or inappropriate) methods of treatment are initiated. Only economically important species which are known to attack timber structures should be treated.

In the case of economically important species, it is important that the termite workings are not further disturbed until the proposed method of control has been determined by a licensed pest control operator. Premature attempts to repair or replace infested timber may cause the termites to withdraw from the area temporarily, thereby hindering effective treatment. Any repair or replacement of infested timber should be carried out after the appropriate treatment has been completed.

Where evidence of active termites is detected within a building or within 50 metres of any building, it must always be assumed that the termites may also be active in areas of the property not inspected. Accordingly, where the termites are known to be of economic significance, a further (more invasive) inspection is strongly recommended of areas which were inaccessible, not readily accessible or obstructed at the time of inspection.

Termite Workings and Damage Where evidence of damage to building timbers exists, competent advice (e.g. from a licensed or registered building contractor) should be obtained to determine the extent of any structural damage and as to the need or otherwise for rectification or repair work.

Where evidence of inactive termites is located within the building, it is possible that termites are still active in areas of the property not inspected and they may continue to cause damage. A furthermore invasive inspection is strongly recommended of areas which were inaccessible, not readily accessible or obstructed at the time of inspection.

Where evidence of an inactive termite infestation exists, it is not possible, without benefit of further investigation and inspections over a period, to ascertain whether any infestation is active or inactive. Continued, regular, inspections are essential.

Where evidence of termite attack exists to any trees or tree stumps a more conclusive search should be undertaken. This may require the tree or stump to be drilled to determine the existence of a termite nest. In addition, the soundness and stability of any standing trees identified as being affected by termite attack should be confirmed. Always seek further advice from the Consultant.

Previous Treatments Where evidence of a possible termite treatment was located, the Client should obtain and keep on file all relevant documents pertaining to the extent of the treatment, any service warranties and advice in regard to the building owner's obligation to maintain the treatment and/or barrier. If evidence of a previous treatment of termite infestation is noted, and appropriate documentation is not available, the Client must assume that the termite infestation may still be active in areas of the property not inspected. Accordingly, a re-treatment may be required. Always seek further advice from the Consultant.

Frequency of Future Inspections Australian Standard AS 3660 recognises that regular inspections will not prevent termite attack but may help in the detection of termite activity. Early detection will allow remedial treatment to be commenced sooner and damage to be minimised.

Inspections at intervals not exceeding twelve (12) months are recommended. Where the termite risk is high or the building type susceptible to termite attack, more frequent inspections (3-6 months) should be undertaken.

Risk management options:

To help protect against financial loss, it is essential that the building owner immediately control or rectify any evidence of destructive timber pest activity or damage identified in this inspection report. The Client should further investigate any high-risk area where access was not gained. It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of conditions conducive to timber pest attack.

To help minimise the risk of any future loss, the Client should consider whether the following options to further protect their investment against timber pest infestation are appropriate for their circumstances:

Undertake thorough regular inspections at intervals not exceeding twelve months or more frequent inspections where the risk of timber pest attack is high, or the building type is susceptible to attack. To further reduce the risk of subterranean termite attacks, implement a management program in accordance with Australian Standard AS 3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS 3660 stresses that subterranean termites can bridge, or breach barrier systems and inspection zones and that thorough regular inspection of the building are necessary.

CONTACT THE INSPECTOR

Please feel free to contact the Inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties or timber pest activity and/or damage in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this Report, then you should immediately contact the Inspector and have the matter explained to you.

If you have any questions at all or require any clarification, then contact the Inspector prior to acting on this Report.

NOTICE TO THE PURCHASER

(a) Prior to or on Exchange, and prior to the commencement of the 'Cooling-off Period', you were given an Inspection Report on the Property you intend on purchasing ("the Report"). The Purchaser is advised that this Report reflects the condition of the property existing at the time of the Inspection (Inspection Date) and may not reflect the current state. Timber Pests, particularly Termites, may have gained entry to the property since the Inspection Date. Termites can, in a relatively short period, cause significant damage to both structural and non-structural timbers within and around the buildings of the Property.

Termites (white ants) may be difficult to detect and much of the damage caused may not be readily visible. If damage exists, then it may cost thousands of dollars to repair.

It is, therefore, very strongly recommended that you urgently arrange for another Inspection and Report in accordance with AS4349.3 to be carried out prior to exchange, or prior to the expiration of any 'Cooling off Period', and prior to settlement.

(b) If the Report indicated the presence of Termites, termite damage or recommends any treatments or other Inspections and Reports, you should obtain copies of the treatment proposal, any certificates of treatments carried out, details of all repairs including copies of quotations, invoices, and any other Reports.

It is strongly recommended that you arrange for an Inspection and Report in accordance with AS 4349.3 to verify that the treatment has been successful and carried out in accordance with AS 3660.2 and a further building Inspection in accordance with AS 4349.1.

(c) If you fail to procure a further Inspection and report as recommended in (a) and (b), or fail to obtain copies of the treatment proposal, certificates of treatment carried out, details of all repairs including copies of quotations, invoices and any other reports as recommended in (b) above, then it will be deemed that you have decided not to have a further Inspection and report carried out, or to obtain copies of certificates of treatments carried out, details of all repairs including copies of quotations, invoices and any other reports.

It will be deemed that you have relied upon your own enquiries and the report, knowing the possible consequences and that the condition of the property, as stated in the report, may have changed.

(d) The person carrying out the Inspection and the company, partnership or sole trader that employs that person will have no liability to you for any damage or loss you may suffer as a result of your entering the contract to purchase the property or in connection with completing the purchase of the property as a result of your failure to heed the advice given in (a) and (b) and the warning contained in (c) above, and may use such failure in defense of any claim that you may later make against any of them.

Compliance Report



COMPLIANCE REPORT

This is a Compliance Report regarding any unapproved structures or alterations. ACT Property Inspections have accessed the attached Building File from ACT Planning and Land Authority (ACTPLA) and hold no responsibility for any inaccuracies in the Building File supplied by ACTPLA. The Compliance report is based solely upon the information available from the Building File which does not contain information regarding Plumbing or Electrical work that has taken place since the original construction. Information regarding the Plumbing and Electrical is available upon application from ACTPLA. Since we are not Plumbers or Electricians, we are unable to comment on those works. If structures have been noted as requiring approval, a Certifier should be engaged to assess if the structure will comply with the relevant ACT legislation. Owners must be aware that unapproved structures may not comply and may require significant repair, design change or possible removal.

Property Address: 9/148 Overall Ave, Casey ACT 2913
Unit, Block & Section: Unit 9 Block 11 Section 132 CASEY
Inspection Date: Thursday, March 19th 2026

APPROVAL STATUS

Description	Plan number	Certificate of occupancy date	Approval status
New Townhouse with attached Garage – Unit 9	B20206026/A+/B	08/04/2022	Approved.

SURVEY REPORT

Survey Report completed by	Date Survey report was completed	Comments
Clarke & Di Pauli Surveyors	Tuesday, 19 October 2021	There are no apparent encroachments upon this land or by this property on adjoining lands or street.

Conveyancing File



CONVEYANCING PART 2

No information is provided in respect of electrical, drainage or sewer matters and or to the location of overhead power lines or underground cables in relation to the building.

- | | <u>Yes</u> | <u>No</u> |
|---|--------------------------|-------------------------------------|
| 1. (a) Is this a government or ex government house? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| (b) If yes, is there a building file with approvals on it? | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Is there any record of incomplete building work on the building file?
If yes - file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 3. Are there any records on the building file of current (within 5 years) housing Indemnity insurance policies for building work? If yes - file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 4. Are there any records on the building file showing building applications still being processed? (Current within 3 years) If yes - file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 5. Are there any records on the building file in relation to loose-fill asbestos insulation? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

If available, copies of the following documents are provided:

- | | | |
|--|-------------------------------------|-------------------------------------|
| • Certificate/s of Occupancy and Use | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| • Survey Certificates | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| • Unit Plan/Unit Entitlements (if property is unit titled) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| • Approved Building Plans | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| • Ex- government Building Plans* | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

If requested:

- | | | |
|--------------------|-------------------------------------|--------------------------|
| • Drainage Plan(s) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--------------------|-------------------------------------|--------------------------|

ASBESTOS

The ACT Government is not able to guarantee the accuracy of the information in this report.

You should make your own enquiries and obtain reports (from a licensed Asbestos Assessor) in relation to the presence of loose fill asbestos insulation (and other forms of asbestos) on the premises. For more information go to the Asbestos Awareness Website –

www.asbestos.act.gov.au

Please note: Development Approval plans will not be included in this report (We do not receive Development Approval Plans unless they are part of a Building Approval in which case they become Building Approval Plans), if development approval was granted you can request copies of the Development Approval plans from ACEPDcustomerservices@act.gov.au.

Please Note: Building approvals that have been generated via eDevelopment will be issued with a project number prefixed by the letter B. Initial building approval documentation will be identified with project number B20XXXXX only but will be referenced as B20XXXXX/A on the Certificate of Occupancy and Use. Any amendments to the original approval will be issued with the project number and an alphanumeric digit. The first amendment will be identified as B20XXXXX/B, the second amendment B20XXXXX/C etc. Not all eDevelopment plans will be stamped with the plan number.

*Ex Government plans: Plans are typical and not specific to each residence. There may be slight changes to the layout or window locations that were not required to be approved.

Search officer comments (if any?)

Search officer initials: Kayne

Cost of application: \$ 144.79

Date completed:

13/03/2026

SITE PLAN

LAND DETAILS

Block	II
Section	132
Division	CASEY
Deposited Plan Number	15269
Volume/Folio	3009 : 887
Class of Units (A or B)	B

CCH Investment No.1
Pty Limited & Worth
Street Residential
(K) Pty Limited by their
Attorney ALFONSO
DEL RIO pursuant to
Power of Attorney
ACT Registration No.
0147072 of which he
has no notice of
revocation

Alfonso del Rio

Signature of Lessee

Sharon Harmer

Sharon Harmer 19th May 2022

Delegate of the
ACT Planning and Land Authority

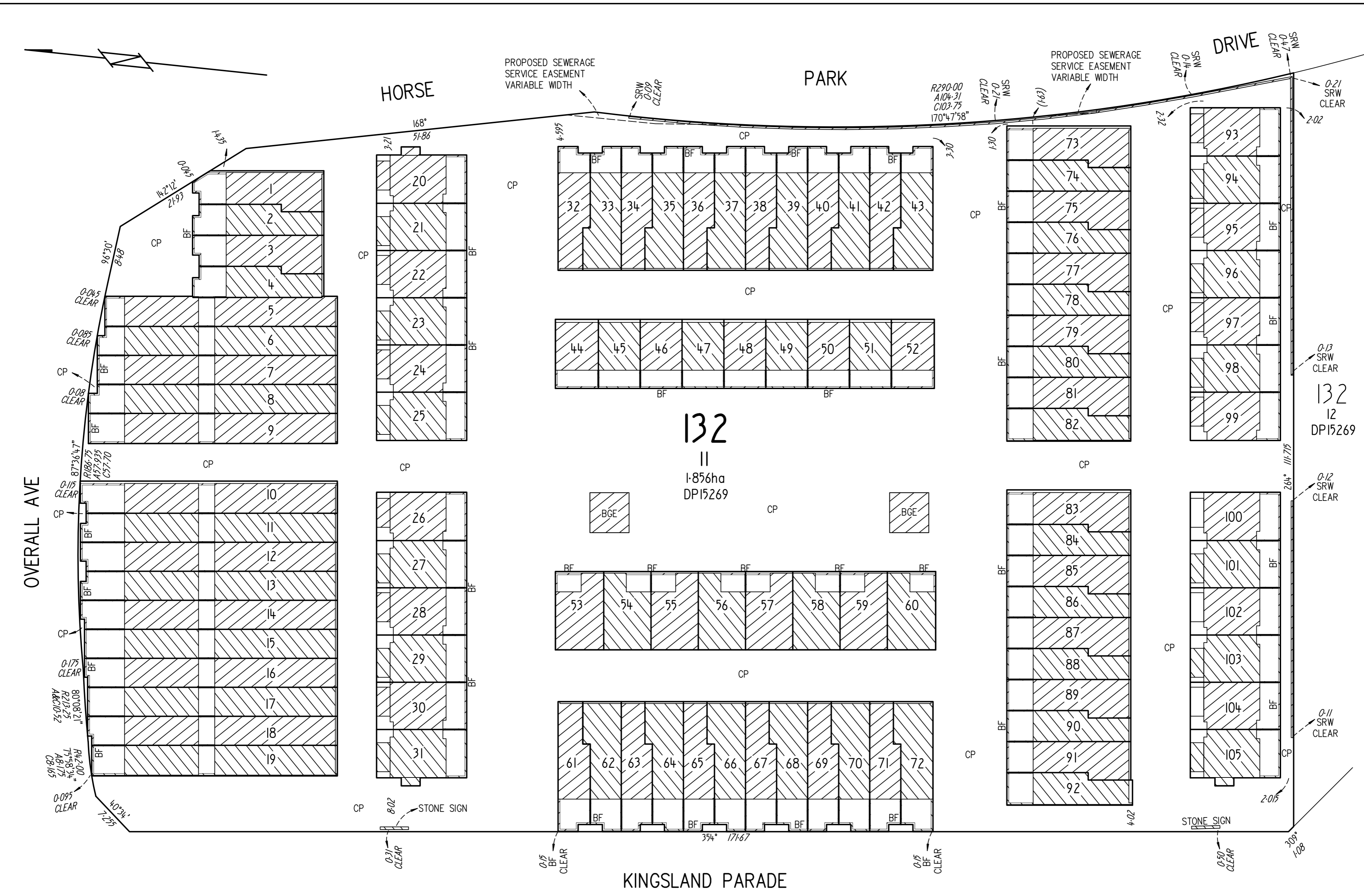
APPROVED UNDER THE UNIT TITLES ACT 2001,
AS THE UNITS PLAN FOR THE SUBDIVISION
OF THE ABOVE MENTIONED PARCEL OF LAND

David Pryce
Registrar-General

21/06/2022

UNITS PLAN No.

15466



ALL BUILDINGS ARE BRICK & METAL
UNITS 53-72 ARE ONE STOREY
UNITS 5-19 ARE ONE & TWO STOREYS
UNITS 1-4, 32-52 & 73-92 ARE TWO STOREYS
UNITS 20-31 & 93-105 ARE THREE STOREYS

Form 1
Form 088 - SP

Graphic bar scale - SCALE 1: 400

Units and Subsidiaries are subject to the provisions of Section 34 of the Unit Titles Act 2001, where applicable.

0 1 5 10 20 METRES

SURVEYORS DECLARATION

I, STEVEN BELJANSKI of CLARKE & DI PAULI Pty Ltd
PO BOX 88 QUEANBEYAN NSW 2620

Steven Beljanski
Signature of Registered Surveyor

A surveyor registered under the Surveyors Act 2007, herby certify that:

- The survey represented by the diagrams on forms 1 and 3 of this plan are accurate and was completed on (insert date) - 23/03/2022
- The survey is in accordance with the following Acts:
 - Unit Titles Act 2001;
 - Land Titles (Unit Titles) Act 1970;
 - Land Titles Act 1925; and,
 - any other Regulation made under those Acts and in accordance with the Surveyors Practice Directions.

25/03/2022
Dated 30 of 81

CROSS OUT EITHER OF ITEM 3 OR 3(a)-3(c), WHICHEVER DOES NOT APPLY — 3(a)-(c) CANNOT APPLY IF AN ENCROACHMENT OCCURS OVER A ROAD OR PUBLIC PLACE UNLESS THE ENCROACHMENT IS AN ATTACHMENT AS DEFINED BY THE UNIT TITLES ACT 2001.

3. Each building (including anything attached to it) or building in the course of erection on the parcel is wholly within the parcel.

OR

3 (a), (b), (c)

1st floor 182-200 City Walk
Canberra ACT 2601

Address for Service of Notice

1st floor 182-200 City Walk
Canberra ACT 2601

Address for Service of Notice

LJ Hooker Strata

Name of Manager / Owners Corporation

SUE

Form 078



SCHEDULE OF UNIT ENTITLEMENTS

1. LAND

District/Division	Section	Block	Unit Plan No
CASEY	132	11	15466

2. APPROVAL UNDER UNIT TITLES ACT 2001

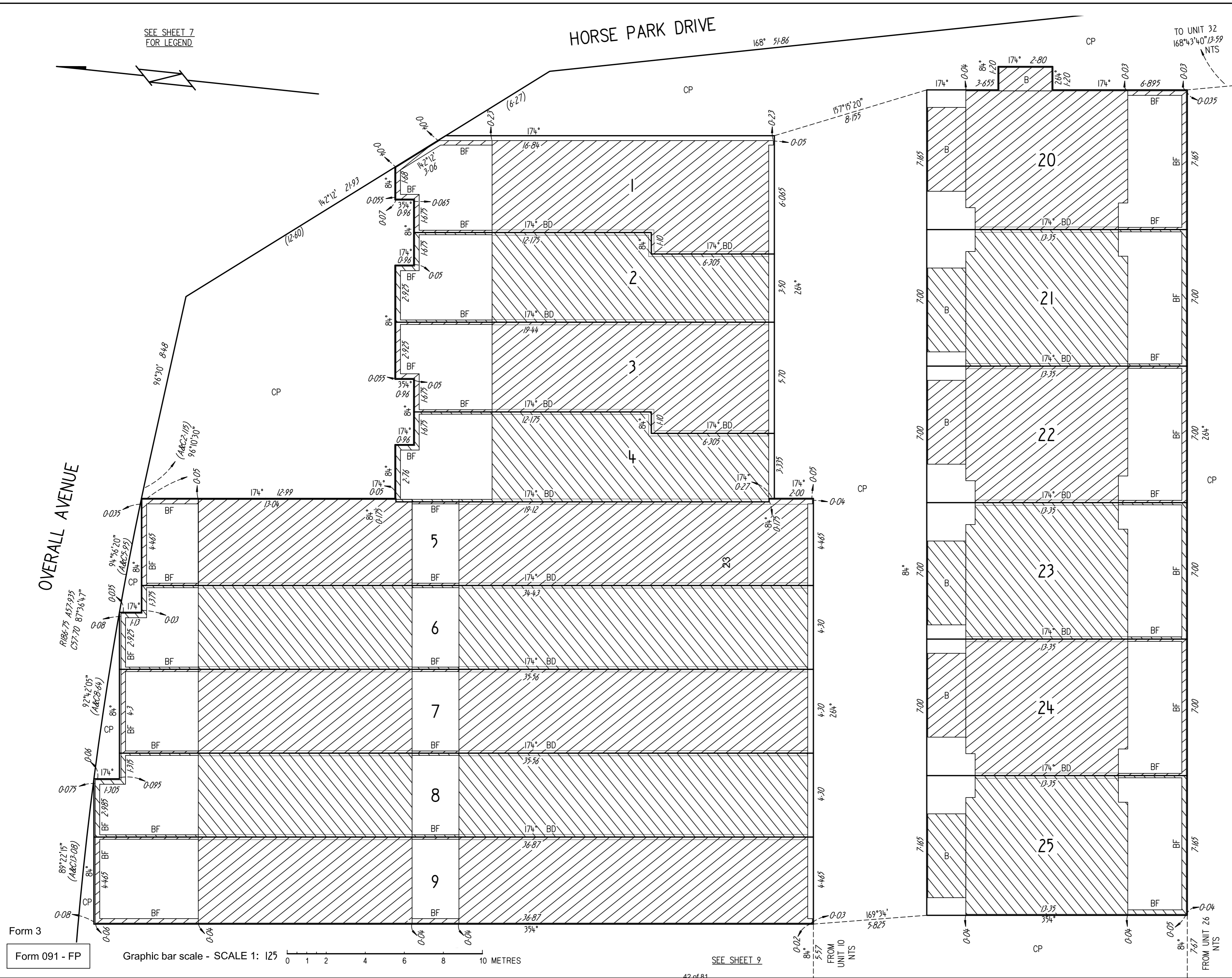
COLUMN 1			COLUMN 2	
UNIT NO	UNIT ENTITLEMENT	UNIT SUBSIDIARIES	VOLUME	FOLIO
1	94	-	3012	14
2	90	-	3012	15
3	94	-	3012	16
4	90	-	3012	17
5	110	-	3012	18
6	110	-	3012	19
7	110	-	3012	20
8	110	-	3012	21
9	110	-	3012	22
10	110	-	3012	23
11	110	-	3012	24
12	110	-	3012	25
13	110	-	3012	26
14	110	-	3012	27
15	110	-	3012	28
16	110	-	3012	29
17	110	-	3012	30
18	110	-	3012	31
19	110	-	3012	32
20	110	-	3012	33
21	110	-	3012	34
22	110	-	3012	35
23	110	-	3012	36
24	110	-	3012	37
25	110	-	3012	38
Aggregate		See Sheet 6	The Certificate of Title issued for each of the units into which the parcel of land has been subdivided is as shown in Column 2 above. The Certificate of Title for the common property is:	
			Volume	Folio
			3012	13
			David Pryce Registrar-General	
			Deputy Registrar-General	

SEE SHEET 7 FOR LEGEND

HORSE PARK DRIVE

LAND TITLES
ACCESS CANBERRA
Chief Minister, Treasury and Economic Development Directorate
Sheet No.8.....of23.....
FLOOR PLAN
Block
II
Section
132
Division
CASEY
FLOOR NUMBER
GROUND

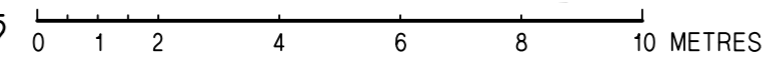
OVERALL AVENUE



Form 3

Form 091 - FP

Graphic bar scale - SCALE 1: 125



SEE SHEET 9

UNITS PLAN No. 15466

SEE SHEET 10

19th October 2021

Our Ref:13035_ID01



Clarke & Di Pauli
surveyors

providing excellence in surveying since 1956

Elevated Constructions Pty Ltd
No.3 Tooth Street
Mitchell, ACT, 2911

Level 1, 19 Monaro Street (PO Box 88)

Queanbeyan NSW 2620

p: 02 6299 1836 f: 02 6299 4560

e: info@cdsurveyors.com.au

www.cdsurveyors.com.au

Re: Blk 11 Sec 132, X21600
Property at No.60 Kingsland Parade, Casey

Dear Sirs,

As instructed by you, we have made a survey for identification purposes only, of the land being Block 11 Section 132 in the Division of Casey, as shown in plan X21600. The surveyed boundaries are those shown edged red in sketch 13035_ID01 attached.

Multiple new brick, metal and concrete slab townhouses under construction known as No.60 Kingsland Parade, in our opinion stand upon and wholly within the boundaries of the subject land as shown in sketch 13035_ID01.

Survey was of concrete slabs only.

In our opinion, distance from concrete slabs to boundaries are as shown on the sketch. The finished floor levels are as shown on sketch 13035_ID01

Where any additional improvements are to be made to the property further survey may be required.

This survey has not marked the boundaries and does not report on any restrictions, any other encumbrances on the land, nor compliance with any statutory regulations.

The sole purpose of this survey report is to identify the land and improvements thereon. The report must not be used for any form of construction nor for any other purposes, where no responsibility will be accepted what so ever.

This report is for the use only of the party to whom it is addressed and/or their authorised representative and is non-transferable upon change of ownership of the subject land. No authority is given and no responsibility is accepted to any third party that may use or rely on the whole or any part of the content of this survey.

Yours Faithfully
Clarke & Di Pauli Surveyors

Per

Steven Beljanski
*Surveyor Registered under
the Surveyors Act 2007*

SKETCH

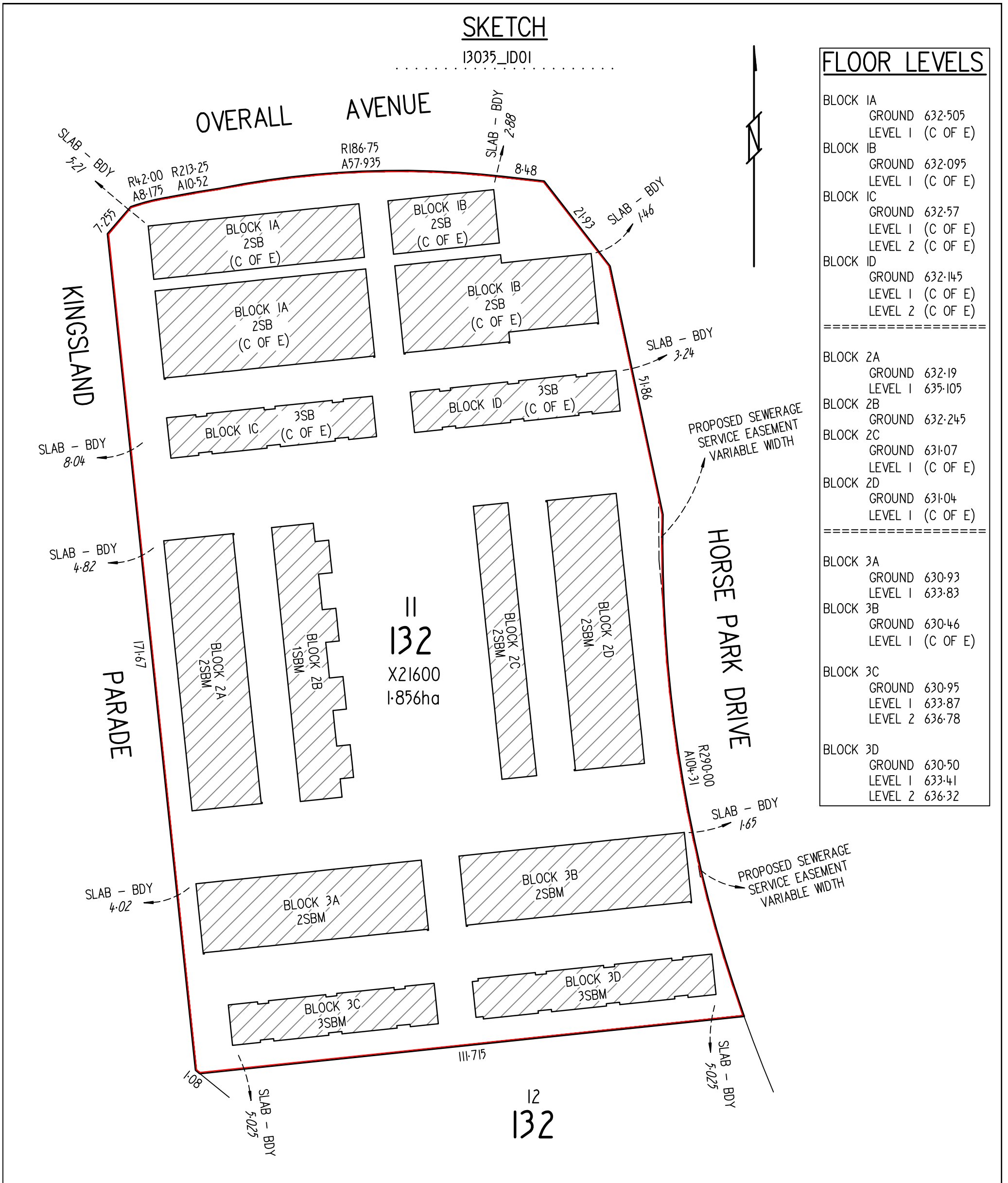
13035_ID01

FLOOR LEVELS

BLOCK IA	GROUND	632.505
	LEVEL 1 (C OF E)	
BLOCK IB	GROUND	632.095
	LEVEL 1 (C OF E)	
BLOCK IC	GROUND	632.57
	LEVEL 1 (C OF E)	
	LEVEL 2 (C OF E)	
BLOCK ID	GROUND	632.145
	LEVEL 1 (C OF E)	
	LEVEL 2 (C OF E)	

BLOCK 2A	GROUND	632.19
	LEVEL 1	635.105
BLOCK 2B	GROUND	632.245
BLOCK 2C	GROUND	631.07
	LEVEL 1 (C OF E)	
BLOCK 2D	GROUND	631.04
	LEVEL 1 (C OF E)	

BLOCK 3A	GROUND	630.93
	LEVEL 1	633.83
BLOCK 3B	GROUND	630.46
	LEVEL 1 (C OF E)	
BLOCK 3C	GROUND	630.95
	LEVEL 1	633.87
	LEVEL 2	636.78
BLOCK 3D	GROUND	630.50
	LEVEL 1	633.41
	LEVEL 2	636.32



IMPORTANT NOTE

This sketch must be read in conjunction with the accompanying written report, It is of an identification survey only and MUST NOT BE USED FOR ANY OTHER PURPOSE. As such it is not registered by the Land Titles Office. Future registered survey plans, may legally affect the boundaries of this & adjoining parcels. Any differences so caused to the dimensions or position of the boundary shown on this plan are beyond the control of Clarke & Di Pauli who can accept no responsibility for such differences. Boundary dimensions shown are from title diagram only unless shown otherwise.

1SBM DENOTES SINGLE STOREY BRICK AND METAL TOWNHOUSE
 2SBM DENOTES TWO STOREY BRICK AND METAL TOWNHOUSE
 3SBM DENOTES THREE STOREY BRICK AND METAL TOWNHOUSE
 2SB DENOTES TWO STOREY BRICK TOWNHOUSE
 3SB DENOTES THREE STOREY BRICK TOWNHOUSE
 C OF E DENOTES COURSE OF ERECTION

 **Clarke & Di Pauli**
 surveyors

6299 1836
 www.cdsurveyors.com.au

19 Monaro Street
 Queanbeyan NSW 2620



STEVEN BELJANSKI
 Registered Surveyor
 Survey Date: 18/10/2021



MASTER BUILDERS
FIDELITY FUND

Certificate number

72778

Fund Reference Number

19/0044

Certificate

Date Issued: 29/09/2020

This Certificate is not underwritten by the ACT Government nor by the Master Builders Association (ACT)

This Certificate applies to one dwelling only.

The contract price, or value of the work, is: \$178,000.

The builder's *estimated* construction period is from: 29/09/2020 to 31/12/2021.

Variations of up to 10% of the contract price are automatically included.

This Certificate is issued subject to the requirements of the **ACT Building Act 2004** and section 91, and in accordance with the terms and conditions set out in the Master Builders Fidelity Fund Trust Deed.

Builder's Name: **Elevated Constructions One Pty Ltd**

Builder's Licence No: **2016621**

Block: **11** Section: **132** Unit: **7** Suburb: **Casey**

Residential Address:

Type of project, (ie speculative, contract or project management): **Contract**

For the construction of: **townhouse/unit**

Special conditions: **n/a**

Name of Owner(s): **Worth Street Pty Ltd**

Instructions to Builder:

This original certificate **MUST** be given to the home owner. Please photocopy for building approval purposes and for your records.

For variations in excess of 10% of the contract price, contact the Master Builders Fidelity Fund Manager on (02) 6175 5995.

Signature: _____

m Pauch
(For and on behalf of the Master Builders Fidelity Fund)

This certificate is issued by the Master Builders Fidelity Fund and any enquiries regarding claims against this certificate must be directed to the Master Builders Fidelity Fund c/- MBA - ACT at 1 Iron Knob Street, Fyshwick ACT 2609, telephone (02) 6280 9119.

Please read the important information overleaf regarding this Certificate.

19/0044



Certificate of Occupancy and Use

Certificate No.: **B20206026C1**

Access Canberra Land, Planning and Building Services

ABN 16 479 763 216
8 Darling Street Mitchell
GPO Box 158 ACT 2601
www.act.gov.au/accesscbr

This Certificate is issued in accordance with Section 69 (2) of the Building Act 2004.

The building work listed on this certificate has been completed substantially in accordance with the prescribed requirements and is considered fit for occupation and use.

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	11	132	CASEY	GUNGAHLIN	Australian Capital Territory

Plans
B20206026/A
B20206026/B

Building Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Const.	Unit	BCN ID	Builder
1a(II)	New	TOWNHOUSE	12 buildings of one, two and three storey construction comprising a total of 105 dwellings, with attached garages and associated works. includes 10a and 10b	NA		B20206026N1	ELEVATED CONSTRUCTIONS ONE PTY LIMITED

Comments

Important Note:

This building work incorporates an alternative solution to the Building Code of Australia (BCA). Refer to the approval documentation for further information.

The issue, under this Part, of a certificate in respect of a building or portion of a building does not affect the liability of a person to comply with the provisions of a law of the territory (including this Act) relating to the building or portion of the building.

Issued by: Carl Bunk

Issued on: 08/04/2022

Delegate of the ACT Construction
Occupations Registrar.

Absolute APPROVALS
 COULA LICENSE 2019816
 ABN: #4 621 622 919

BCA Occupancy Class
 1a & 10a
 Type of Construction
 C/A

BUILDING APPROVAL
 Issued under s. 29 & 44
 Building Act 2004
 Absolute Approvals Pty Ltd

This Building Approval is to be read in conjunction with any Supporting Documents, Design Statements, Performance Solutions and Approval Letter.

Date of Approval: 12/2020



NOTES:
 THIS DRAWING TO BE READ IN CONJUNCTION WITH LANDSCAPE ARCHITECTS' AND ENGINEERS' DRAWINGS.
 RLS SHOWN ON DRAWING AS INDICATIVE AND SUBJECT TO DETAIL DESIGN AND FINAL CIVIL LEVELS.
 TACTILE INDICATORS TO ROAD CROSSINGS AS PER AS1428.4.1-2009.

ENTRANCES TO ALL RESIDENCES ALONG THE ACCESSIBLE PATH OF TRAVEL TO AS1428.1.
 MINIMUM SIGHTLINES FOR PEDESTRIAN SAFETY IN ACCORDANCE WITH AS2890.1.
 LIGHTING ALONG THE ACCESSIBLE PATH OF TRAVEL TO BE INSTALLED IN ACCORDANCE WITH AS1428.1, AS1680, AS1158.3.

RESIDENTS HAVE ACCESS TO GROUND FLOOR WASTE ENCLOSURE. REFER WASTE MANAGEMENT PLAN.
 ALL WASHING LINES ON COURTYARD / BALCONIES NOT EXCEED AND SCREEN BY COURTYARD WALLS AND BALCONY BALUSTRADE. PLANS FOR DETAILS.

REFER TO ELECTRICAL ENGINEERS' DRAWINGS FOR EXTERNAL LIGHTING LOCATIONS.
 ALL PERGOLAS AND PRIVACY SCREENING SUBJECT TO FURTHER DETAILED DESIGN.
 TERRACE LAYOUTS AND ADAPTABLE LAYOUT REFER TO BA-50 DETAILED PLANS FOR DETAILS.

LEGEND:
 - - - - - SITE BOUNDARY
 RL 630.00 GROUND PLANE RLS
 AC UNIT AND DRYING AREA

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Rev	Description	By	Date
1	FOR COORDINATION	AK	24/04/20
2	FOR COORDINATION	DM	20/06/15
3	PRELIM SITE SETOUT	TR	20/07/20
4	FOR TENDER	TR	24/08/20
5	FOR TENDER	TR	18/09/20
A	ISSUE FOR CONSTRUCTION	TR	17/11/20

Client
 WORTH STREET PTY LTD

Construction and Project Management

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Consultants

NAME: ADDRESS: TELEPHONE:	NAME: ADDRESS: TELEPHONE:	NAME: ADDRESS: TELEPHONE:
---------------------------------	---------------------------------	---------------------------------

Project
 KINGSLAND
 BLOCK 11 SECTION 132 CASEY

Drawing Title
 SITE PLAN

Document Control Status:
 FOR CONSTRUCTION

Project No.
 917013.02

Drawing Number:
 A 11-02

Scale:
 As indicated @ A1

Date:
 04/17/20

Revision:
 A

North:

Absolute APPROVALS
 GREEN BUILDING APPROVALS
 10/10/2019
 ABN: 84 627 622 919

Approval Class
 External Brick
 Type of Wall
 N/A

Building Approval
 Issued under External Brick
 Building Class
 Absolute Approvals Pty Ltd

WTA
 METAL CLADDING (LEFT GREY)

This Building Approval is to be used in conjunction with the Supporting Documents prepared by the Applicant. Statements, Performance Schedule and Approval Letter.

WTS
 METAL CLADDING (LEFT GREY)

WT06
 METAL CLADDING (MONUMENT GREY)

WT06A
 - FC CLADDING, PAINTED SINGLE STUD

WT06B
 - FC CLADDING, PAINTED DOUBLE STUDS

WT07
 - PARTITION WALL (DOUBLE BRICK)

WT08
 - COURTYARD WALL (DOUBLE BRICK)

WT09
 - GARAGE PARTITION WALL

(REFER TO SERIES 64 FOR WALL DETAILS)

DP
 - DOWN PIPE

DPS
 - DOWN PIPE WITH SPREADER

SVP
 - 100Ø SVP

HW
 - HOT WATER UNIT

AC
 - AC CONDENSER UNIT

S
 - COURTYARD SUMP

GLAZING TYPE
 GLAZING TYPE NUMBER

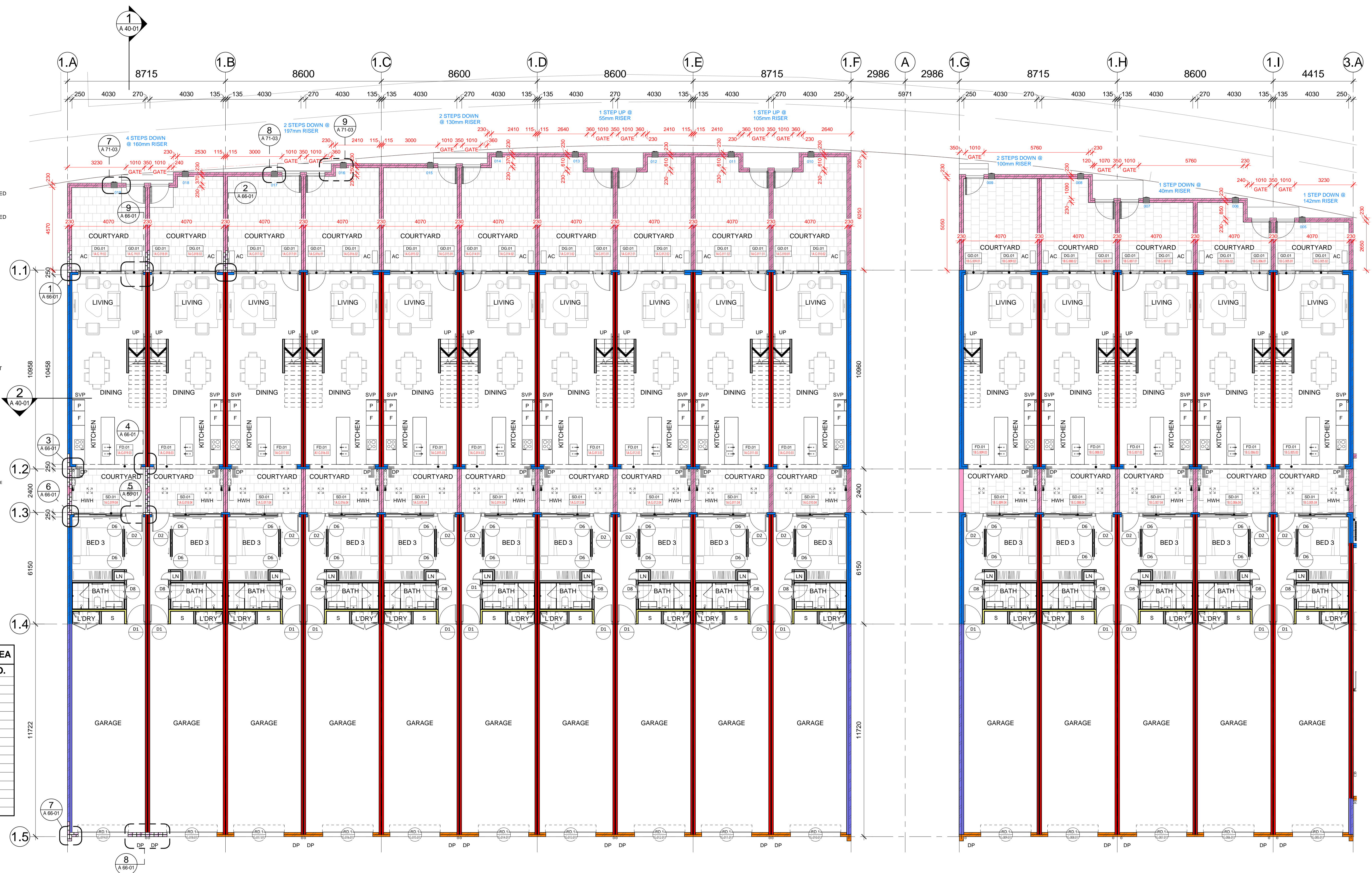
XX.01
 RUNNING NUMBER
 UNIT NUMBER
 LEVEL
 BLOCK NUMBER

HOOD TYPE LEGEND:
 H - HOOD ONLY
 LH - WINDOW HOOD WITH ATTACHED LOUVER
 WH - WINDOW HOOD

HOOD TYPE
 HOOD TYPE NUMBER

XX.01
 HOOD / WINDOW ATTACHED NUMBER

(REFER TO SERIES BA 05-XX FOR FURTHER DETAILS)



COURTYARD AREA	
AREA	UNIT NO.
13 m ²	005
15 m ²	006
17 m ²	007
21 m ²	008
24 m ²	009
28 m ²	010
27 m ²	011
27 m ²	012
27 m ²	013
27 m ²	014
25 m ²	015
25 m ²	016
23 m ²	017
22 m ²	018
21 m ²	019

1 BLOCK 1A & 1B GF
 A 11-02 SCALE 1 : 100

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Rev	Description	By	Date
1	FOR COORDINATION	DM	20/09/15
2	FOR COORDINATION	TR	03/07/20
3	FOR COORDINATION	TR	17/07/20
4	FOR TENDER	TR	24/08/20
A	ISSUE FOR CONSTRUCTION	TR	17/11/20

Client
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 TEL/FAX:

NAME:
 ADDRESS:
 TEL/FAX:

NAME:
 ADDRESS:
 TEL/FAX:

Project
 KINGSLAND
 BLOCK 11 SECTION 132 CASEY

Drawing Title
 LIGHTHOUSE - GROUND

Document Control Status:
 FOR CONSTRUCTION

Project No.
 917013.02

Drawing Number:
 A 21-1-G

Scale:
 1 : 100 @ A1

Date:
 04/24/20

Revision:
 A

North:

Drawn:
 DM

Project Director:
 RM

Project Architect:
 TR

Co-ordinated:
 TR

At Drawing Sheet:
 FOR CONSTRUCTION

Client:
 WORTH STREET PTY LTD

Construction and Project Management:
 Elevated Living

Architect:
 COX Architecture

Consultants:
 NAME, ADDRESS, TEL/FAX

Project:
 KINGSLAND
 BLOCK 11 SECTION 132 CASEY

Drawing Title:
 LIGHTHOUSE - GROUND

Document Control Status:
 FOR CONSTRUCTION

Project No.:
 917013.02

Drawing Number:
 A 21-1-G

Scale:
 1 : 100 @ A1

Date:
 04/24/20

Revision:
 A

North:

Drawn:
 DM

Project Director:
 RM

Project Architect:
 TR

Co-ordinated:
 TR

At Drawing Sheet:
 FOR CONSTRUCTION

Client:
 WORTH STREET PTY LTD

Construction and Project Management:
 Elevated Living

Architect:
 COX Architecture

Consultants:
 NAME, ADDRESS, TEL/FAX

Project:
 KINGSLAND
 BLOCK 11 SECTION 132 CASEY

Drawing Title:
 LIGHTHOUSE - GROUND

Document Control Status:
 FOR CONSTRUCTION

Project No.:
 917013.02

Drawing Number:
 A 21-1-G

Scale:
 1 : 100 @ A1

Date:
 04/24/20

Revision:
 A

North:

Drawn:
 DM

ABSOLUTE APPROVALS
 Building Approval Class
 Issued under the Building Act 2007
 Absolute Approvals Pty Ltd
 4/12/2020

WT06A - METAL CLADDING (MONUMENT GREY)
 WT06B - FC CLADDING, PAINTED SINGLE STUD
 WT06C - FC CLADDING, PAINTED DOUBLE STUDS
 WT07 - PARTITION WALL (DOUBLE BRICK)
 WT08 - COURTYARD WALL (DOUBLE BRICK)
 WT09 - GARAGE PARTITION WALL

(REFER TO SERIES 64 FOR WALL DETAILS)

DP - DOWN PIPE
 DPS - DOWN PIPE WITH SPREADER
 SVP - 100Ø SVP
 HWH - HOT WATER UNIT
 AC - AC CONDENSER UNIT
 S - COURTYARD SUMP

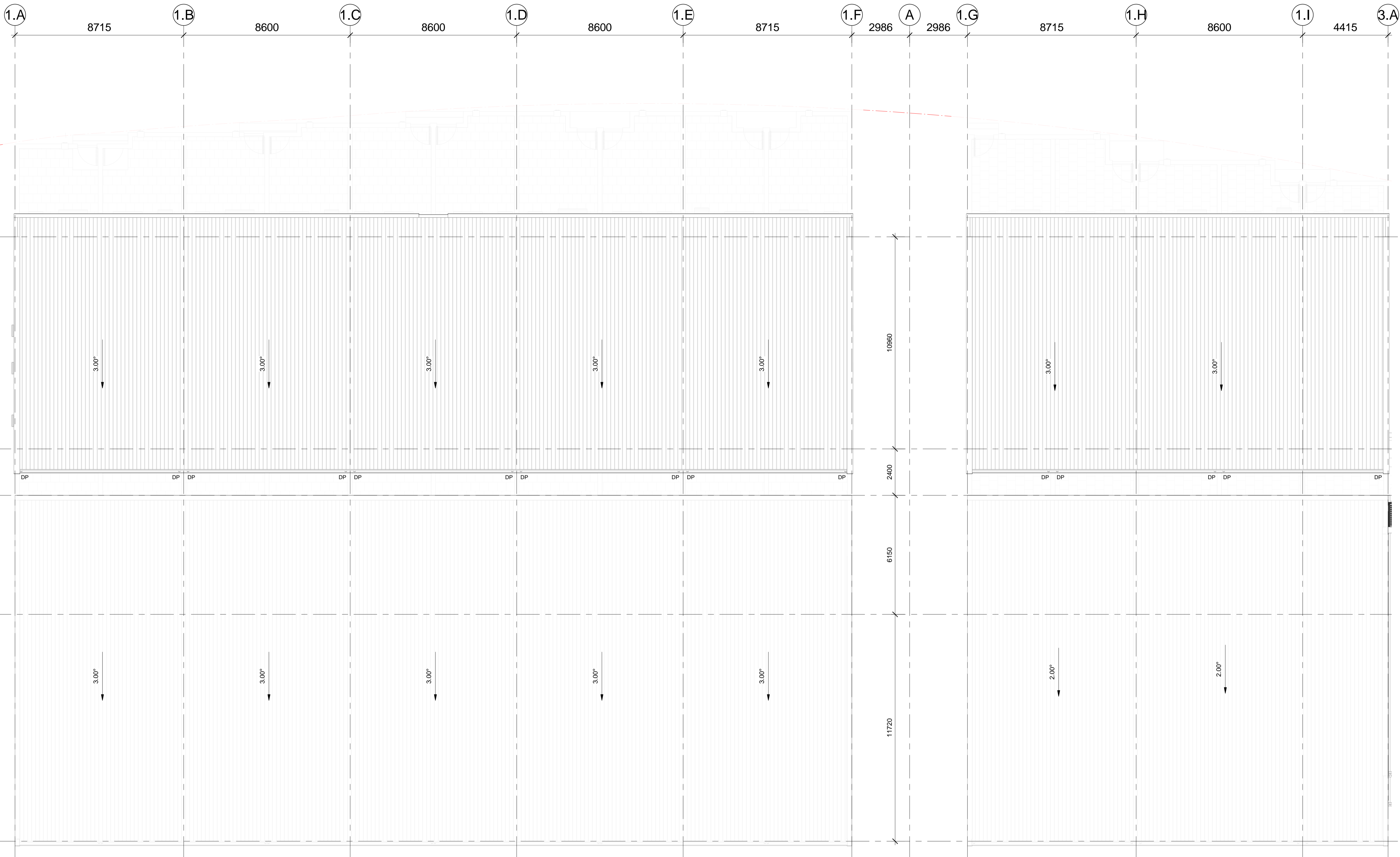
GLAZING TYPE
 GLAZING TYPE NUMBER
 XX.01
 XX.01.01

RUNNING NUMBER
 UNIT NUMBER
 LEVEL
 BLOCK NUMBER

HOOD TYPE LEGEND:
 H - HOOD ONLY
 LH - WINDOW HOOD WITH ATTACHED LOUVER
 WH - WINDOW HOOD

HOOD TYPE
 HOOD TYPE NUMBER
 XX.01
 XX.01.01

(REFER TO SERIES BA-65-XX FOR FURTHER DETAILS)



1 BLOCK 1A & 1B ROOF
 BA 21-04 SCALE 1 : 100

Rev	Description	By	Date
1	FOR COORDINATION	DM	20/09/15
2	FOR COORDINATION	TR	03/07/20
3	FOR COORDINATION	TR	17/07/20
4	FOR TENDER	TR	24/08/20
A	ISSUE FOR CONSTRUCTION	TR	17/11/20

Client
WORTH STREET PTY LTD

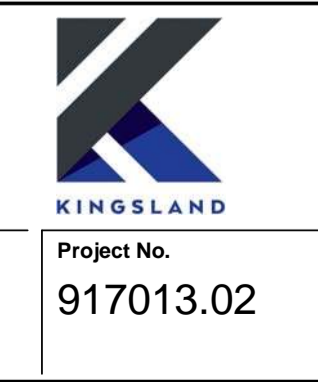


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NAME: ADDRESS: TELEFAX:	NAME: ADDRESS: TELEFAX:
NAME: ADDRESS: TELEFAX:	NAME: ADDRESS: TELEFAX:
NAME: ADDRESS: TELEFAX:	NAME: ADDRESS: TELEFAX:

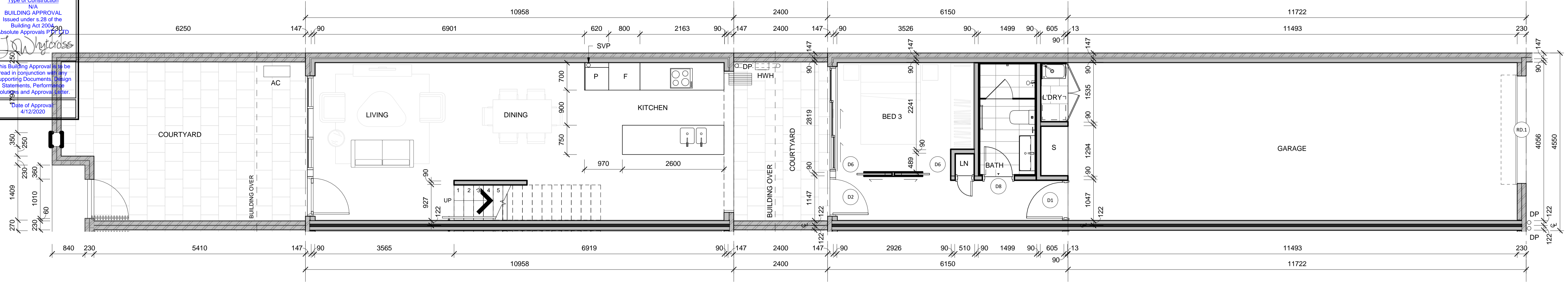
Project
KINGSLAND
 BLOCK 11 SECTION 132 CASEY

Drawing Title
LIGHTHOUSE - ROOF

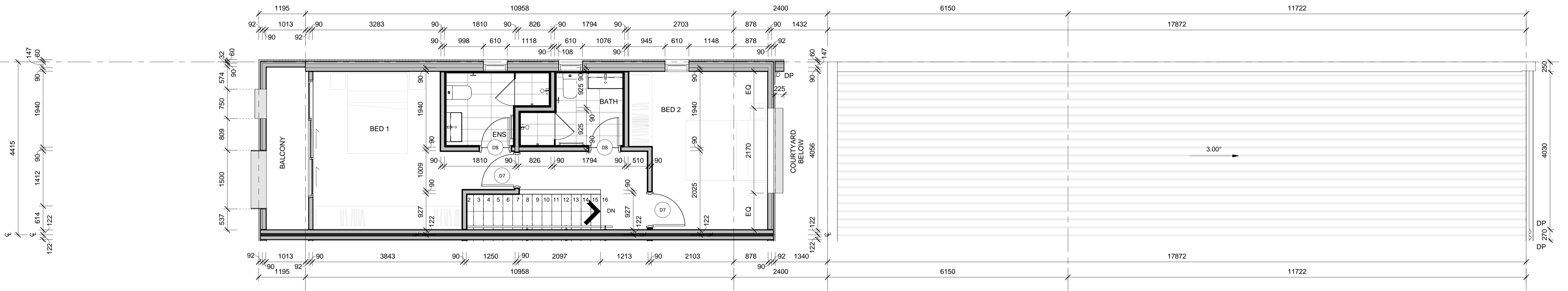


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Co-ordinated: TR	Scale: 1 : 100 @ A1
Project Architect: TR	Date: 04/30/20
Project Director: RM	Revision: A
Drawing Number: A 21-1-R	North:

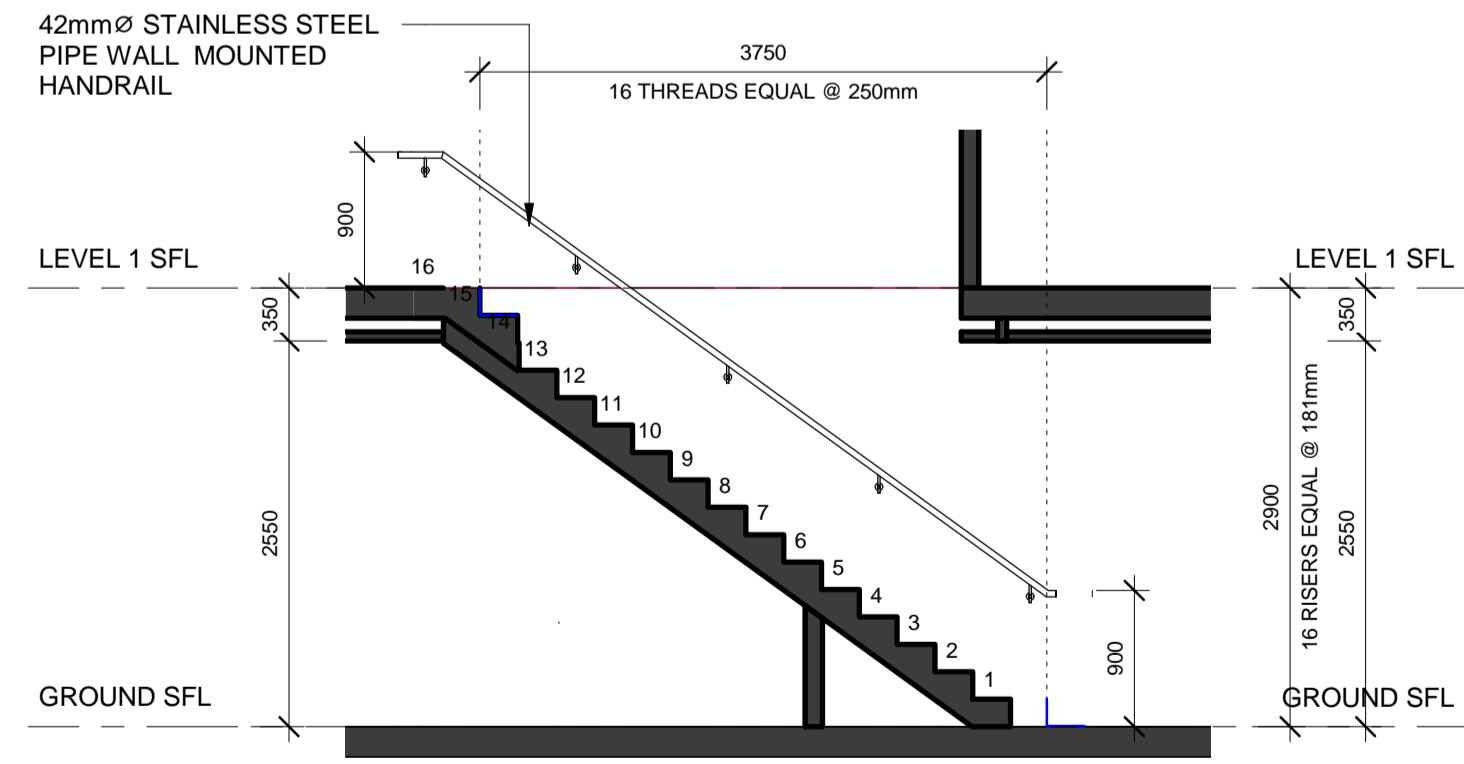
Absolute APPROVALS
 COLA LICENSE: 2019816
 ABN: 84 621 622 919
 BCA Occupancy Class
 1a & 10a
 Type of Construction
 N/A
 BUILDING APPROVAL
 Issued under s.28 of the
 Building Act 2004
 Absolute Approvals Pty Ltd
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 read in conjunction with any
 Supporting Documents, Design
 Statements, Performance
 Solutions and Approval Letter.
 Date of Approval
 4/12/2020



1 TYP 2 STOREYS LIGHTHOUSE -
 GROUND FLOOR PLAN
 SCALE 1 : 50



2 TYP 2 STOREYS LIGHTHOUSE -
 LEVEL 1 PLAN
 SCALE 1 : 50



STAIR SECTION DETAIL -
 LIGHTHOUSE
 SCALE 1 : 50

AREA SCHEDULE - 2 STOREY LIGHTHOUSE		
Name	AREA	
LIGHTHOUSE GROUND LEVEL (FRONT)	42 m ²	
LIGHTHOUSE GROUND LEVEL (BACK)	24 m ²	
LIGHTHOUSE GROUND LEVEL (GARAGE)	46 m ²	
LIGHTHOUSE LEVEL 1	47 m ²	
TOTAL	159 m²	

NOTE:
 AREA CALCULATIONS ARE MEASURED TO THE INSIDE FACE OF THE PERIMETER WALLS AND PARTY WALLS

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Rev	Description	By	Date
1	PRELIMINARY	TR	21/07/20
2	FOR TENDER	TR	24/08/20
A	ISSUE FOR CONSTRUCTION	TR	17/11/20

Client
WORTH STREET PTY LTD

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 TEL/FAX:
 NAME:
 ADDRESS:
 TEL/FAX:

Project
KINGSLAND
 BLOCK 11 SECTION 132 CASEY
 Drawing Title
TYPICAL 2 STOREYS LIGHTHOUSE

Project No.
917013.02

Document Control Status:
FOR CONSTRUCTION
 At Drawing Sheet
 Co-ordinated: AK
 Project Architect: TR
 Project Director: RM
 Drawing Number:
A 50-02
 Drawn: DM
 Scale: As indicated @ A1
 Date: 04/17/20
 Revision: A
 North:

Absolute APPROVALS
 COA LICENSE: 2019816
 ABN: 84 621 622 919

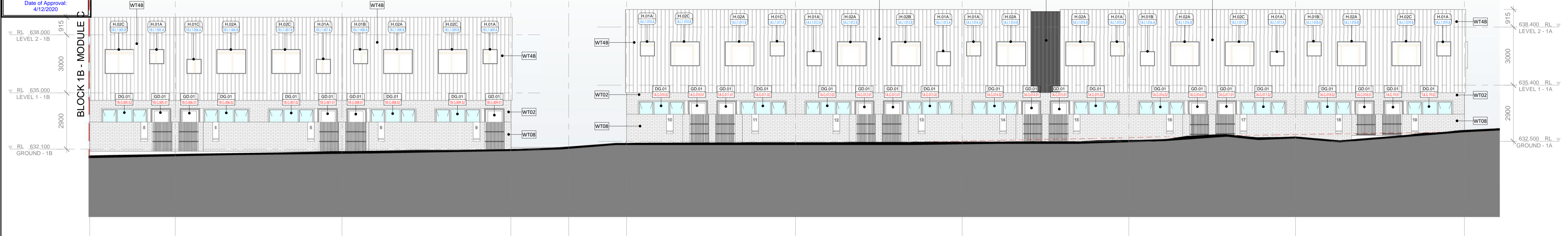
BCA Occupancy Class
 1a & 10a
 Type of Construction
 N/A

BUILDING APPROVAL
 Issued under s.28 of the
 Building Act 2004.
 Absolute Approvals PTY LTD

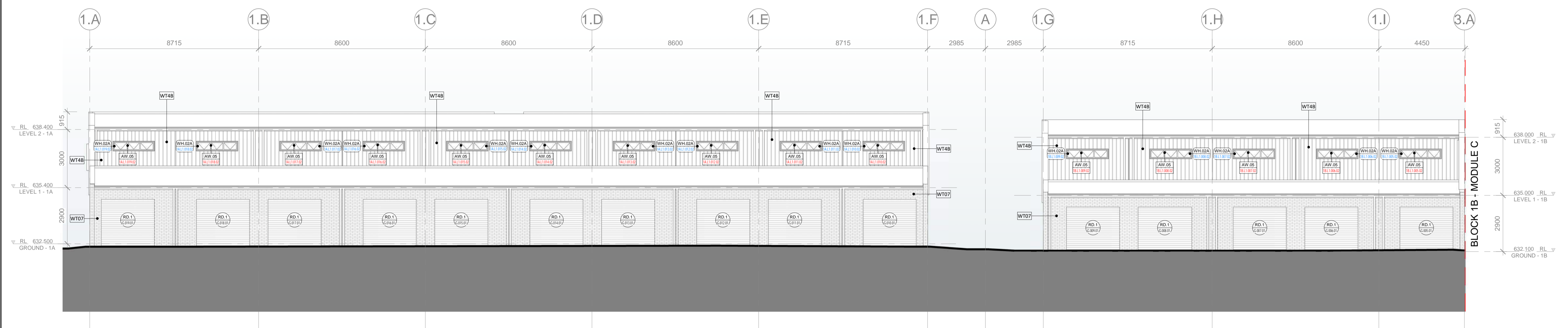
J.W. Whycross

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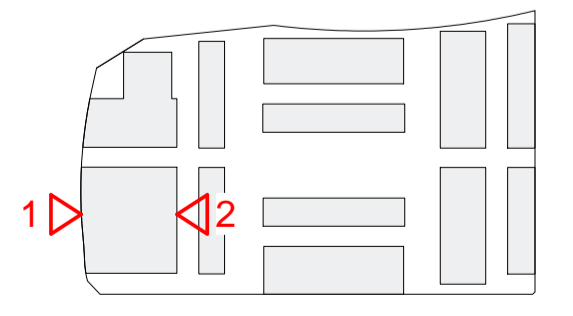
Date of Approval
 4/12/2020



1 BLOCK 1A & 1B - OVERALL AVENUE
 BA 21-02 SCALE 1 : 100



2 BLOCK 1A & 1B - LANEWAY 1
 BA 21-02 SCALE 1 : 100



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Rev	Description	By	Date
1	FOR COORDINATION	AK	24/04/20
2	FOR COORDINATION	TR	03/07/20
3	FOR COORDINATION	TR	20/07/20
4	FOR TENDER	TR	24/08/20
A	ISSUE FOR CONSTRUCTION	TR	17/11/20

Client
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NAME: ADDRESS: TELEPHONE:	NAME: ADDRESS: TELEPHONE:
NAME: ADDRESS: TELEPHONE:	NAME: ADDRESS: TELEPHONE:

Project
 KINGSLAND
 BLOCK 11 SECTION 132 CASEY

Drawing Title
 ELEVATION BLOCK 1A & 1B - PART 1

Document Control Status:
 FOR CONSTRUCTION

Project No.
 917013.02

Drawing Number:
 A 30-01

Project Director: RM
Project Architect: TR
Co-ordinated: TR

Scale: As indicated @ A1
Date: 04/17/20
Revision: A
North:

Drawn: DM

Cox Architecture Pty Ltd ACN 002 535 891

Absolute APPROVALS
 COLA LICENSE: 2019816
 ABN: 84 621 622 919

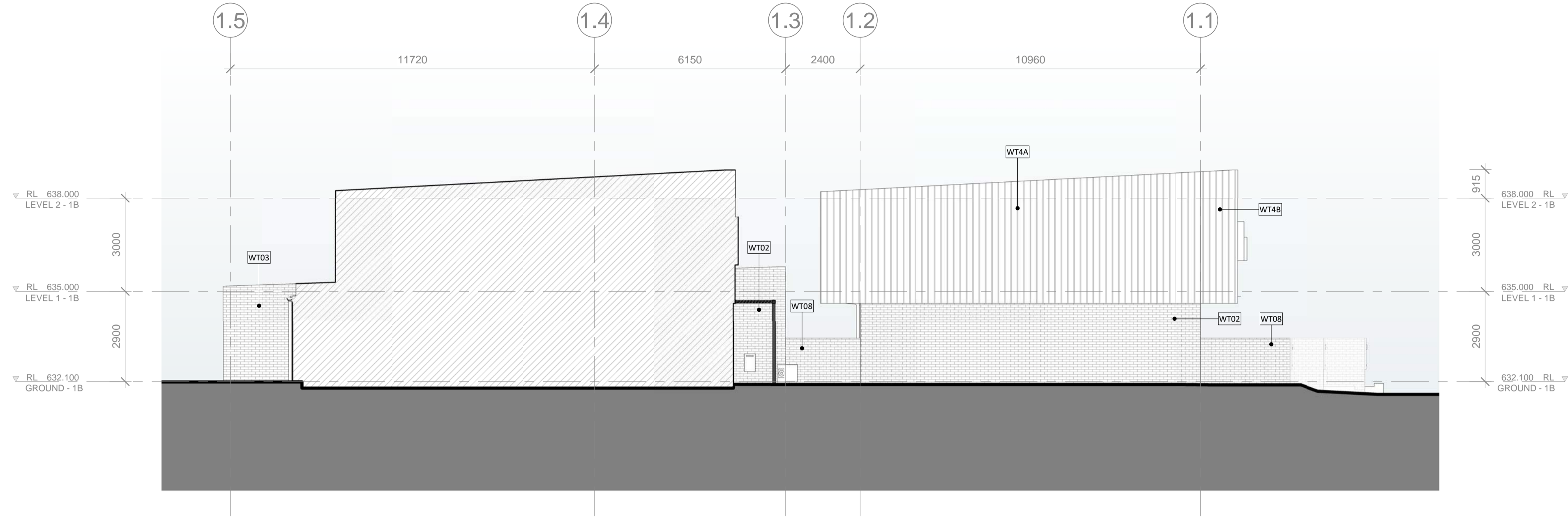
BCA Occupancy Class
 1a & 10a
 Type of Construction
 N/A

BUILDING APPROVAL
 Issued under s.28 of the
 Building Act 2004.
 Absolute Approvals PTY LTD

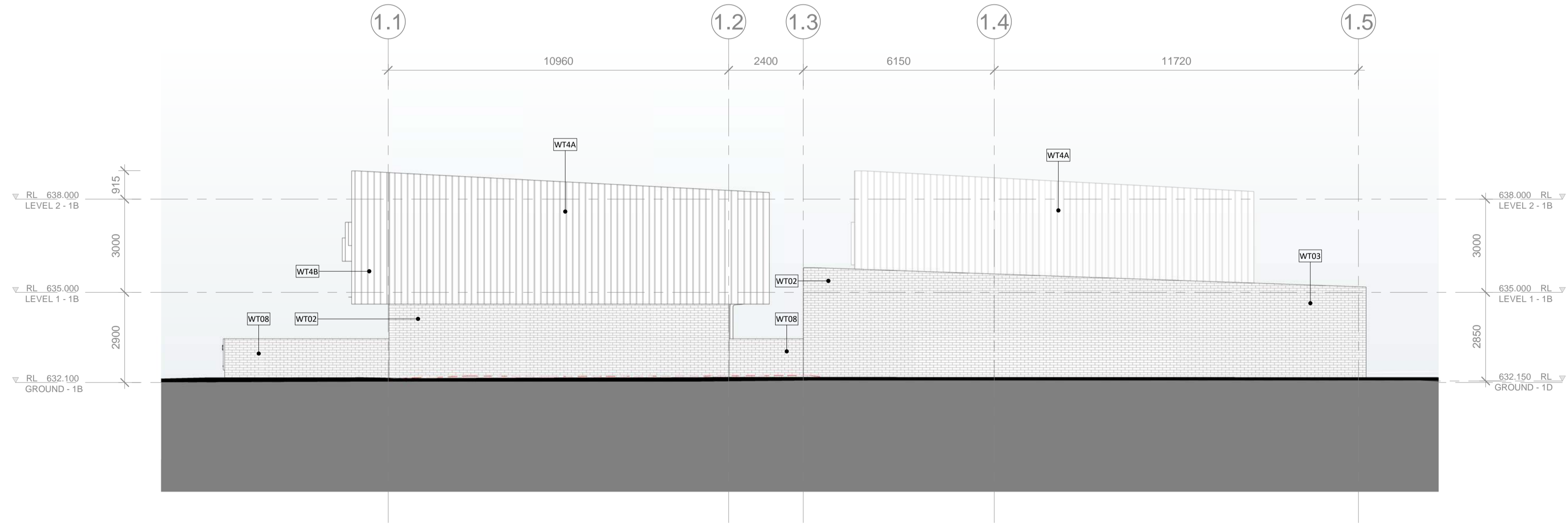
J.W. Whycross

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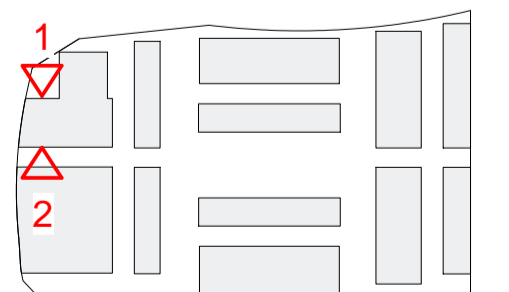
Date of Approval
 4/12/2020



1 BLOCK 1B - HORSE PARK DRIVE
 BA 21-02 SCALE 1 : 100



2 BLOCK 1B - GREENSPACE 2
 BA 21-02 SCALE 1 : 100



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Rev	Description	By	Date
1	FOR COORDINATION	AK	24/04/20
2	FOR COORDINATION	TR	03/07/20
3	FOR COORDINATION	TR	20/07/20
4	FOR TENDER	TR	24/08/20
A	ISSUE FOR CONSTRUCTION	TR	17/11/20

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NAME: ADDRESS: TELEFAX:	NAME: ADDRESS: TELEFAX:
NAME: ADDRESS: TELEFAX:	NAME: ADDRESS: TELEFAX:

Project
KINGSLAND
 BLOCK 11 SECTION 132 CASEY

Drawing Title
 ELEVATION BLOCK 1A & 1B - PART 3

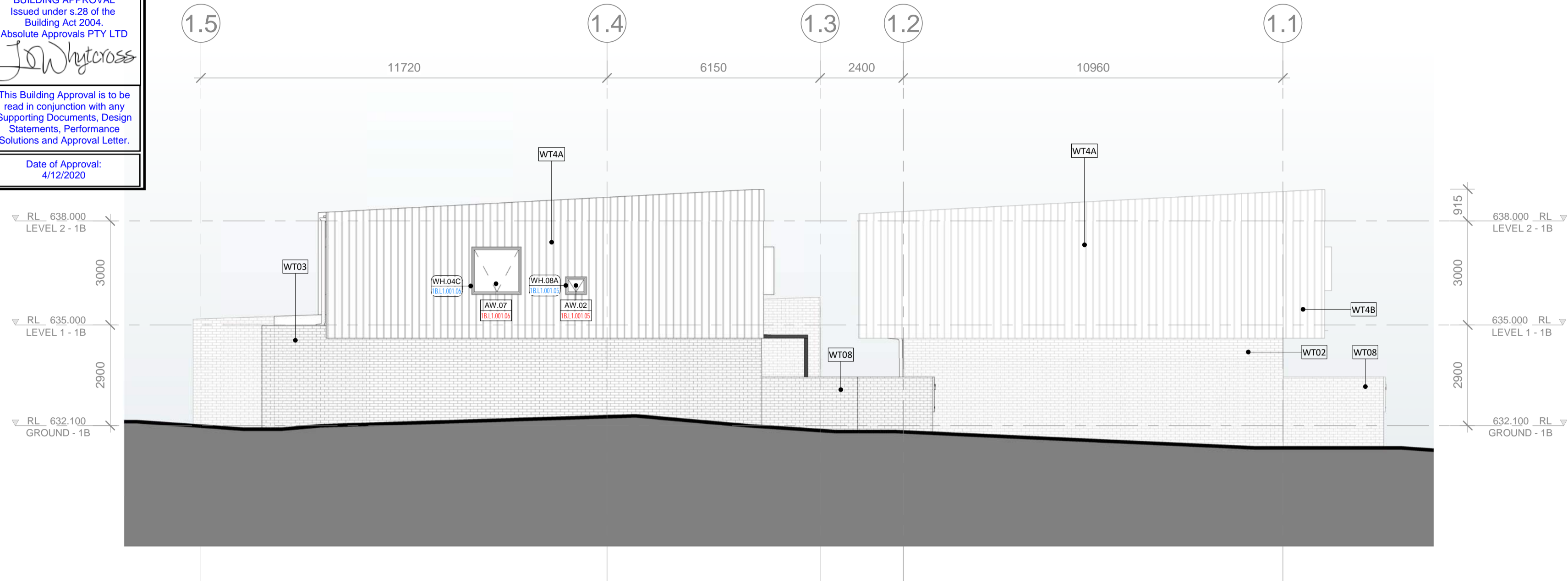
Project No.
 917013.02

Document Control Status:
FOR CONSTRUCTION

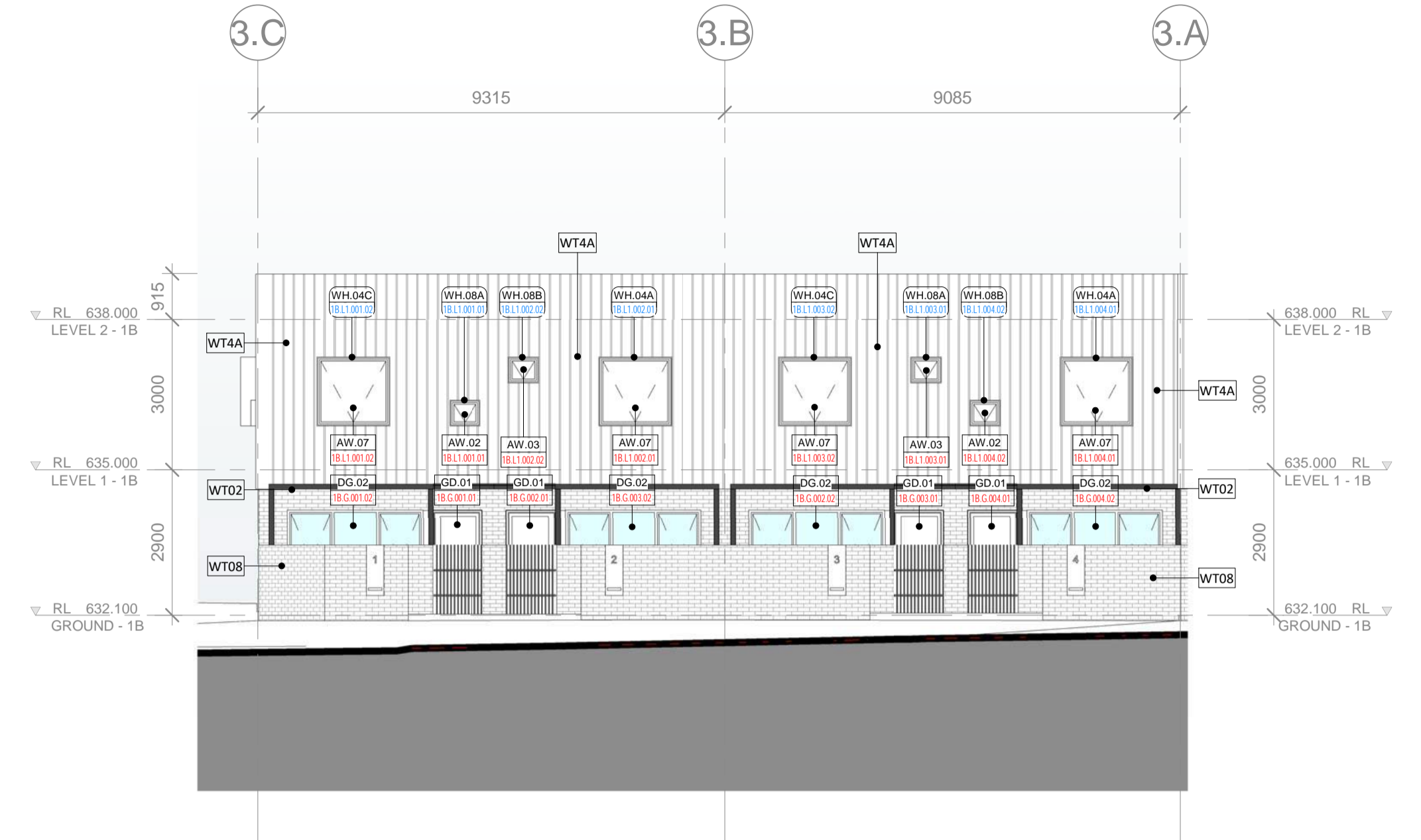
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Co-ordinated: TR	Scale: As indicated @ A1
Project Architect: TR	Date: 04/17/20
Project Director: RM	Revision: A
Drawing Number: A 30-03	North:

Cox Architecture Pty Ltd ACN 002 535 891

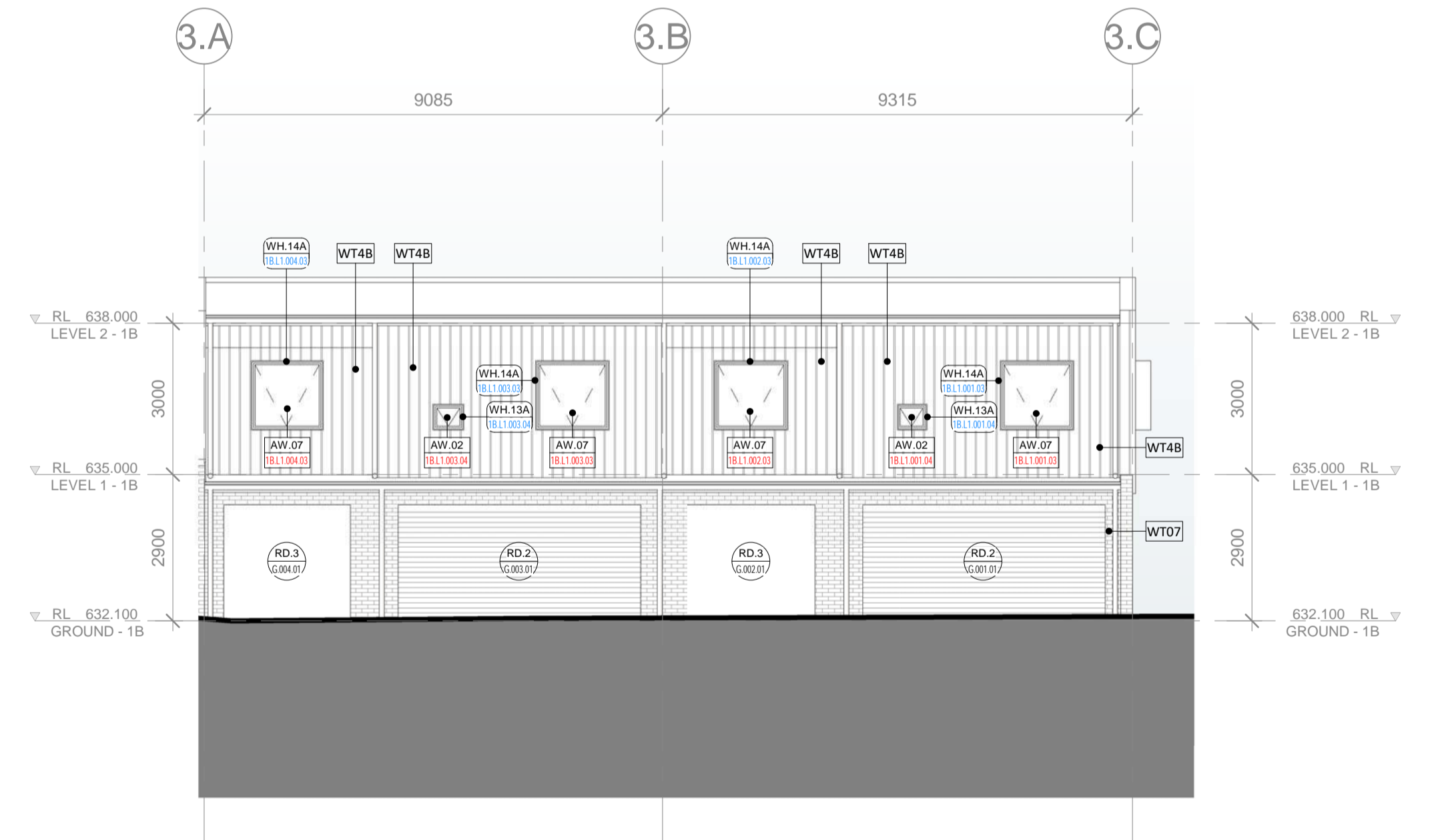
Absolute APPROVALS
 COLA LICENSE: 2019816
 ABN: 84 621 622 919
 BCA Occupancy Class: 1a & 10a
 Type of Construction: N/A
 BUILDING APPROVAL Issued under s.28 of the Building Act 2004.
 Absolute Approvals PTY LTD
 Date of Approval: 4/12/2020



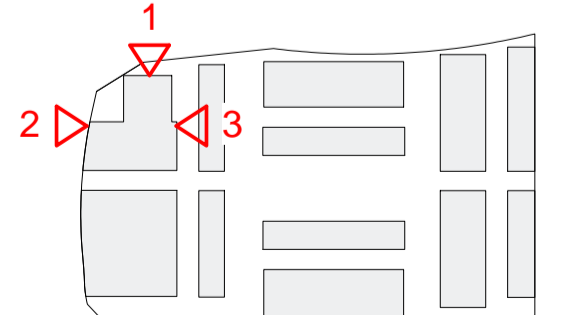
1 BLOCK 1B - HORSE PARK DRIVE.
 SCALE 1 : 100



2 BLOCK 1B - OVERALL AVENUE
 SCALE 1 : 100



3 BLOCK 1B - LANEWAY 1
 SCALE 1 : 100



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Rev	Description	By	Date
1	FOR COORDINATION	AK	24/04/20
2	FOR COORDINATION	TR	03/07/20
3	FOR COORDINATION	TR	20/07/20
4	FOR TENDER	TR	24/08/20
A	ISSUE FOR CONSTRUCTION	TR	17/11/20

Client
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NAME:
 ADDRESS:
 TEL/FAX:

Project
KINGSLAND
 BLOCK 11 SECTION 132 CASEY
 Drawing Title
ELEVATION BLOCK 1A & 1B - PART 4

Project No.
917013.02

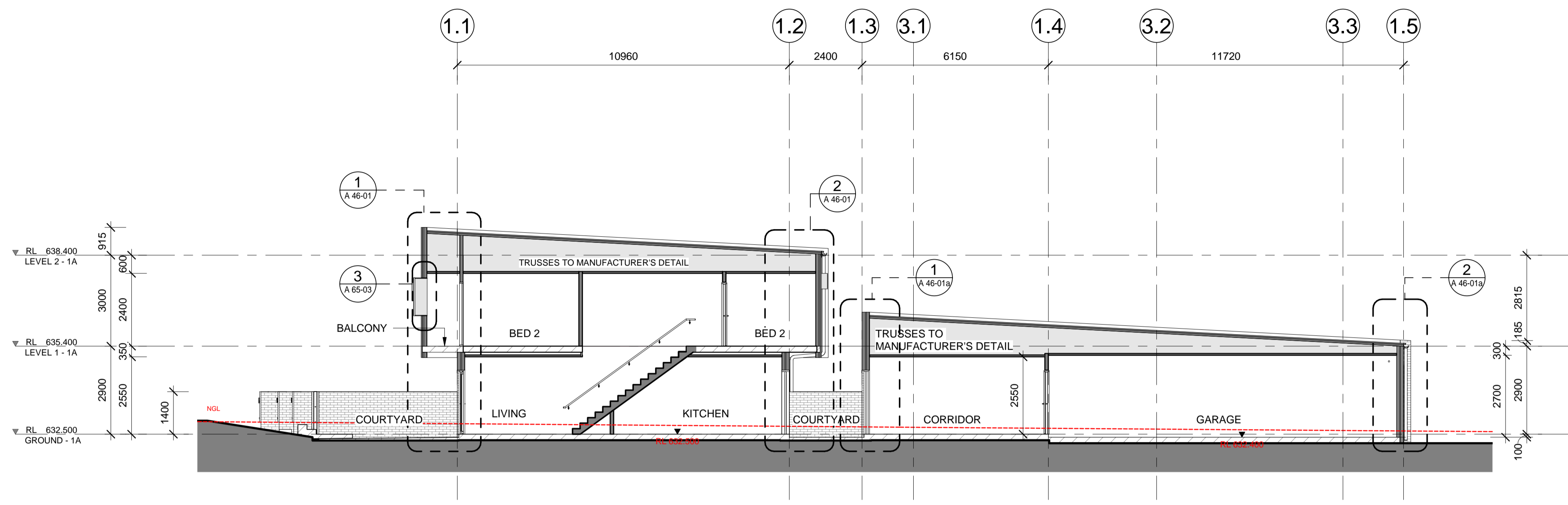
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FOR CONSTRUCTION

At Drawing Sheet	Drawn: DM
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Project Architect: TR	Date: 04/17/20
Project Director: RM	Revision: A
Drawing Number: A 30-04	North:

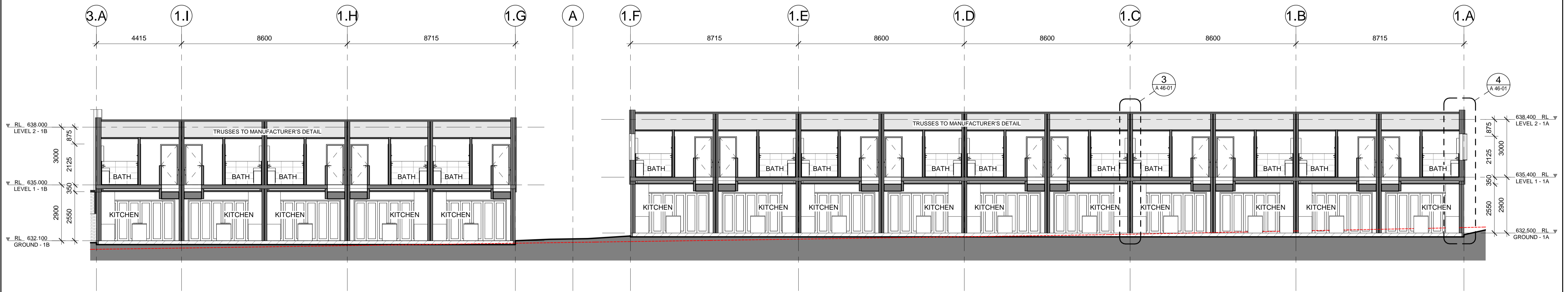
Cox Architecture Pty Ltd ACN 002 535 891

Absolute APPROVALS
 QUALITY CERTIFICATION - BUILDING APPROVALS
 COLA LICENSE: 2019816
 ABN: 84 621 622 919
 BCA Occupancy Class
 1a & 10a
 Type of Construction
 N/A
 BUILDING APPROVAL
 Issued under s.28 of the
 Building Act 2004.
 Absolute Approvals PTY LTD
J. Whycross
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 Statements, Performance
 Solutions and Approval Letter.
 Date of Approval
 4/12/2020

- NOTES:**
1. INSULATION SUPPLIER TO PROVIDE A CONDENSATION ASSESSMENT FOR TOTAL INSULATION SYSTEMS SPECIFIED
 2. ALL WINDOW SHROUDS TO BE INSTALLED WITH OUTWARD DOWNSLOP TO PREVENT MOISTURE INGRESS
 3. TERMITE MANAGEMENT SYSTEMS TO COMPLY WITH AS:3660



1
 BA - LIGHTHOUSE - TYPICAL CROSS SECTION 1
 A 21-1-G SCALE 1 : 100



2
 BA - LIGHTHOUSE - LONGITUDINAL SECTION 2
 A 21-1-G SCALE 1 : 100

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Rev	Description	By	Date
1	FOR COORDINATION	AK	24/04/20
2	FOR COORDINATION	TR	07/07/20
3	FOR COORDINATION	TR	17/07/20
4	FOR TENDER	TR	24/08/20
A	ISSUE FOR CONSTRUCTION	TR	17/11/20

Client
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NAME: ADDRESS: TELEFAX:	NAME: ADDRESS: TELEFAX:
NAME: ADDRESS: TELEFAX:	NAME: ADDRESS: TELEFAX:
NAME: ADDRESS: TELEFAX:	NAME: ADDRESS: TELEFAX:

Project
 KINGSLAND
 BLOCK 11 SECTION 132 CASEY

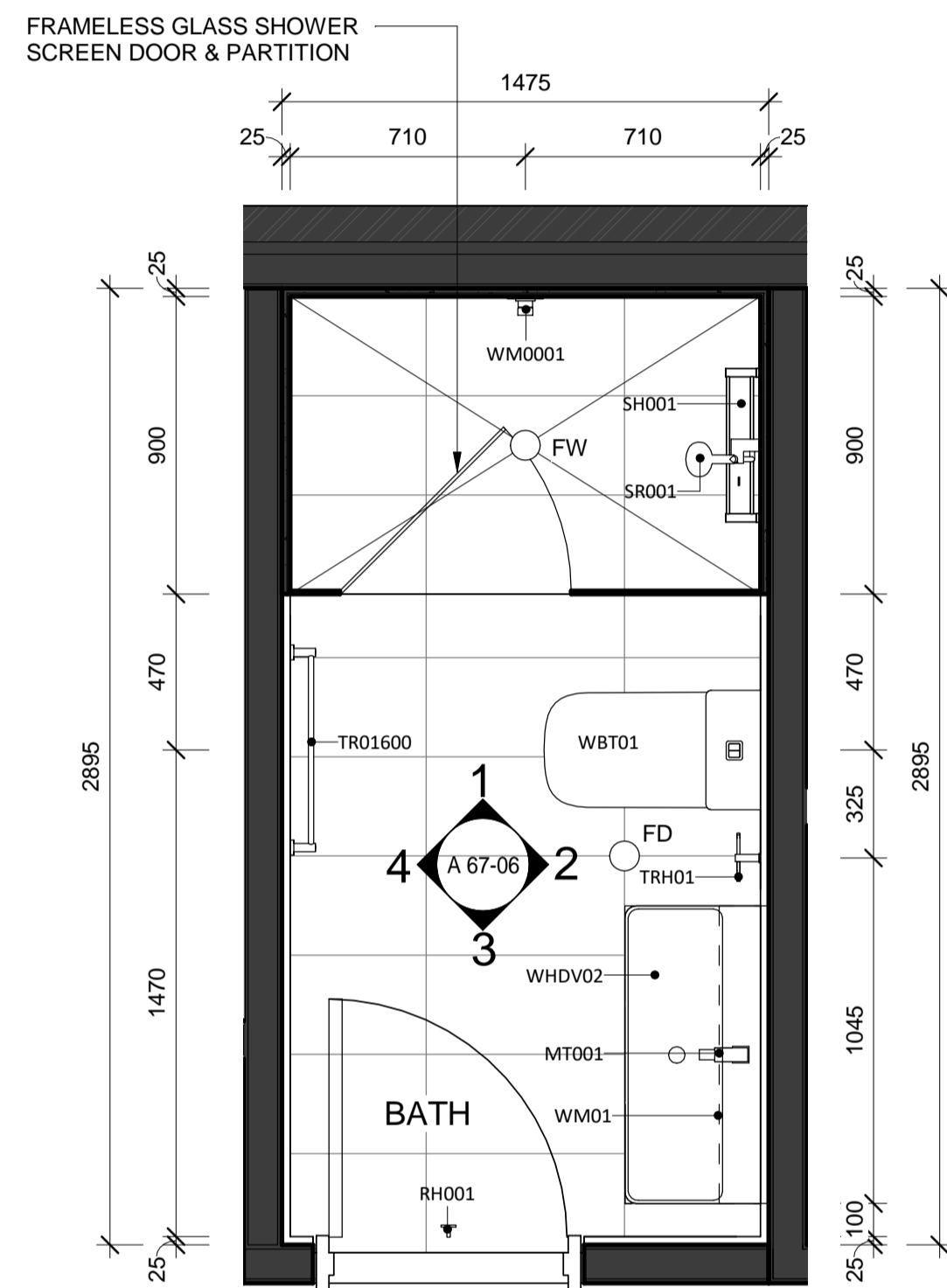
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Document Control Status:
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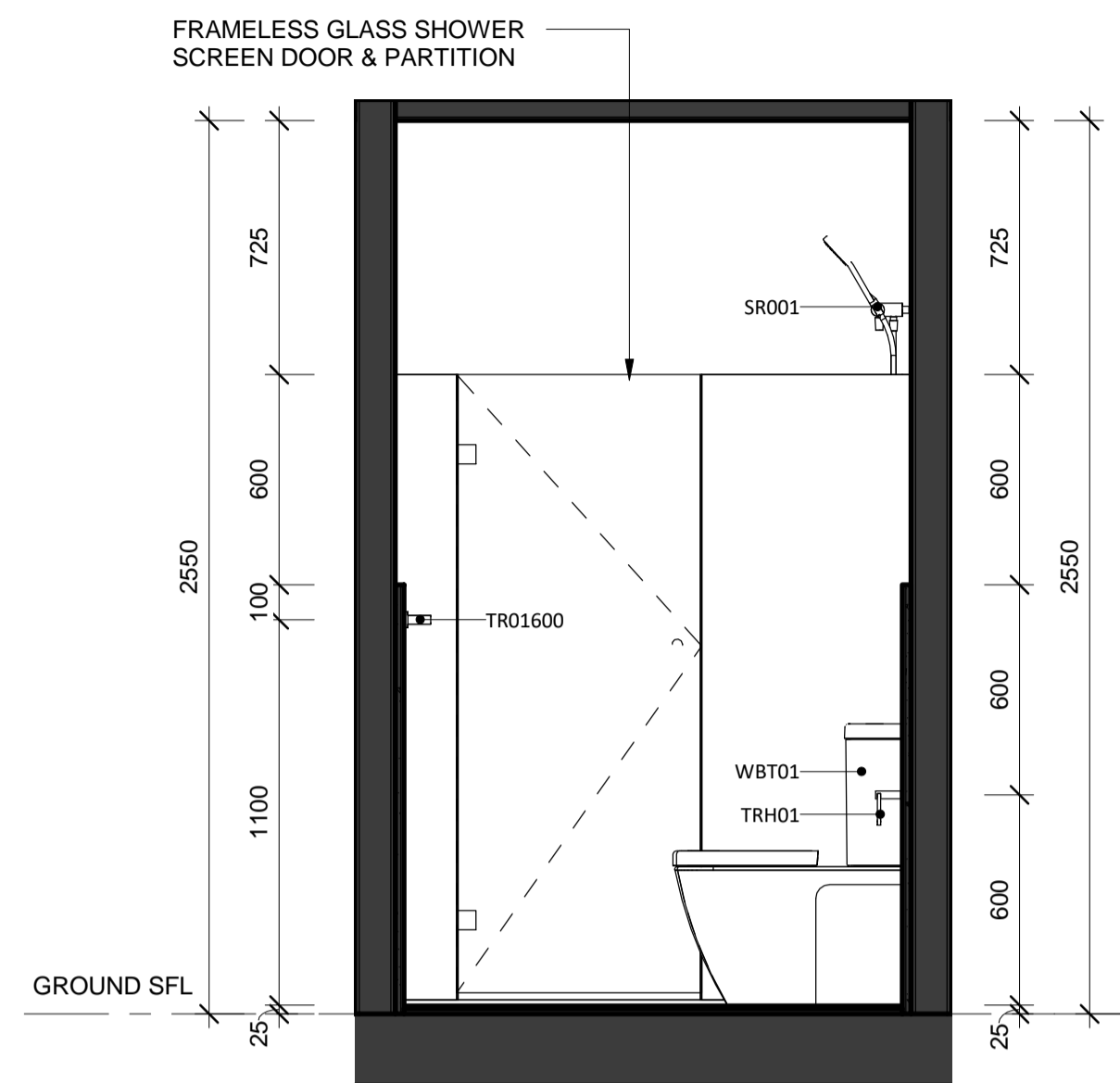
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Co-ordinated: AK	Scale: 1 : 100 @ A1
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Project Director: RM	Revision: A
Drawing Number: A 40-01	North:

Project No. 917013.02
 Cox Architecture Pty Ltd ACN 002 535 891

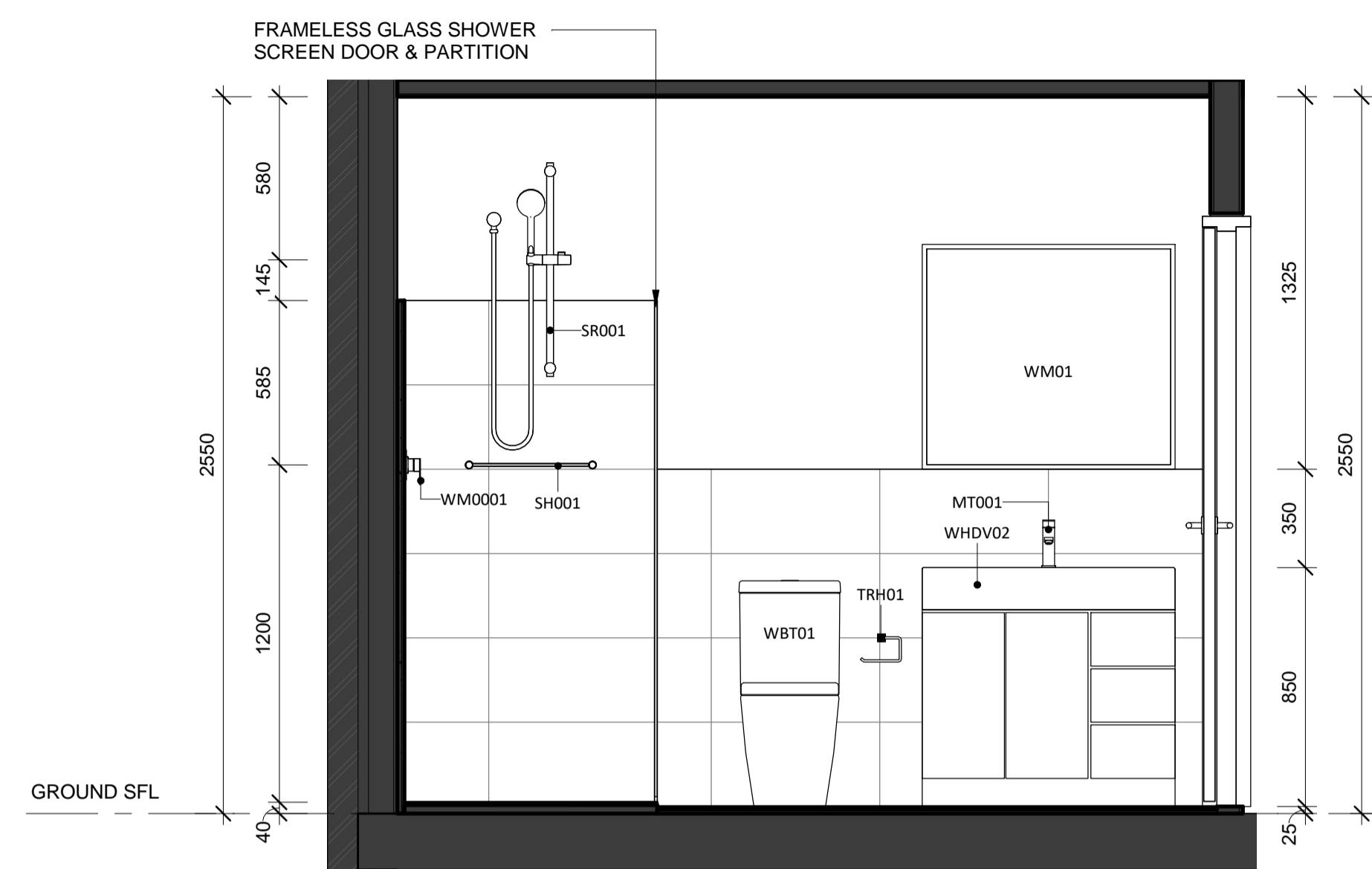
Absolute APPROVALS
 COLA LICENSE: 2019816
 ABN: 84 621 622 919
 BCA Occupancy Class 1a & 10a
 Type of Construction N/A
 BUILDING APPROVAL Issued under s.28 of the Building Act 2004.
 Absolute Approvals PTY LTD
 Date of Approval: 4/12/2020



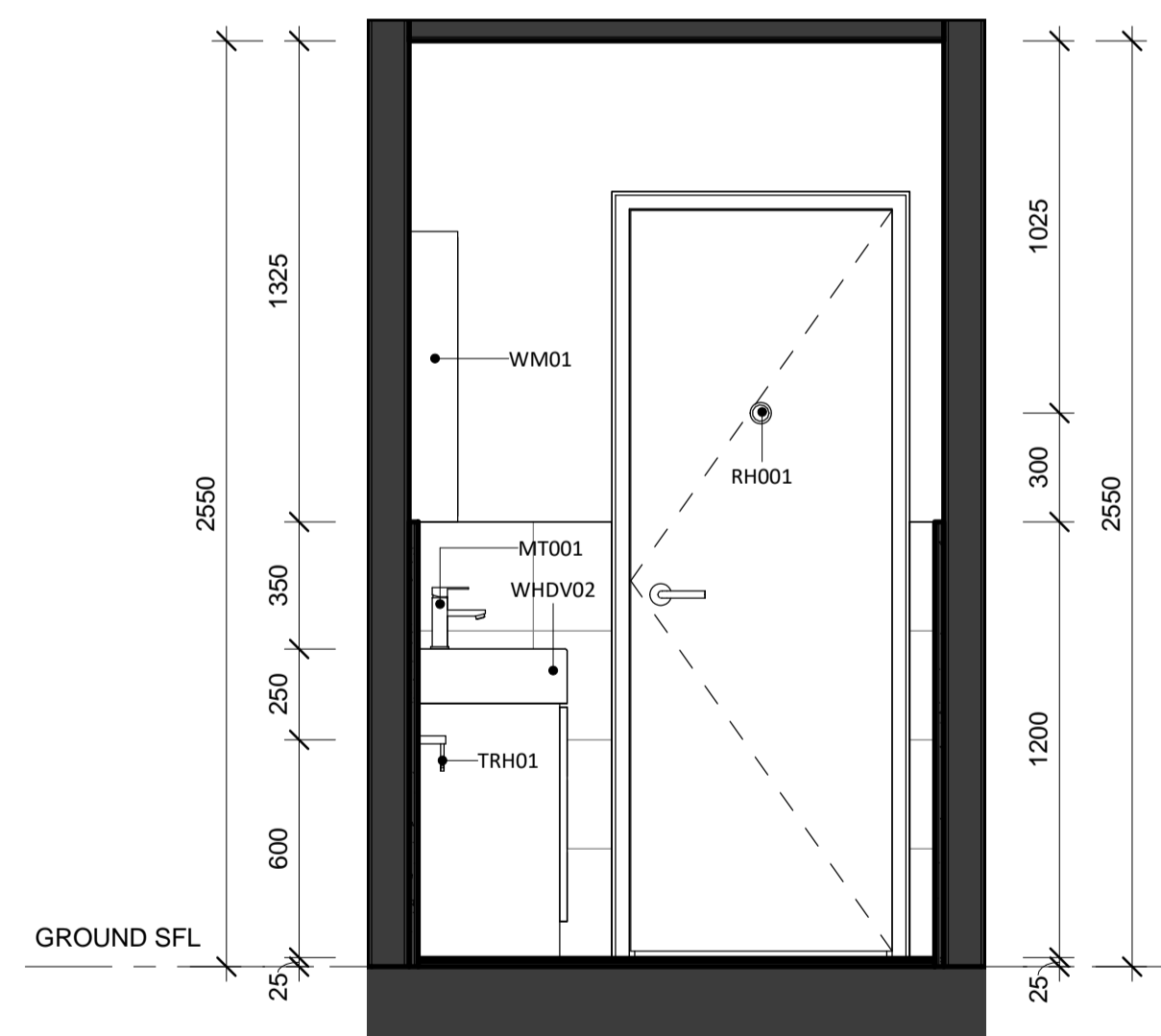
LIGHTHOUSE - BATH @ GROUND PLAN
 SCALE 1 : 20



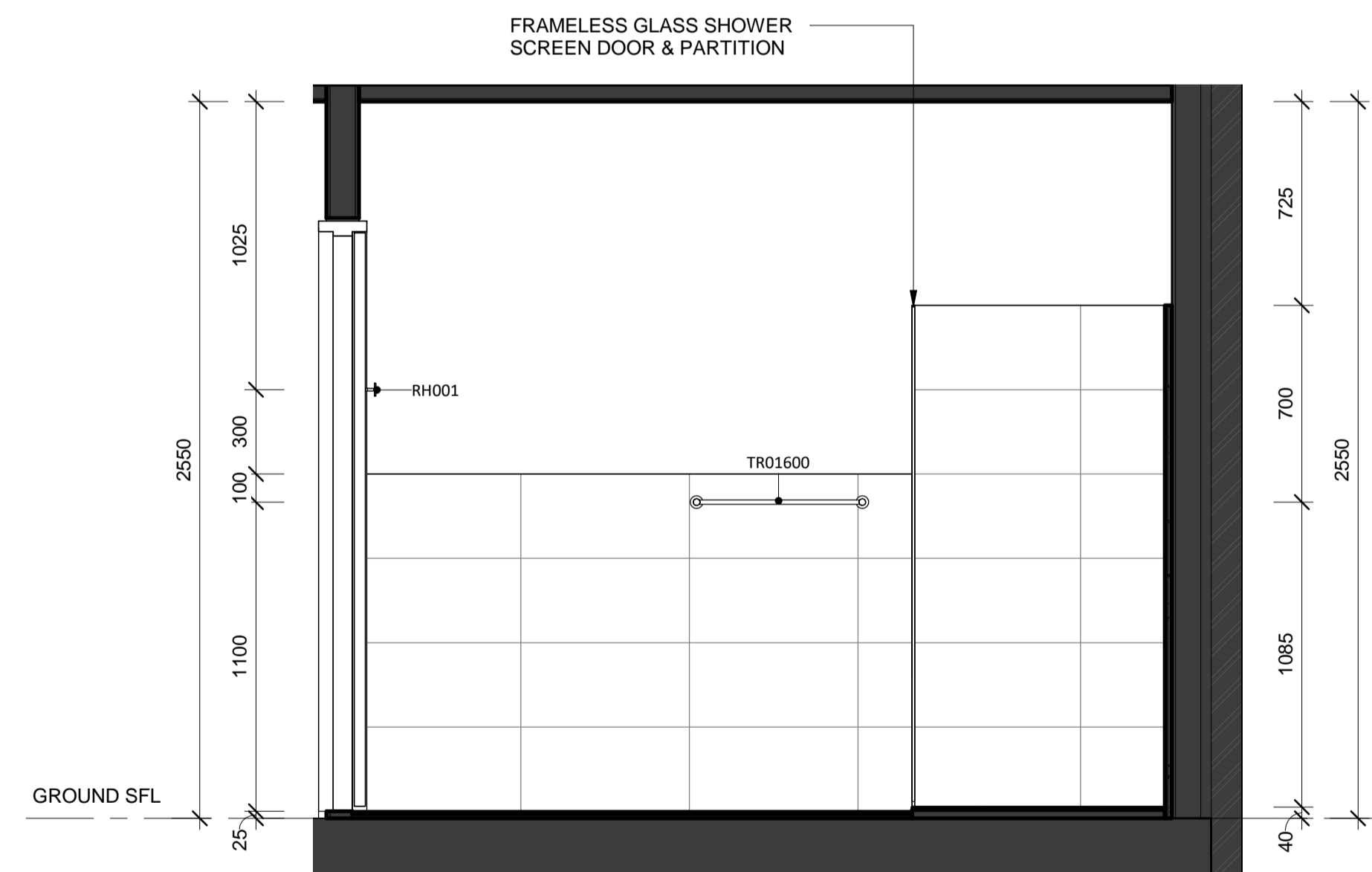
1 LIGHTHOUSE - BATH @ GROUND ELEVATION 1
 SCALE 1 : 20



2 LIGHTHOUSE - BATH @ GROUND ELEVATION 2
 SCALE 1 : 20



3 LIGHTHOUSE - BATH @ GROUND ELEVATION 3
 SCALE 1 : 20



4 LIGHTHOUSE - BATH @ GROUND ELEVATION 4
 SCALE 1 : 20

Rev	Description	By	Date
1	PRELIMINARY	TR	28/07/20
2	FOR TENDER	TR	24/08/20
A	ISSUE FOR CONSTRUCTION	TR	17/11/20

Client
 WORTH STREET PTY LTD

Construction and Project Management
 Elevated Living

Architect
COX
 Cox Architecture
 Level 1, 19 Eastlake Parade,
 Kingston, ACT 2604, Australia
 T + 61 2 6239 6255
 www.coxarchitecture.com.au

Consultants

NAME: ADDRESS: TELEPHONE:	NAME: ADDRESS: TELEPHONE:
NAME: ADDRESS: TELEPHONE:	NAME: ADDRESS: TELEPHONE:
NAME: ADDRESS: TELEPHONE:	NAME: ADDRESS: TELEPHONE:

Project
 KINGSLAND
 BLOCK 11 SECTION 132 CASEY

Drawing Title
 LIGHTHOUSE - BATH @ GROUND LEVEL
 DETAIL

Document Control Status:
 FOR CONSTRUCTION

Project No.
 917013.02

Drawing Number:
 A 67-06

Scale: 1 : 20 @ A1
Date: 07/21/20
Revision: A

Absolute APPROVALS
 COLA LICENSE: 2019816
 ABN: 84 621 622 919

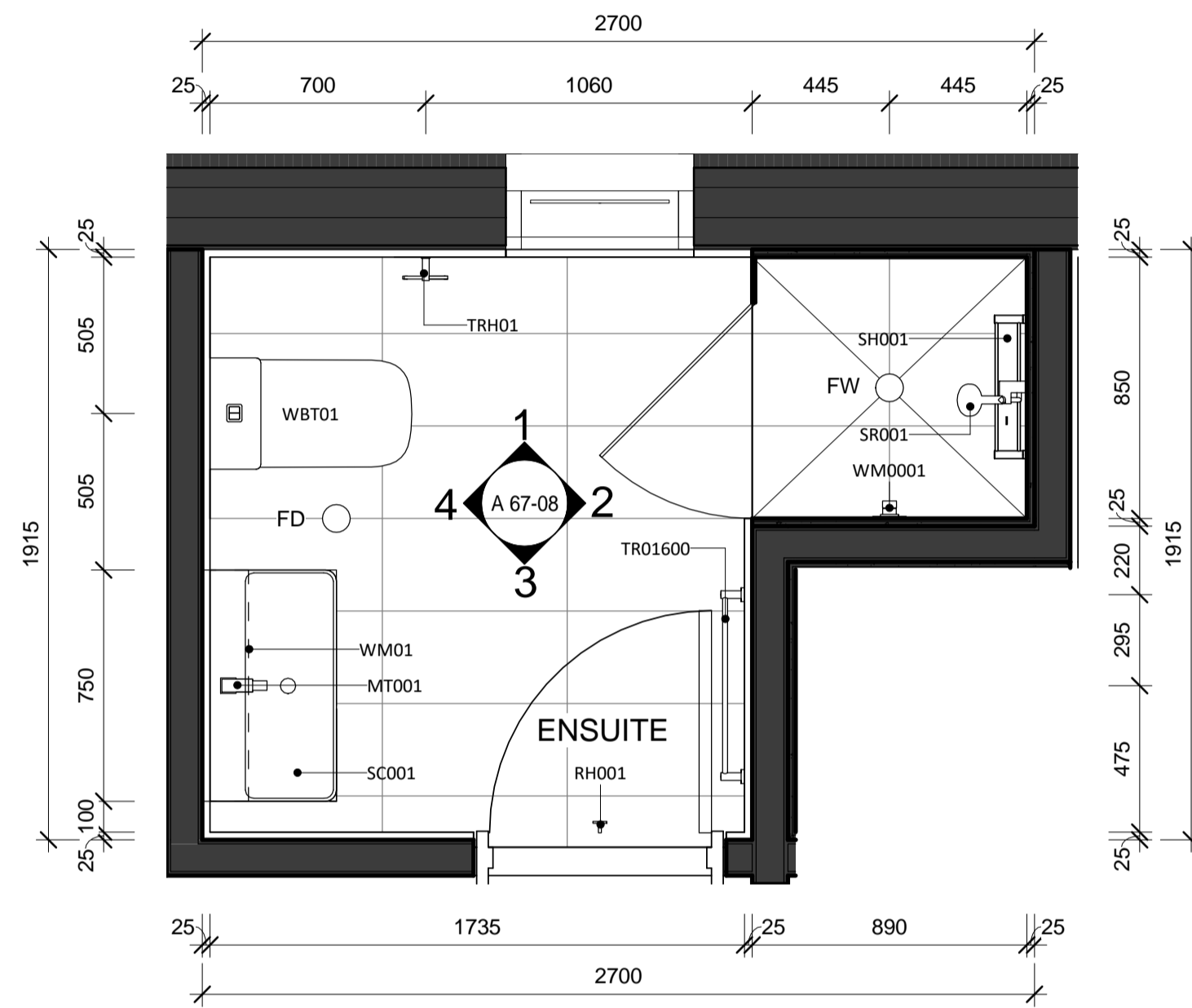
BCA Occupancy Class
 1a & 10a
 Type of Construction
 N/A

BUILDING APPROVAL
 Issued under s.28 of the
 Building Act 2004.
 Absolute Approvals PTY LTD

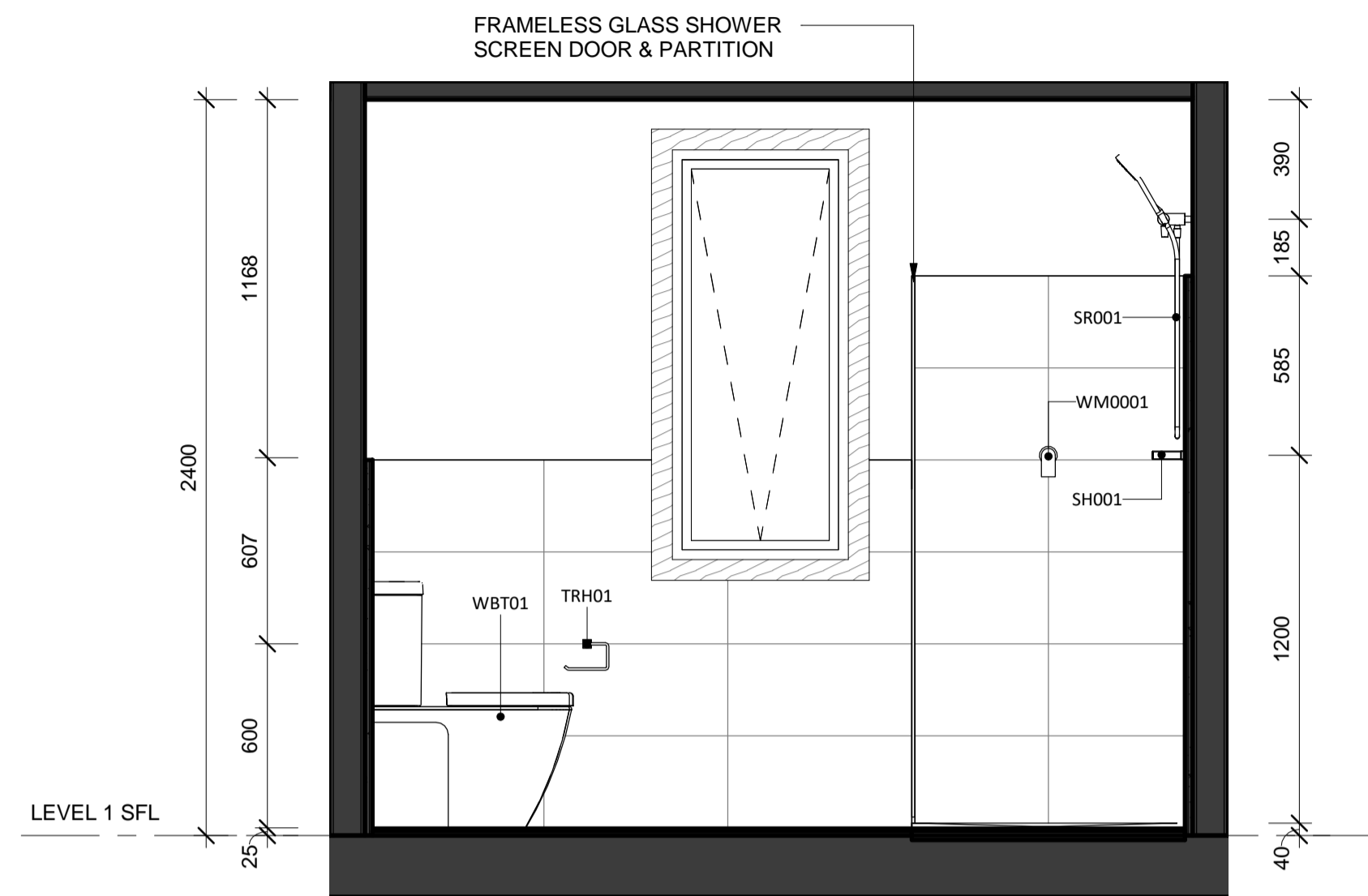
J. Whycross

This Building Approval is to be
 read in conjunction with any
 Supporting Documents, Design
 Statements, Performance
 Solutions and Approval Letter.

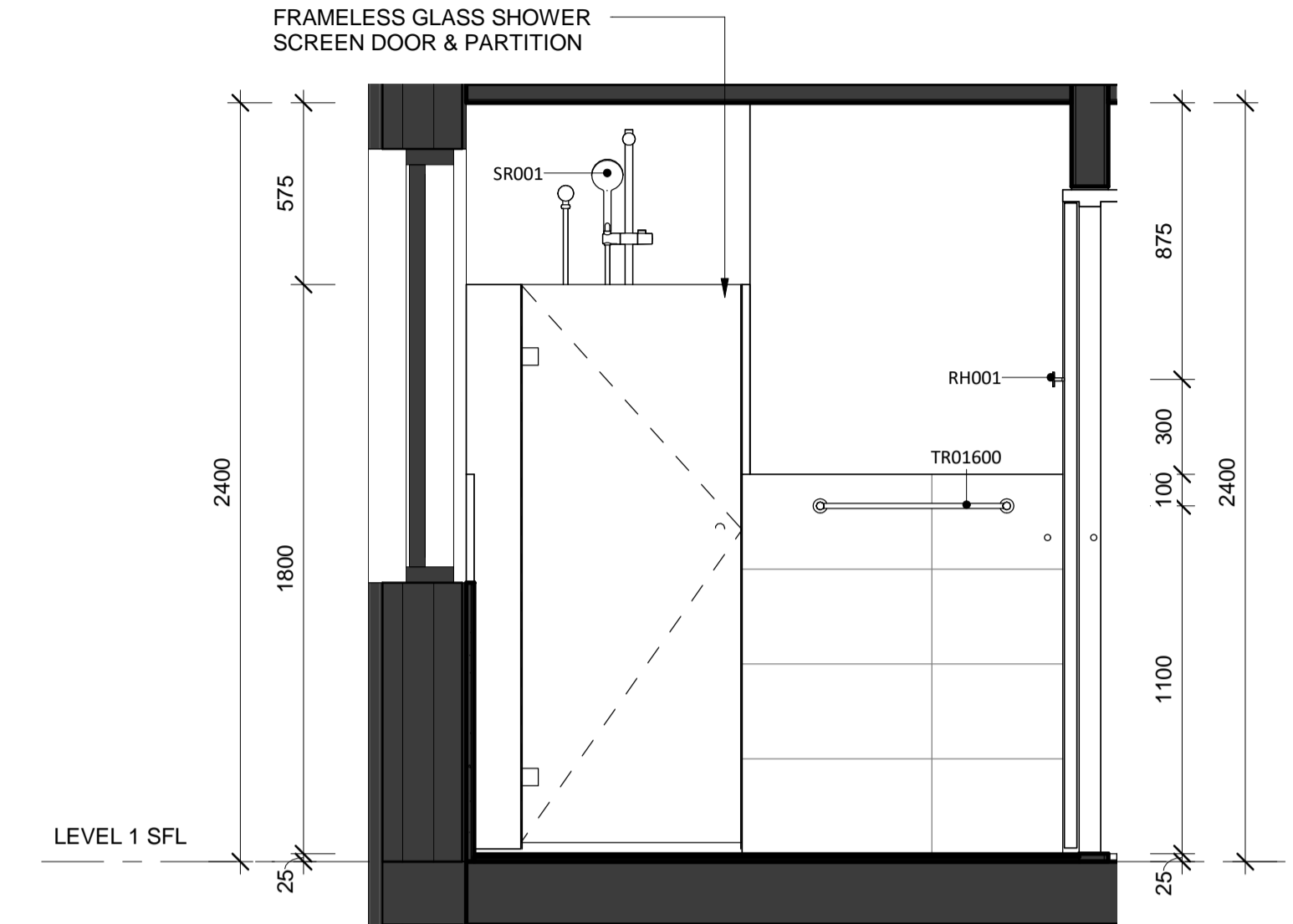
Date of Approval
 4/12/2020



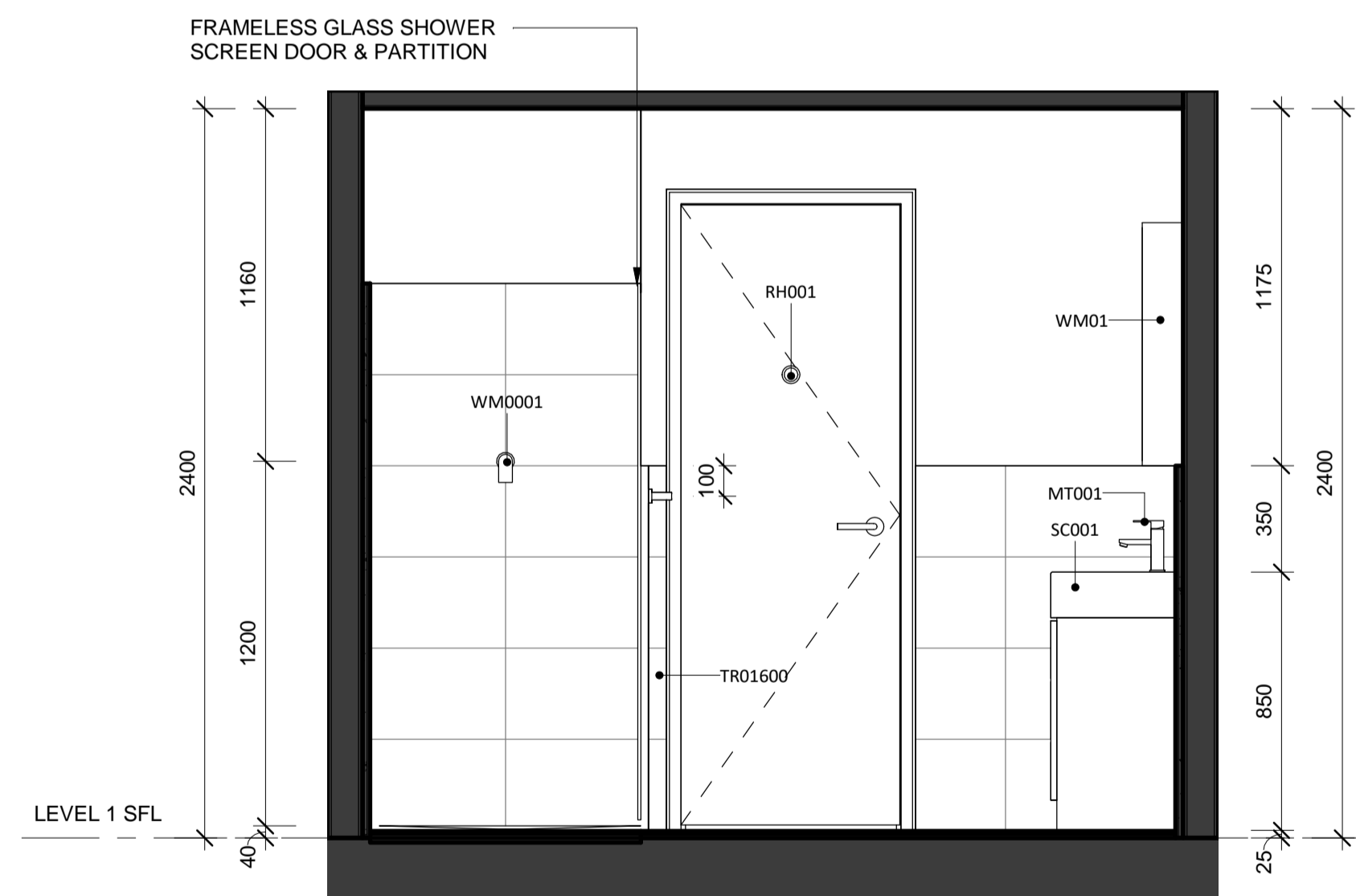
LIGHTHOUSE - ENSUITE PLAN
 SCALE 1 : 20



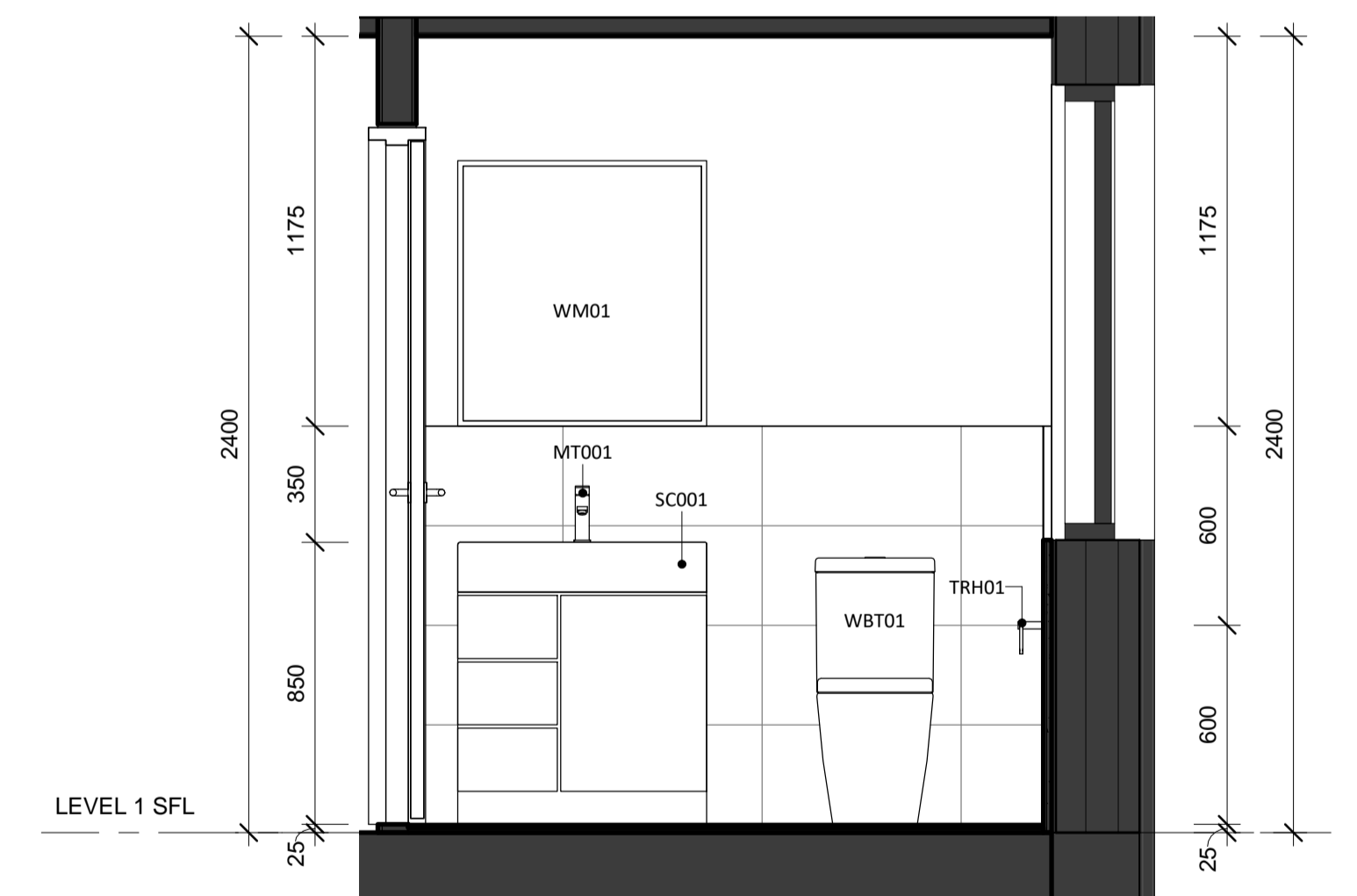
1 LIGHTHOUSE - ENSUITE ELEVATION 1
 SCALE 1 : 20



2 LIGHTHOUSE - ENSUITE ELEVATION 2
 SCALE 1 : 20



3 LIGHTHOUSE - ENSUITE ELEVATION 3
 SCALE 1 : 20



4 LIGHTHOUSE - ENSUITE ELEVATION 4
 SCALE 1 : 20

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Rev	Description	By	Date
1	PRELIMINARY	TR	28/07/20
2	FOR TENDER	TR	24/08/20
A	ISSUE FOR CONSTRUCTION	TR	17/11/20

Client
 WORTH STREET PTY LTD



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Consultants

NAME: ADDRESS: TELEPHONE:	NAME: ADDRESS: TELEPHONE:
NAME: ADDRESS: TELEPHONE:	NAME: ADDRESS: TELEPHONE:
NAME: ADDRESS: TELEPHONE:	NAME: ADDRESS: TELEPHONE:

Project
 KINGSLAND
 BLOCK 11 SECTION 132 CASEY

Drawing Title
 LIGHTHOUSE - ENSUITE DETAIL



Project No.
 917013.02

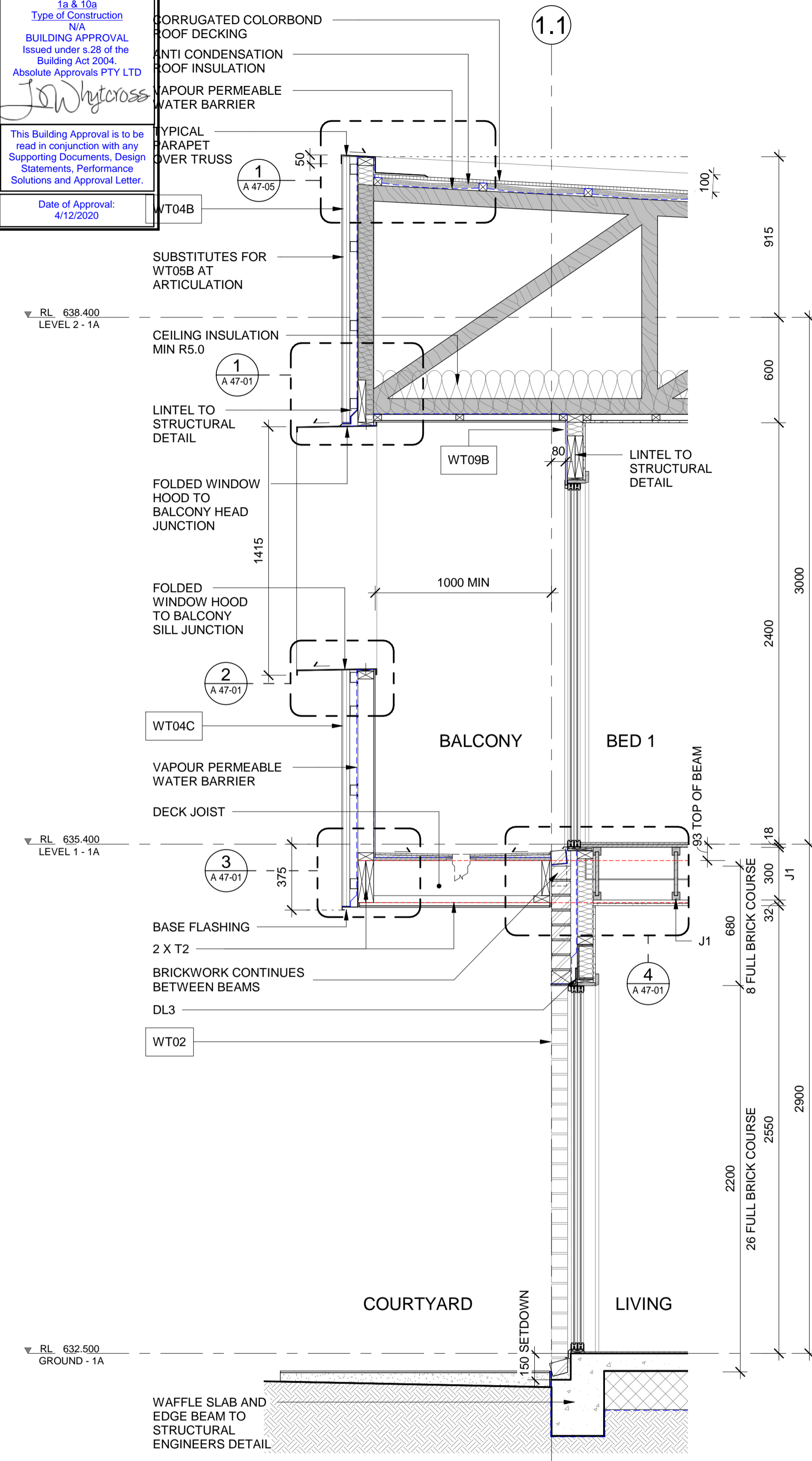
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Project Architect: TR	Date:	07/21/20
Project Director: RM	Revision:	A
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A 67-08		

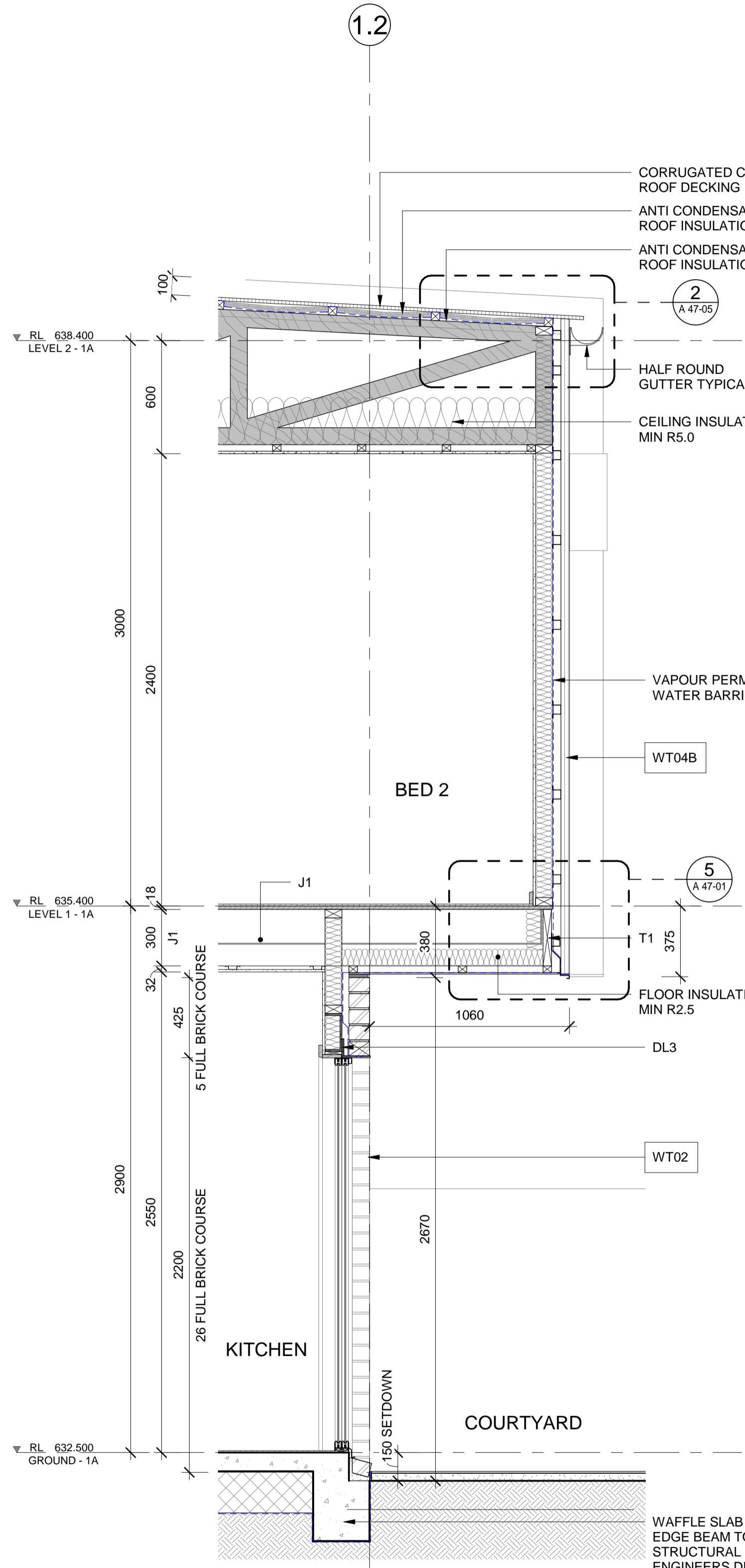
Cox Architecture Pty Ltd ACN 002 535 891

Absolute APPROVALS
 COLA LICENSE: 2019816
 ABN: 84 821 622 919
 BCA Occupancy Class 1a & 10a
 Type of Construction N/A
 BUILDING APPROVAL Issued under s.28 of the Building Act 2004.
 Absolute Approvals PTY LTD
 J. W. Hyattcross
 This Building Approval is to be read in conjunction with any Supporting Documents, Design Statements, Performance Solutions and Approval Letter.
 Date of Approval: 4/12/2020

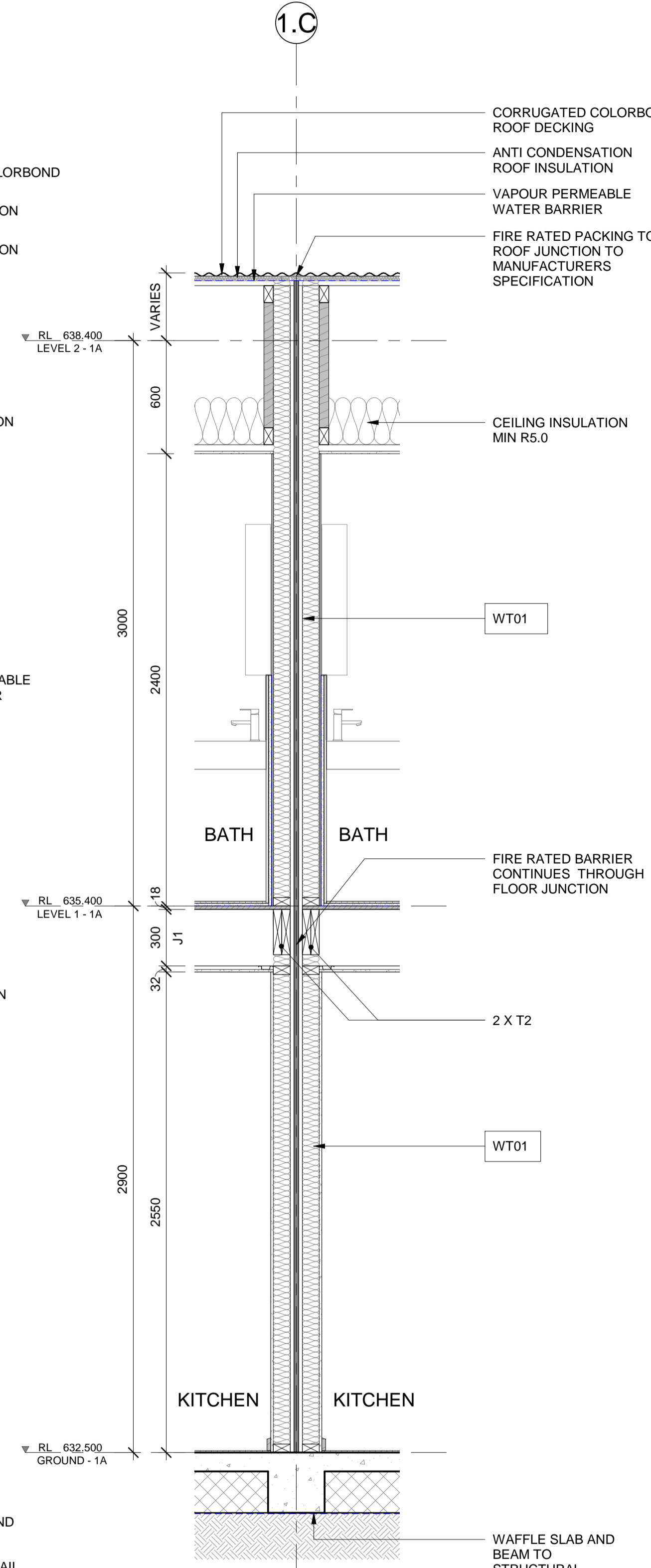
- NOTES:**
- INSULATION SUPPLIER TO PROVIDE A CONDENSATION ASSESSMENT FOR TOTAL INSULATION SYSTEMS SPECIFIED
 - ALL WINDOW SHROUDS TO BE INSTALLED WITH OUTWARD DOWNSLOP TO PREVENT MOISTURE INGRESS
 - TERMITE MANAGEMENT SYSTEMS TO COMPLY WITH AS:3660



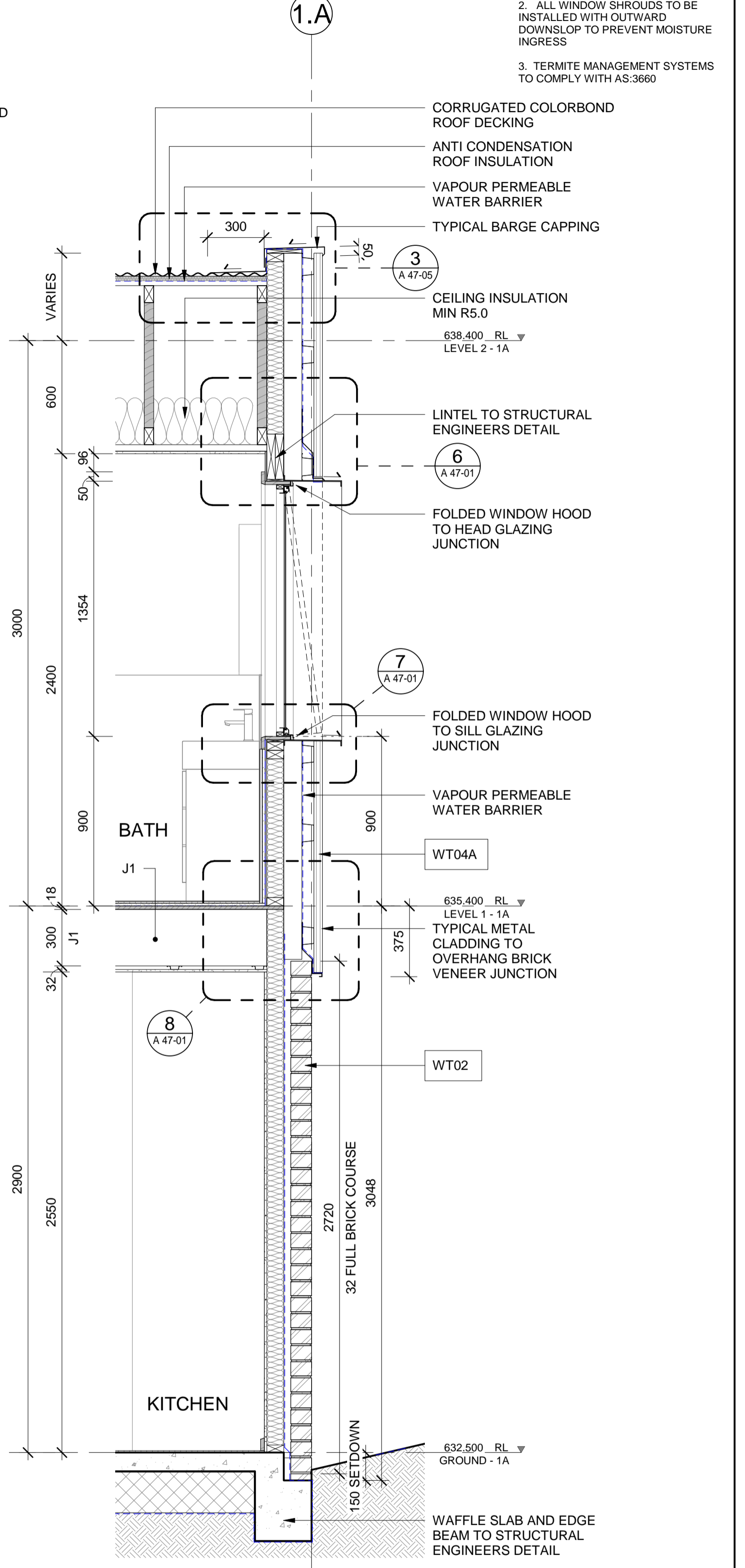
1 BA DETAIL SECTION 1.1
 SCALE 1 : 20



2 BA DETAIL SECTION 1.2
 SCALE 1 : 20



3 BA DETAIL SECTION 1.3
 SCALE 1 : 20



4 BA DETAIL SECTION 1.4
 SCALE 1 : 20

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Rev	Description	By	Date
1	FOR COORDINATION	TR	14/07/20
2	FOR COORDINATION	TR	20/07/20
3	FOR COORDINATION	TR	10/08/20
4	FOR TENDER	TR	24/08/20
A	ISSUE FOR CONSTRUCTION	TR	17/11/20

Client
WORTH STREET PTY LTD



Architect
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 Level 1, 19 Eastlake Parade,
 Kingston, ACT 2604, Australia
 T + 61 2 6239 6255
 www.coxarchitecture.com.au

Consultants

NAME: ADDRESS: TELEPHONE:	NAME: ADDRESS: TELEPHONE:
NAME: ADDRESS: TELEPHONE:	NAME: ADDRESS: TELEPHONE:
NAME: ADDRESS: TELEPHONE:	NAME: ADDRESS: TELEPHONE:

Project
KINGSLAND
 BLOCK 11 SECTION 132 CASEY

Drawing Title
LIGHTHOUSE DETAIL SECTIONS (PART 1)

Project No.
917013.02

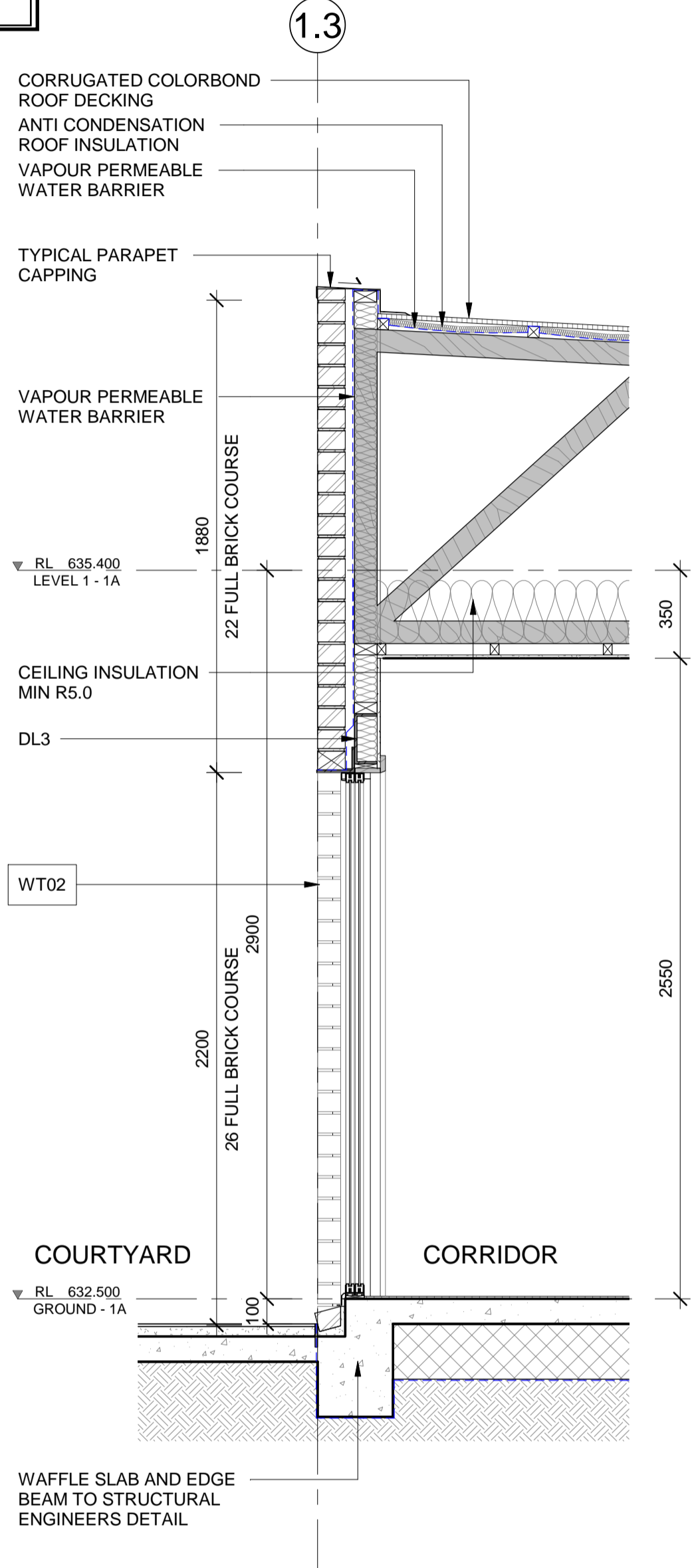
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FOR CONSTRUCTION

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Project Architect: TR	Date: 05/15/20
Project Director: RM	Revision: A
Drawing Number: A 46-01	North:

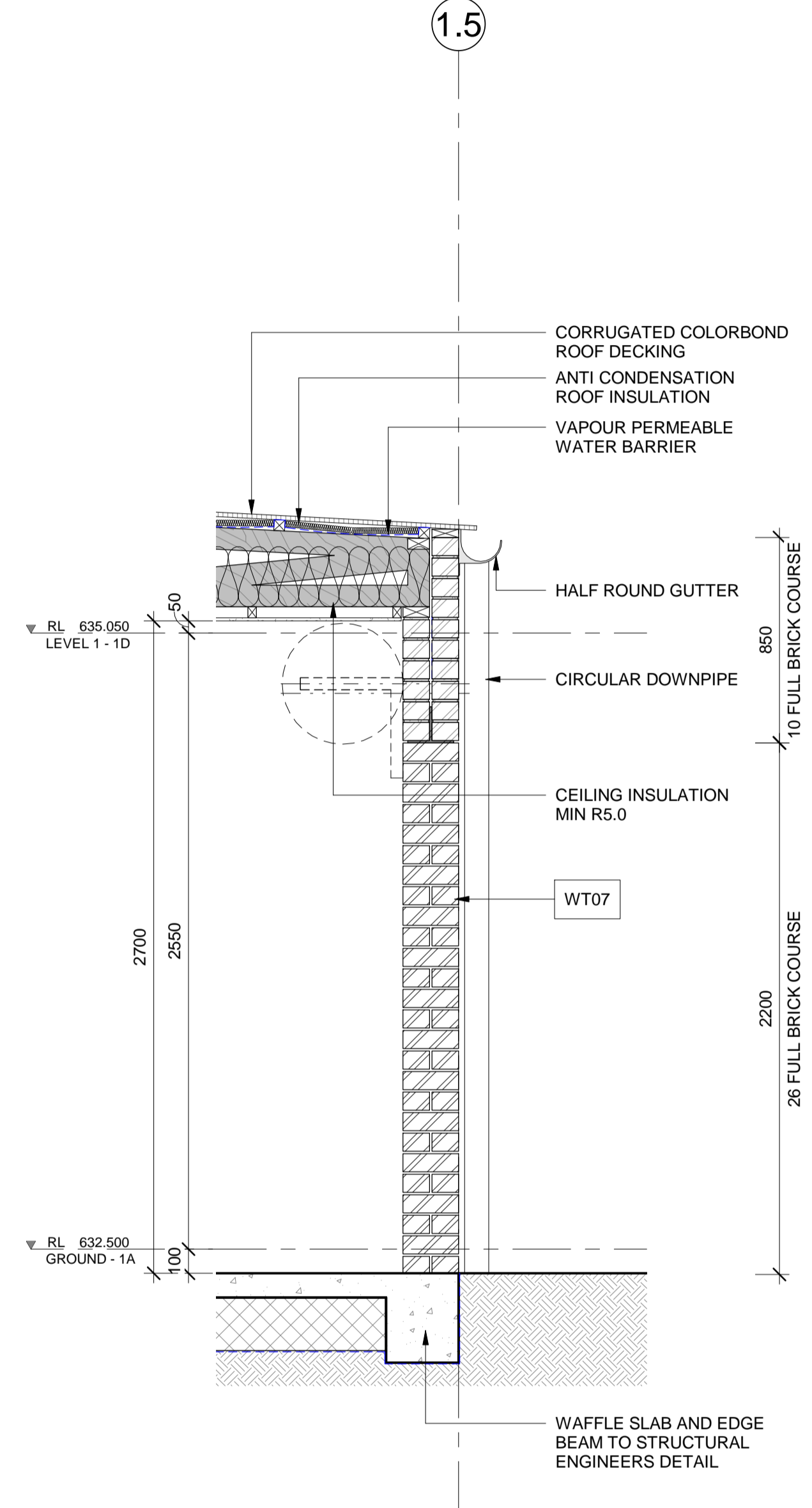
Cox Architecture Pty Ltd ACN 002 535 891

Absolute APPROVALS
 COA LICENSE: 2019816
 ABN: 84 821 822 919
 BCA Occupancy Class 1a & 10a
 Type of Construction N/A
 BUILDING APPROVAL
 Issued under s.28 of the Building Act 2004.
 Absolute Approvals PTY LTD
John Whycross
 This Building Approval is to be read in conjunction with any Supporting Documents, Design Statements, Performance Solutions and Approval Letter.
 Date of Approval: 4/12/2020

- NOTES:**
- INSULATION SUPPLIER TO PROVIDE A CONDENSATION ASSESSMENT FOR TOTAL INSULATION SYSTEMS SPECIFIED
 - ALL WINDOW SHROUDS TO BE INSTALLED WITH OUTWARD DOWNSLOP TO PREVENT MOISTURE INGRESS
 - TERMITE MANAGEMENT SYSTEMS TO COMPLY WITH AS:3660



1 BA DETAIL SECTION 1.5
 A 40-01 SCALE 1 : 20



2 BA DETAIL SECTION 1.6
 A 40-01 SCALE 1 : 20

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Rev	Description	By	Date
A	ISSUE FOR CONSTRUCTION	TR	17/11/20

Client
 WORTH STREET PTY LTD

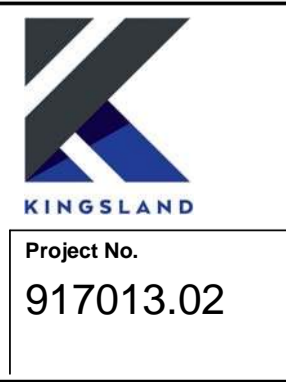


Consultants

NAME: ADDRESS: TELEPHONE:	NAME: ADDRESS: TELEPHONE:
NAME: ADDRESS: TELEPHONE:	NAME: ADDRESS: TELEPHONE:
NAME: ADDRESS: TELEPHONE:	NAME: ADDRESS: TELEPHONE:

Project
 KINGSLAND
 BLOCK 11 SECTION 132 CASEY

Drawing Title
 LIGHTHOUSE DETAIL SECTIONS (PART 2)



Document Control Status:
 FOR CONSTRUCTION

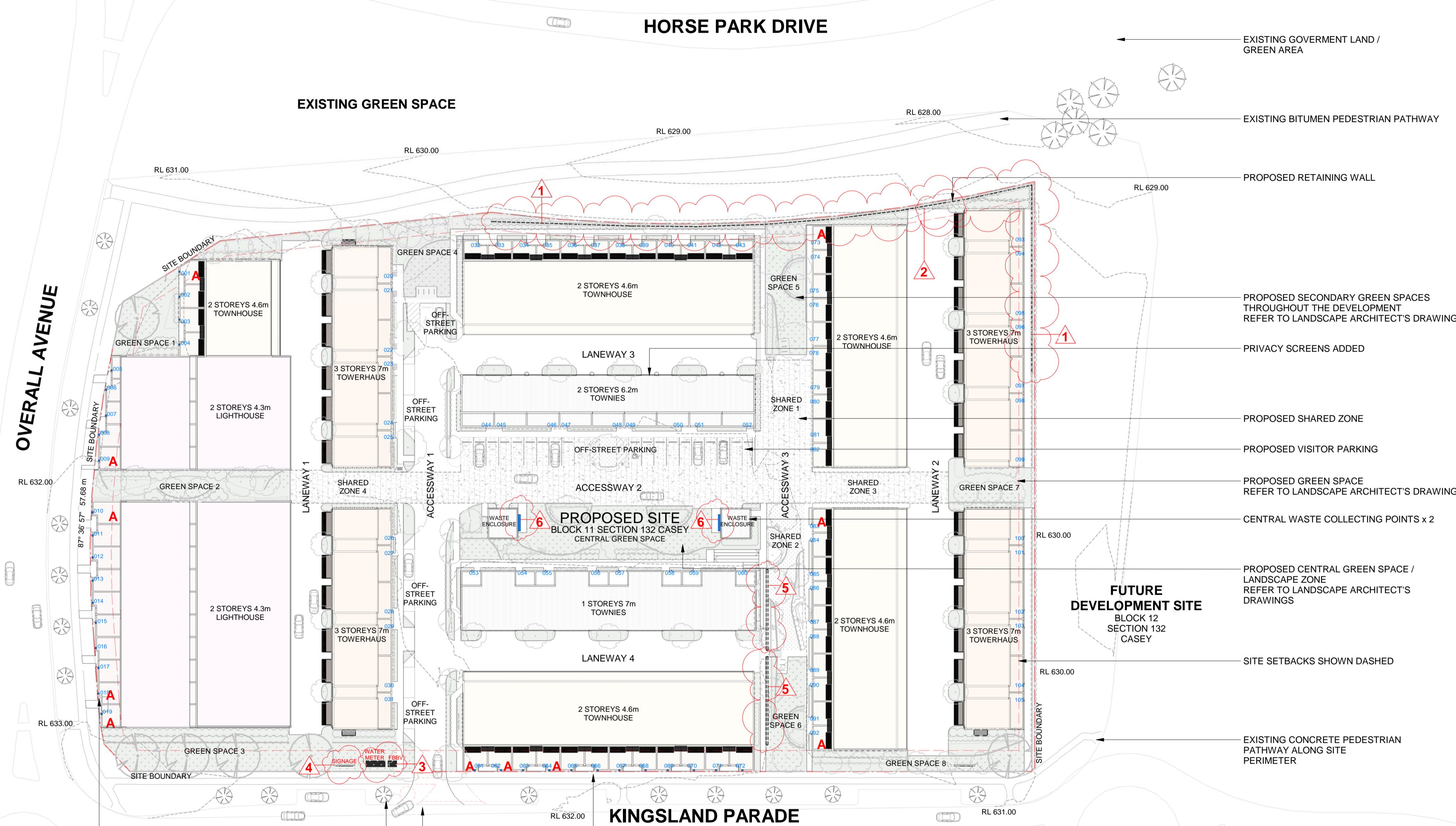
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Project Architect: TR	Date: 11/06/20
Project Director: RM	Revision: A
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Cox Architecture Pty Ltd ACN 002 535 891

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL AMENDED
 PURSUANT TO SECTION 198
 IN RESPECT OF THE NOMINATED
 AMENDMENTS ONLY
 Delegate name ANITA YUSOFF
 Date 23/3/2022

NOTES:
 THIS DRAWING TO BE READ IN CONJUNCTION WITH THE LANDSCAPE ARCHITECT'S AND ENGINEERS' DRAWINGS.
 RLS SHOWN ON DRAWING AS INDICATIVE AND SUBJECT TO DETAIL DESIGN AND FINAL CIVIL LEVELS.
 DRIVEWAY AND VERGE CROSSING DETAILS TO CIVIL ENGINEER'S DETAILS.
 REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR EXTERNAL LIGHTING LOCATIONS.
 LOCATIONS OF EASEMENTS AND SERVICES REFER TO ENGINEER'S DRAWINGS.
 DRAWING TO BE READ IN CONJUNCTION WITH CIVIL, ELECTRICAL ENGINEER'S AND OTHER SERVICES DRAWINGS.

Absolute APPROVALS
 Building Certification - Trust Rating
 License No: 2019816
 ABN: 64 621 622 919
 Subject: Occupancy Class 1a & 10a
 Type of Construction: N/A
 Building Approval: Amended under s.32 of the Building Act 2004.
 Absolute Approvals PTY LTD
 Date of Amendment: 4/04/2022



- LEGEND:
- SITE BOUNDARY
 - RL 630.00 SITE RL
 - SITE SETBACK
 - 001 UNIT NUMBER
 - ▲ ADAPTABLE UNIT

SITE INFORMATION:

SITE AREA:	18583m ²
PLOT RATIO ALLOWED:	80%
PROPOSED PLOT RATIO:	62.8%
COMMUNAL OPEN SPACES	3085m ²
OTHER GREEN SPACES	510m ²
TOTAL	3595m ²

BUILDING INFORMATION:

TOTAL GFA:	11677m ²
GROUND FLOOR GFA:	5344m ²
FIRST FLOOR GFA:	4875m ²
SECOND FLOOR GFA:	1458m ²

DEVELOPMENT YIELD SUMMARY:

TOTAL TERRACES:	105
TERRACE MIX:	
1 STOREY TOWNIES 1 BED	8
2 STOREYS TOWNIES 1 BED + STUDY	9
2 STOREYS TOWNHOUSE 2 BED A	24
2 STOREYS TOWNHOUSE 2 BED B	24
2 STOREYS LIGHTHOUSE 3 BED	15
3 STOREYS TOWERHAUS 3 BED	25

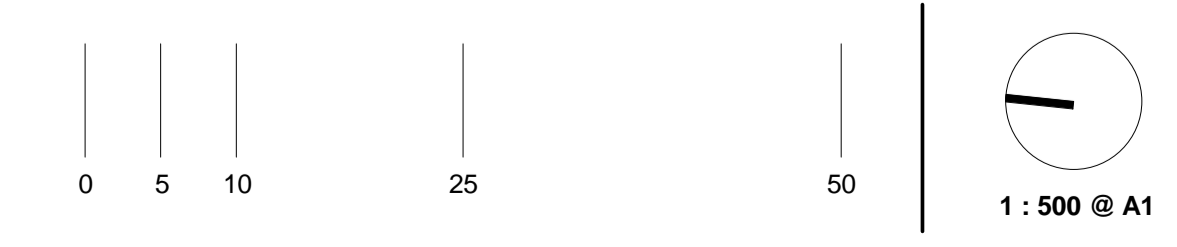
PARKING SUMMARY:

TERRACE PRIVATE PARKING SPACES:	
TOTAL PARKING SPACES:	169
1 STOREY TOWNIES 1 BED	8
2 STOREYS TOWNIES 1 BED + STUDY	9
2 STOREYS TOWNHOUSE 2 BED A	1 x 24
2 STOREYS TOWNHOUSE 2 BED B	2 x 24
2 STOREYS LIGHTHOUSE 3 BED	2 x 15
3 STOREYS TOWERHAUS 3 BED	2 x 25
ON SITE PUBLIC PARKING SPACES:	28
ON SITE BICYCLE PARKING SPACES:	
FOR RESIDENCE:	WITHIN GARAGE / CARPORT
FOR PUBLIC / VISITORS	TBC

- AMENDMENTS:
1. ADD 1250mm HIGH FENCE TO TOP OF RETAINING WALL SHOWN DASHED
 2. ADD SAFETY VEHICLE BARRIER - BOLLARDS TO END OF DRIVEWAY
 3. ADD WATER METER AND FBBV ENCLOSURE
 4. MOVE KINGSLAND DEVELOPMENT SIGNAGE NORTH
 5. ADD 500mm HIGH RETAINING WALL TO ASSIST WITH LANDSCAPE LEVELS CHANGE SHOWN DASHED
 6. ADD LETTER BOXES TO SIDE OF WASTE ENCLOSURE AS PER AUSTRALIA POST APPROVAL



Drawing Number: DA-11-03
 Drawing Title: SITE PLAN
 Date: 18/01/2022
 Revision: 5

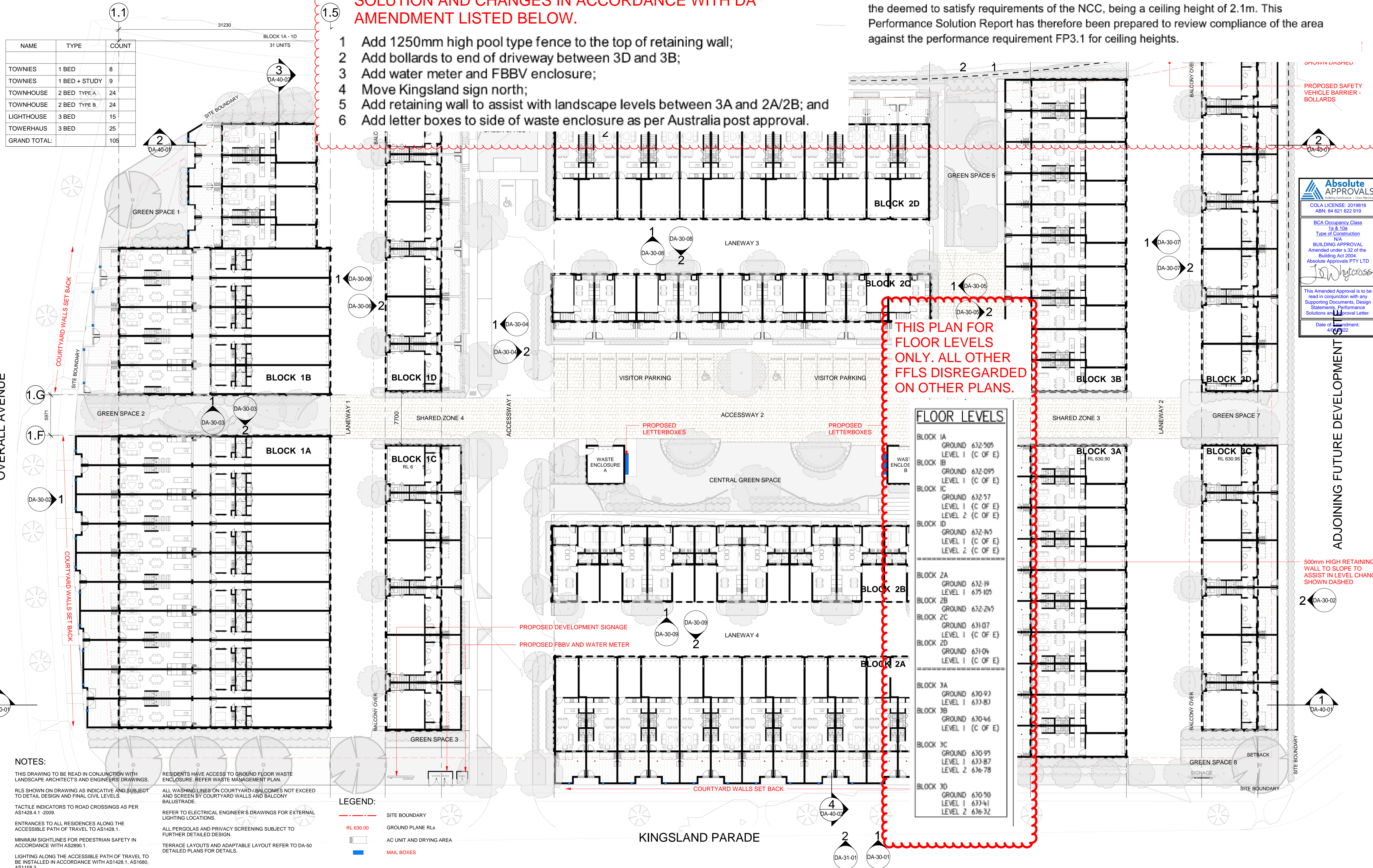


WORTH STREET PTY LTD
 COX

AMENDED BUILDING APPROVAL FOR FFLS, PERFORMANCE SOLUTION AND CHANGES IN ACCORDANCE WITH DA AMENDMENT LISTED BELOW.

- 1 Add 1250mm high pool type fence to the top of retaining wall;
- 2 Add bollards to end of driveway between 3D and 3B;
- 3 Add water meter and FBBV enclosure;
- 4 Move Kingsland sign north;
- 5 Add retaining wall to assist with landscape levels between 3A and 2A/2B; and
- 6 Add letter boxes to side of waste enclosure as per Australia post approval.

The ceiling height in Unit 2C within the stairway and Garage in a localized area does not meet the deemed to satisfy requirements of the NCC, being a ceiling height of 2.1m. This Performance Solution Report has therefore been prepared to review compliance of the area against the performance requirement FP3.1 for ceiling heights.



THIS PLAN FOR FLOOR LEVELS ONLY. ALL OTHER FFLS DISREGARDED ON OTHER PLANS.

Absolute APPROVALS
 COLA LICENSE: 2019816
 ABN: 84 621 622 919
 BCA Occupancy Class 1a & 1ba
 Type of Construction N/A
 BUILDING APPROVAL Amended under s.32 of the Building Act 2004.
 Absolute Approvals PTY LTD
 J. W. Cross
 This Amended Approval is to be read in conjunction with any Supporting Documents, Design Statements, Performance Solutions and Approval Letter.
 Date of Amendment: 4/6/22

NOTES:
 THIS DRAWING TO BE READ IN CONJUNCTION WITH LANDSCAPE ARCHITECTS AND ENGINEERS' DRAWINGS.
 RLS SHOWN ON DRAWING AS INDICATIVE AND SUBJECT TO DETAIL DESIGN AND FINAL CIVIL LEVELS.
 TACTILE INDICATORS TO ROAD CROSSINGS AS PER AS1428.4.1 - 2009.
 ENTRANCES TO ALL RESIDENCES ALONG THE ACCESSIBLE PATH OF TRAVEL TO AS1428.1.
 MINIMUM SIGHTLINES FOR PEDESTRIAN SAFETY IN ACCORDANCE WITH AS2890.1.
 LIGHTING ALONG THE ACCESSIBLE PATH OF TRAVEL TO BE INSTALLED IN ACCORDANCE WITH AS1428.1, AS1680, AS1158.3.

RESIDENTS HAVE ACCESS TO GROUND FLOOR WASTE ENCLOSURE. REFER WASTE MANAGEMENT PLAN.
 ALL WASHING LINES ON COURTYARD / BALCONIES NOT EXCEED AND SCREEN BY COURTYARD WALLS AND BALCONY BALUSTRADE.
 REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR EXTERNAL LIGHTING LOCATIONS.
 ALL PERGOLAS AND PRIVACY SCREENING SUBJECT TO FURTHER DETAILED DESIGN.
 TERRACE LAYOUTS AND ADAPTABLE LAYOUT REFER TO DA-50 DETAILED PLANS FOR DETAILS.

LEGEND:
 - - - - - SITE BOUNDARY
 RL 630.00 GROUND PLANE RLS
 [Symbol] AC UNIT AND DRYING AREA
 [Symbol] MAIL BOXES

NAME	TYPE	COUNT
TOWNIES	1 BED	8
TOWNIES	1 BED + STUDY	9
TOWNHOUSE	2 BED TYPE A	24
TOWNHOUSE	2 BED TYPE B	24
LIGHTHOUSE	3 BED	15
TOWERHAUS	3 BED	25
GRAND TOTAL:		105

OVERALL AVENUE

HORSE PARK DRIVE

KINGSLAND PARADE

ADJOINING FUTURE DEVELOPMENT SITE



PROPOSED 1250mm HIGH FENCE ABOVE RETAINING WALL SHOWN DASHED

PROPOSED SAFETY VEHICLE BARRIER - BOLLARDS

Absolute APPROVALS
 BCA LICENSE: 2019816
 ABN: 84 621 622 919
 BCA Occupancy Class 1a & 10a
 Type of Construction
 BUILDING APPROVAL
 Amended under s.32 of the Building Act 2004
 Absolute Approvals PTY LTD
 J. Whycross
 This Amended Approval is to be read in conjunction with any Supporting Documents, Design Statements, Performance Solutions and Approval Letter.
 Date of Amendment: 4/04/2022

500mm HIGH RETAINING WALL TO SLOPE TO ASSIST IN LEVEL CHANGE SHOWN DASHED

NOTES:
 THIS DRAWING TO BE READ IN CONJUNCTION WITH LANDSCAPE ARCHITECTS AND ENGINEERS' DRAWINGS.
 RLS SHOWN ON DRAWING AS INDICATIVE AND SUBJECT TO DETAIL DESIGN AND FINAL CIVIL LEVELS.
 TACTILE INDICATORS TO ROAD CROSSINGS AS PER AS1428.4.1 - 2009.
 ENTRANCES TO ALL RESIDENCES ALONG THE ACCESSIBLE PATH OF TRAVEL TO AS1428.1.
 MINIMUM SIGHTLINES FOR PEDESTRIAN SAFETY IN ACCORDANCE WITH AS2890.1.
 LIGHTING ALONG THE ACCESSIBLE PATH OF TRAVEL TO BE INSTALLED IN ACCORDANCE WITH AS1428.1, AS1690, AS1158.3.

RESIDENTS HAVE ACCESS TO GROUND FLOOR WASTE ENCLOSURE. REFER WASTE MANAGEMENT PLAN.
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 TERRACE LAYOUTS AND ADAPTABLE LAYOUT REFER TO DA-50 DETAILED PLANS FOR DETAILS.

LEGEND:
 - - - - - SITE BOUNDARY
 RL 630.00 GROUND PLANE RLS
 [Symbol] AC UNIT AND DRYING AREA
 [Symbol] MAIL BOXES

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL AMENDED
 PURSUANT TO SECTION 198
 IN RESPECT OF THE NOMINATED
 AMENDMENTS ONLY
 Delegate name ANITA YUSOFF
 Date 23/3/2022

KINGSLAND DEVELOPMENT APPLICATION
 BLOCK 11 SECTION 132 CASEY

Drawing Number **DA-21-01** Drawing Title **GROUND FLOOR PLAN**
 Date 09/12/2021 Revision 4

0 5 10 25
 1:250 @ A1

WORTH STREET PTY LTD

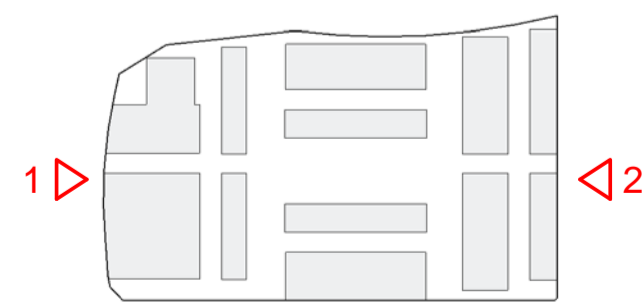




AMENDMENTS:

1. ADD 1250mm HIGH FENCE TO TOP OF RETAINING WALL SHOWN DASHED
2. ADD SAFETY VEHICLE BARRIER - BOLLARDS TO END OF DRIVEWAY
3. ADD WATER METER AND FBBV ENCLOSURE
4. MOVE KINGSLAND DEVELOPMENT SIGNAGE NORTH
5. ADD 500mm HIGH RETAINING WALL TO ASSIST WITH LANDSCAPE LEVELS CHANGE SHOWN DASHED
6. ADD LETTER BOXES TO SIDE OF WASTE ENCLOSURE AS PER AUSTRALIA POST APPROVAL

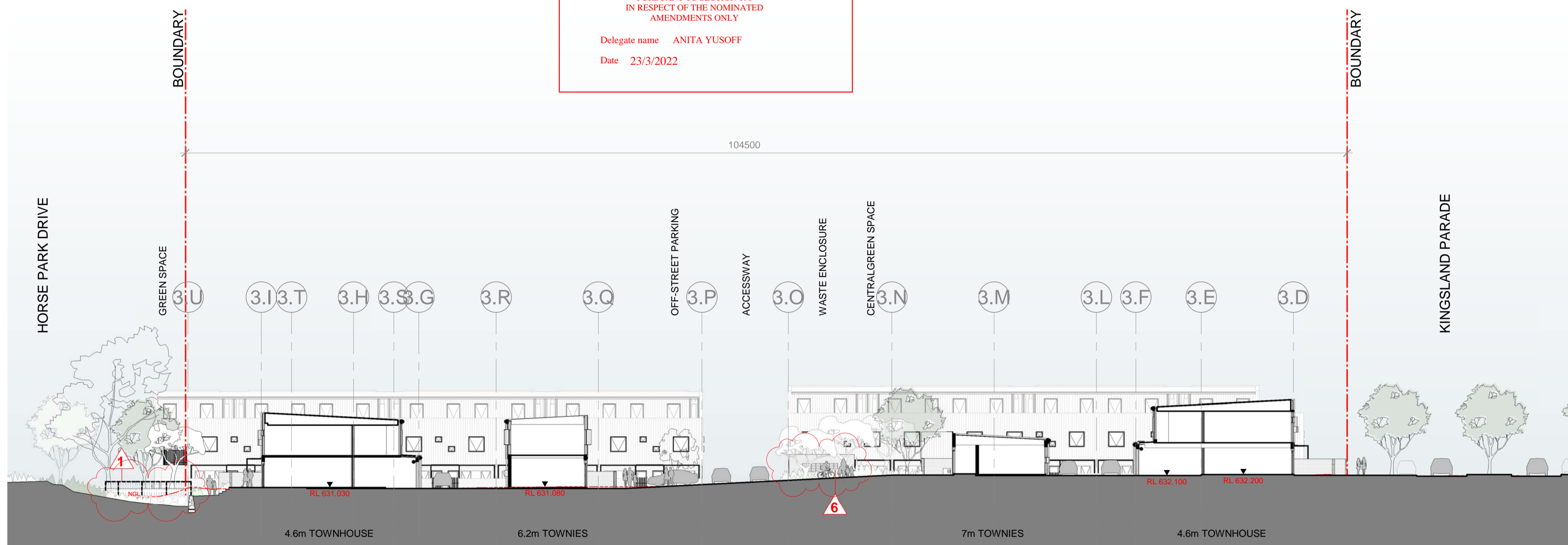
PLANNING AND DEVELOPMENT ACT 2007
APPROVAL AMENDED
 PURSUANT TO SECTION 198
 IN RESPECT OF THE NOMINATED
 AMENDMENTS ONLY
 Delegate name ANITA YUSOFF
 Date 23/3/2022





TYPICAL SECTION 03
 SCALE 1 : 250

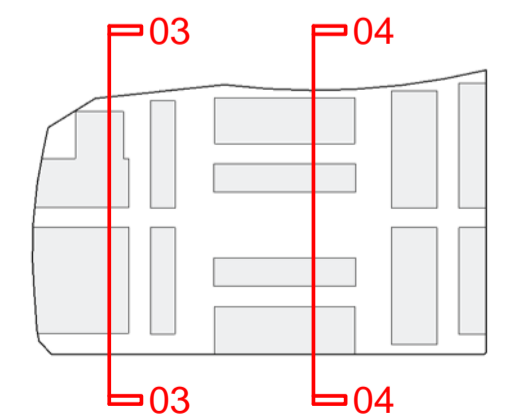
PLANNING AND DEVELOPMENT ACT 2007
APPROVAL AMENDED
 PURSUANT TO SECTION 198
 IN RESPECT OF THE NOMINATED
 AMENDMENTS ONLY
 Delegate name ANITA YUSOFF
 Date 23/3/2022



TYPICAL SECTION 04
 SCALE 1 : 250

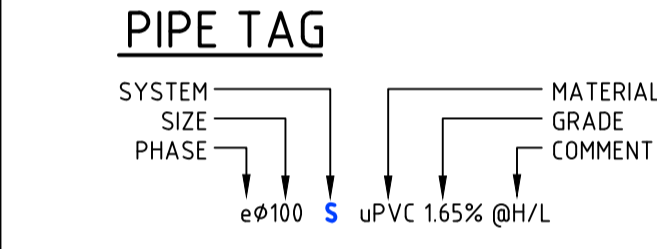
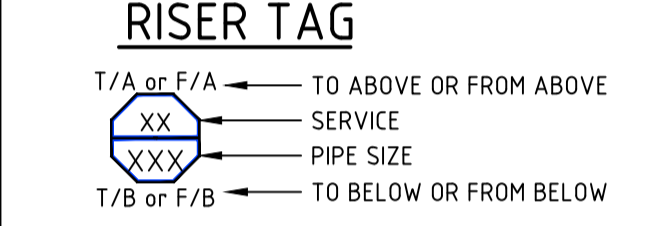
AMENDMENTS:

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2. ADD SAFETY VEHICLE BARRIER - BOLLARDS TO END OF DRIVEWAY
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6. ADD LETTER BOXES TO SIDE OF WASTE ENCLOSURE AS PER AUSTRALIA POST APPROVAL



LEGEND

NEW	EXISTING	EXISTING TO BE REMOVED OR ABANDONED	DESCRIPTION
			SANITARY DRAINAGE
			TRADE WASTE
			TRADE WASTE VENT
			SIPHONIC
			STORMWATER
			SUB-SOIL DRAINAGE
			FIRE HYDRANT SERVICE
			COLD WATER
			NON-POTABLE COLD WATER
			HOT WATER FLOW
			HOT WATER RETURN
			WARM WATER FLOW
			WARM WATER RETURN
			GAS
			SEWER MAIN
			WATER MAIN
			STORMWATER MAIN
			GAS MAIN



LEGENDS

- VALVE
- MOTORISED VALVE
- SOLENOID VALVE
- FLOAT VALVE
- PRESSURE LIMITING VALVE
- PRESSURE REDUCTION VALVE
- PRESSURE RELIEF VALVE
- BALANCING VALVE
- FLOW SWITCH
- WATER METER
- GAS METER
- REDUCED PRESSURE ZONE DEVICE
- NON-RETURN VALVE
- PUMP
- TESTABLE DOUBLE CHECK VALVE
- END CAP
- PIPE BREAK
- REDUCER
- REGULATOR
- THERMOSTATIC MIXING VALVE
- TEMPERING VALVE
- HYDRANT
- HOSEREEL 36m
- HOSEREEL 50m
- SPRING HYDRANT
- HOSE COCK
- HOT WATER UNIT
- REFLUX VALVE
- TUNDISH
- TUNDISH - TRAPPED
- TUNDISH - IN WALL
- BUCKET TRAP
- SILT TRAP
- FLOOR WASTE
- CLEAR OUT
- INSPECTION OPENING
- INSPECTION SHAFT
- OVERFLOW RELIEF GULLY
- DISCONNECTER TRAP
- AIR ADMITTANCE VALVE
- DROPPER
- DROP TEE
- RISER

ABBREVIATIONS

AAV	AIR ADMITTANCE VALVE	HW	HOT WATER
BT	BUCKET TRAP	HWF	HOT WATER FLOW
BTS	BOLTED TRAP SCREW	HWH	HOT WATER HEATER
BMS	BUILDING MANAGEMENT SERVICE	HWR	HOT WATER RETURN
BV	BALANCING VALVE	HWU	HOT WATER UNIT
BWU	BOILING WATER UNIT	IC	INSPECTION CHAMBER
CI	CAST IRON	IL	INVERT LEVEL
CICL	CAST IRON CEMENT LINED	IO	INSPECTION OPENING
CL	COVER LEVEL	IS	INSPECTION SHAFT
CO	CLEAR OUT	JU	JUMP UP
COP	CLEAR OUT OPENING	1/s	LITRES PER SECOND
COS	CLEAR OUT TO SURFACE	LP	LOW POINT
CP	CHROMIUM PLATED	LU	LOADING UNITS
CS	CLEANER'S SUMP	MH	MANHOLE
CTB	CONCRETE THRUST BLOCK	NG	NATURAL GAS
CW	COPPER	NR	NON-RETURN VALVE
CWD	COLD WATER	O/F	OVER FLOW
CWR	COLD WATER DROPPER	ORG	OVER FLOW RELIEF GULLY
CWU	COLD WATER RISER	PBO	PLANTER BED OUTLET
DCV	DOUBLE CHECK VALVE	PDP	PROVISIONAL DRAINAGE POINT
DF	DRINKING FOUNTAIN	PE	POLYETHYLENE
DICL	DUCTILE IRON CEMENT LINED	PGP	PROVISIONAL GREASE POINT
DN	DIAMETER NOMINAL	PLV	PRESSURE LIMITING VALVE
DP	DOWN PIPE	PN	PRESSURE NOMINAL
DWG	DRAWING	PRV	PRESSURE RELIEF VALVE
DwV	DRAIN WASTE VENT PIPE	PCP	REINFORCED CONCRETE PIPE
DT	DISCONNECTOR TRAP	RPZD	REDUCED PRESSURE ZONE DEVICE
e	EXISTING	RV	RELIEF VENT
EC	END CAP	RWO	RAIN WATER OUTLET
EJ	EXPANSION JOINT	SC	STOP COCK
F/A	FROM ABOVE	SMH	SEWER MANHOLE
F/B	FROM BELOW	SO	SIPHONIC ROOF OUTLET
FB	FOOT BATH	SRM	SEWER RISING MAIN
FBBV	FIRE BRIGADE BOOSTER VALVE	ST	SILT TRAP
FD	FLOOR DRAIN	SW	STORMWATER
FFL	FINISHED FLOOR LEVEL	SWMH	STORMWATER MANHOLE
FGL	FINISHED GROUND LEVEL	SWRM	STORMWATER RISING MAIN
FH	FIRE HYDRANT	SV	STOP VALVE (BALL VALVE)
FHR	FIRE HOSE REEL	SVP	STOP STACK & VENT PIPE
FOP	FLUSH OUT POINT	T/A	TO ABOVE
FS	FIRE SERVICE	T/B	TO BELOW
FU	FIXTURE UNITS	TD	TUNDISH
FW	FLOOR WASTE	TDV	TESTABLE DOUBLE CHECK VALVE
GMS	GALVANISED MILD STEEL	TMV	THERMOSTATIC MIXING VALVE
GS	GRADED SUMP	TTD	TRAPPED TUNDISH
GSD	GRADED SPOON DRAIN	TV	TEMPERING VALVE
GD	GRADED TRENCH DRAIN	TW	TRADE WASTE
HYDRANT	HYDRANT	TWVP	TRADE WASTE VENT PIPE
H/L	HIGH LEVEL	UPVC	UNPLASTICISED POLYVINYL CHLORIDE
HC	HOSE COCK	VCP	VITREOUS CLAY PIPE
HER	HIGH END RISER	VJU	VERTICAL JUMP UP
HP	HIGH POINT	VM	VENT METER
		WM	WATER METER
		YS	YARD SUMP

GENERAL NOTES

- HYDRAULIC DRAWINGS SHALL BE READ IN CONJUNCTION WITH RELEVANT ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL AND CIVIL WORKS DRAWINGS AND THE BUILDING HYDRAULICS SPECIFICATION.
- ALL WORK MUST BE CARRIED OUT IN CONFORMITY WITH THE WATER AND SEWERAGE ACT 2000 AND THE WATER AND SEWERAGE REGULATIONS 2001.
- ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH AS3500.
- THE LOCATIONS OF EXISTING SERVICES SHOWN ARE APPROXIMATE ONLY. EXACT LOCATION OF SERVICES SHALL BE VERIFIED PRIOR TO COMMENCEMENT OF WORK.
- MINIMUM GRADES ON Ø 100 AND Ø 150 STORMWATER DRAINS SHALL BE 1.00% UNLESS SHOWN OTHERWISE.
- ALL STORMWATER JUNCTIONS SHALL BE CARRIED OUT IN ACCORDANCE WITH TABLE "JUNCTION TYPES" SHOWN ON URBAN STORMWATER STANDARD DRAWING ST-0001.
- COVER LEVELS ON MANHOLES AND SUMPS SHALL BE VERIFIED BY THE SUPERINTENDENT PRIOR TO THE CONSTRUCTION OF THE TOP SECTIONS OF THE STRUCTURES. THE CONTRACTOR SHALL ALLOW TO CONSTRUCT THE COVERS ON A SLOPE TO SUIT THE FINAL SURFACE SHAPES.
- ALL FLOOR WASTES ON SANITARY DRAINAGE LINES AND PLANT ROOM SANITARY PLUMBING LINES SHALL BE 100mm x 100mm.
- WHERE UPVC PIPES PENETRATE FIRE RATED WALLS OR SLABS, THEY SHALL BE PROVIDED WITH AN APPROVED FIRE RATED COLLAR, HAVING THE SAME FIRE RATING AS THE ELEMENT BEING PENETRATED.
- WHERE SERVICES OTHER THAN UPVC AND HDPE PENETRATE CONCRETE OR MASONRY FIRE RATED BUILDING ELEMENTS, SEAL GAP BETWEEN SERVICES AND ELEMENT WITH AN APPROVED SILICON FIRE-STOP FOAM HAVING A FIRE RATING EQUAL TO THAT OF THE ELEMENT BEING PENETRATED.
- SANITARY AND STORMWATER DRAINAGE SHALL BE SUPPORTED ON OR FROM SOLID GROUND IN ACCORDANCE WITH AS3500.
- ALL DRAINAGE AND WATER SERVICES TO BE ABANDONED SHALL BE SEALED TO APPROVAL.
- EXISTING SERVICE CONNECTION POINTS SHALL BE LOCATED ON SITE AND VERIFIED PRIOR TO COMMENCEMENT OF WORK.
- FOR DETAILS OF SUBSOIL DRAINAGE REFER TO URBAN STORMWATER STANDARD DRAWINGS DS6-01 AND DS6-02.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE BEFORE SUBMITTING A TENDER TO VERIFY EXISTING CONDITIONS AND ANY ISSUES WHICH MAY IMPACT ON THE CONTRACT.
- THESE DRAWINGS ARE STRICTLY COPYRIGHT AND SHALL NOT BE COPIED OR AMENDED WITHOUT THE WRITTEN CONSENT OF SELICK CONSULTANTS PTY LTD.
- CONTRACTOR SHALL PROVIDE "WORK AS EXECUTED" DRAWINGS AND PAY ALL ASSOCIATED FEES AT THE COMPLETION OF THE HYDRAULIC WORKS.

FIRE SEALING OF PENETRATIONS NOTES

- ALL PENETRATIONS THROUGH CONCRETE FLOOR SLAB TO UPPER LEVEL SHALL BE SEALED TO PROVIDE A FRL TO AS1530
- PENETRATIONS THROUGH FIRE RATED WALLS SHALL BE SEALED TO PROVIDE A FRL TO AS1530
- CONTRACTOR TO ENSURE THAT ANY VALVE THAT CAN PREVENT FLOW OF WATER TO A FIRE HOSE REEL SHALL BE SECURED AND PADLOCKED IN THE OPEN POSITION. IT SHALL BE MARKED ON AN ATTACHED CORROSION - RESISTANT AND DURABLE TAG, WITH THE FOLLOWING IN 8mm UPPER CASE TEXT: FIRE SERVICE VALVE CLOSE ONLY TO SERVICE FIRE HOSE REELS.
- IN ACCORDANCE WITH AS2419.1 NO PLASTIC PIPES OR PIPE FITTINGS SHALL BE USED FOR WATER SERVICES ABOVE GROUND SERVICING FIRE HOSE REELS AND FIRE HYDRANTS.

PIPEWORK MATERIALS SCHEDULE

SERVICE	LOCATION	MATERIAL	STANDARD	CLASS	JOINTING	COMMENTS
SANITARY DRAINAGE	IN-GROUND	PVC-U	AS3500 & AS1260	DWV	SOLVENT WELDED	RED CLEANER, BLUE GLUE EXCEPT EXPANSION JOINTS
SANITARY PLUMBING	ABOVE GROUND	PVC-U	AS3500 & AS1260	DWV	SOLVENT WELDED	RED CLEANER, BLUE GLUE EXCEPT EXPANSION JOINTS
TRADE WASTE	IN-GROUND	HDPE	AS4130	PN4	FUSION WELDED	PN4 FOR SIZE 63Ø - 160Ø ONLY
TRADE WASTE	ABOVE GROUND	HDPE	AS4130	PN4	FUSION WELDED	PN4 FOR SIZE 63Ø - 160Ø ONLY
TRADE WASTE	ABOVE GROUND	BRASS	AS 3795	TYPE B	BRAZED	CHROME PLATED FINISH
STORMWATER	IN-GROUND	PVC-U	AS3500 & AS1254	DWV	SOLVENT WELDED	RED CLEANER, BLUE GLUE EXCEPT EXPANSION JOINTS
STORMWATER	ABOVE GROUND	PVC-U	AS3500 & AS1254	DWV	SOLVENT WELDED	RED CLEANER, BLUE GLUE EXCEPT EXPANSION JOINTS
DOWNPIPES	ABOVE GROUND	PVC-U	AS3500 & AS1254	DWV	SOLVENT WELDED	RED CLEANER, BLUE GLUE EXCEPT EXPANSION JOINTS
REUSE SUCTION LINE	IN AND ABOVE GROUND	PVCU PRESSURE	AS3500 & AS1477	CLASS 18	SOLVENT WELDED	RED CLEANER, GREEN GLUE
SUBSOIL	IN GROUND	SLOTTED WITH FILTER SOCK	TAMS DETAILS 400		MANUFACTURER REC.	JOINTED AS PER MANUFACTURER RECOMMENDATIONS
COLD WATER	IN-GROUND	PE	AS4130 & AS2033	PE80B SDR11	FUSION WELDED	
COLD WATER	IN-GROUND	PVC-M	AS4765	PN16	RUBBER RING	DICL FITTINGS. ALTERNATIVE MATERIAL
COLD WATER	IN-GROUND	COPPER	AS1432 & AS4809	TYPE 'B'	SILVER SOLDER	
COLD WATER	ABOVE GROUND	COPPER	AS1432 & AS4809	TYPE 'B'	SILVER SOLDER	OR PRESS FIT SYSTEM EQUAL TO VIEGA
COLD WATER	ABOVE GROUND	PE-X	AS2492 & AS2537.1		COMPRESSION SLEEVE	OR BRASS FITTING CRIMP COMPRESSION
NPCW RAINWATER REUSE	ABOVE GROUND	COPPER	AS1432 & AS4809	TYPE 'B'	SILVER SOLDER	OR PRESS FIT SYSTEM EQUAL TO VIEGA
NPCW RAINWATER REUSE	ABOVE GROUND	PE-X	AS2492 & AS2537.1		COMPRESSION SLEEVE	OR BRASS FITTING CRIMP COMPRESSION
HOT WATER	ABOVE GROUND	COPPER	AS1432 & AS4809	TYPE 'B'	SILVER SOLDER	OR PRESS FIT SYSTEM EQUAL TO VIEGA
FIRE	IN-GROUND	PVC-M	AS4765	PN16	RUBBER RING	DICL FITTINGS. ALTERNATIVE MATERIAL
FIRE	IN-GROUND	POLYETHYLENE (PE)	AS4130	PE100/PN16	ELECTRO-FUSION	JOINTING OF PIPE AND ASSOCIATED FITTINGS TO BE IN ACCORDANCE WITH AS 2032.
FIRE	RISERS & BRANCHES ABOVE GROUND	STEEL		FIRE PLUS	ROLLED GROOVE	RIDGED JOINTS. HOT DIPPED GALVANIZED.
FIRE	PILLAR HYDRANTS	STEEL	ASTM A53		WELDED & FLANGED	WELDING TO AS 4041 CLASS 3 PIPEWORK HOT DIPPED GALVANIZED AFTER FABRICATION.
FIRE	BOOSTER ASSEMBLY	STEEL	ASTM A53		WELDED & FLANGED	WELDING TO AS 4041 CLASS 3 PIPEWORK HOT DIPPED GALVANIZED AFTER FABRICATION.

SANITARY DRAINAGE NOTES

- ALL SEWER MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ICON WATER STANDARDS BE FITTED WITH A HEAVY DUTY CAST IRON COVER UNLESS NOTED OTHERWISE.
- VITRIFIED CLAY PIPES AND FITTINGS SHALL BE CLASS "3" AND SHALL COMPLY WITH AS1741
- UPVC PIPES AND FITTINGS SHALL COMPLY WITH AS1260 FOR SOIL, WASTE AND VENT APPLICATIONS. UPVC DRAINAGE AND PLUMBING INCLUDING STACKS AND SHALL BE INSTALLED IN ACCORDANCE WITH AS2032.
- COPPER TUBES AND FITTINGS SHALL BE TYPE "B" AND SHALL COMPLY WITH AS1432 UNLESS NOTED OTHERWISE.
- DRAINS TO BE CONSTRUCTED ARE SHOWN IN BLUE LINES. EXISTING DRAINS ARE SHOWN GREEN. EXISTING MUNICIPAL SEWER MAINS ARE SHOWN RED.
- INSPECTION OPENINGS MUST BE PROVIDED IN THE FOLLOWING LOCATIONS:
 - AT THE PROPERTY BOUNDARY
 - ON EACH WATERLOSET OR SLOP-HOPPER BRANCH
 - AT INTERVALS OF NOT MORE THAN 30 METERS, SPACED EQUI-DISTANT WHERE POSSIBLE
 - IMMEDIATELY UP STREAM AND DOWNSTREAM OF ALL JUMP-UPS
- EXISTING DRAINS UNDER NEW BUILDINGS SHALL BE RE-TESTED.
- EXISTING SEWER MAIN, WHERE CONNECTION IS TO BE MADE, SHALL BE LOCATED ON SITE BEFORE ANY WORK IS COMMENCED.
- ALL FLOOR WASTES ON DRAINAGE LINES SHALL BE 100mm x 100mm.
- ALL VENT PIPES SHALL BE INSTALLED WITHIN EXTERNAL WALL CAVITIES OR INTERNAL STUD WALLS UNLESS NOTED OTHERWISE.
- ALL CLEAR-OUTS SHALL BE RAISED TO FINISHED FLOOR LEVEL AND PROVIDED WITH A SCREWED BRASS COVER.
- WHERE UPVC PIPES PENETRATE FIRE RATED WALLS OR SLABS, THEY SHALL BE PROVIDED WITH AN APPROVED FIRE RATED COLLAR, HAVING THE SAME FIRE RATING AS THE ELEMENT BEING PENETRATED.
- SANITARY DRAINAGE SHALL BE SUPPORTED ON OR FROM SOLID GROUND IN ACCORDANCE WITH AS3500.
- PIPE WORK RECEIVING HOT DISCHARGES SHALL BE CONSTRUCTED OF BRASS OR HIGH DENSITY POLYETHYLENE (HDPE).
- ALL PIPE WORK SHALL BE CONCEALED IN WALL, VOID SPACE OR DUCTS UNLESS NOTED OTHERWISE.
- PIPE WORK SHALL BE PRESSURE TESTED PROGRESSIVELY TO ENSURE NO LEAKS.
- WHERE FLOOR WASTE GULLIES ARE INDICATED, THE FLOORS SHALL BE GRADED TOWARDS THE OUTLET IN ACCORDANCE WITH THE NEC.
- WASTE PIPES OF Ø100 SHALL BE GRADED AT 1.65% AND ALL OTHER PIPE WORK SHALL BE GRADED AT 2.5%. VENTS SHALL BE GRADED AT 1.25% UNLESS NOTED OTHERWISE.
- THE INSPECTION SHAFT AT THE PROPERTY BOUNDARY IS TO BE IN ACCORDANCE WITH PLUMBING NOTE 3.
- ORG LEVELS ARE TO BE IN ACCORDANCE WITH AS3500 AND ACTPLA PLUMBING NOTE 22.
- TUNDISHES SHALL BE INSTALLED TO RECEIVE MECHANICAL PLANT WASTE IN LOCATIONS NOMINATED BY MECHANICAL ENGINEER. THESE TUNDISHES SHALL BE CONNECTED ABOVE THE TRAP SEAL OF THE NEAREST WASTE FIXTURE. THERE MUST BE AN AIR GAP OF 25mm FROM THE END OF THE DISCHARGE PIPE TO THE TOP OF THE TUNDISH AND THEY MUST BE LOCATED IN AN ACCESSIBLE POSITION.

HEALTH AND SAFETY

- THE MAIN CONTRACTOR AND ALL SUB-CONTRACTORS SHALL COMPLY WITH APPLICABLE HEALTH AND SAFETY CODES OF PRACTICE, GUIDANCE NOTES, AUSTRALIAN STANDARDS AND OTHER RELEVANT DOCUMENTATION.
- CURRENT LEGISLATION REQUIRES THAT ALL PERSONS ARE TO CONSIDER THEIR ACTIONS OR LACK OF ACTION ON THE HEALTH AND SAFETY OF THEMSELVES AND OTHERS. ADVICE ON SAFETY LEGISLATION IS AVAILABLE FROM THE HEALTH AND SAFETY EXECUTIVE OFFICER NOMINATED FOR THE PROJECT.
- THE MAIN CONTRACTOR AND ALL SUB-CONTRACTORS SHALL IDENTIFY HAZARDS OR WORK SEQUENCES THAT MAY BE A RISK TO THE HEALTH AND SAFETY OF CONSTRUCTION WORKERS. IF POSSIBLE, AVOID THE RISK COMPLETELY. IF NOT, ADVISE THE SITE MANAGEMENT FOR INCLUSION IN THE HEALTH AND SAFETY PLAN.
- THE MAIN CONTRACTOR AND ALL SUB-CONTRACTORS SHALL CARRY OUT RISK ASSESSMENTS FOR ALL OF THEIR ACTIVITIES AND WHERE NECESSARY INTRODUCE SUITABLE CONTROL MEASURES, OR PROVIDE PROTECTIVE CLOTHING TO MINIMISE THOSE RISKS. COPIES OF RISK ASSESSMENTS MUST BE PROVIDED TO THE SITE MANAGEMENT FOR INSPECTION.

GAS SUPPLY

- GAS TO BE INSTALLED USING COPPER TUBING TO AS1432 TYPE 'A' OR 'B'
- GAS SUPPLY TO BE INSTALLED IN ACCORDANCE WITH AS5601.

DRAINAGE PLAN DETAILS

PLAN No: _____
 OWNER: ELEVATED LIVING
 BLOCK: 11 SECTION: 132
 SUBURB: CASEY

PLAN OF SANITARY DRAINAGE AND WATER SUPPLY

THE PLUMBING AND DRAINAGE IS DESIGN TO AS/NZS 3500 PLUMBING STANDARDS.

ALL WORK MUST BE CARRIED OUT IN CONFORMITY WITH THE WATER AND SEWER ACT 2000 AND THE WATER AND SEWERAGE REGULATIONS 2001.

SELICK INNOVATION
 PATENT NUMBER: 2013100877
 IMPLEMENTED IN THIS HYDRAULIC DESIGN FOR FURTHER INFORMATION ON THE SELICK INNOVATION, PLEASE CONTACT OUR OFFICE.

WATER SUPPLY NOTES

- ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH AS3500.
- COPPER TUBES AND FITTINGS SHALL COMPLY WITH AS1432 TYPE "B" TUBES (WATER SUPPLY) AND TYPE "A" TUBES (FIRE SUPPLY).
- DUCTILE IRON CEMENT LINED PIPE FITTINGS SHALL COMPLY WITH AS2280. UPVC PIPES AND FITTINGS SHALL BE CLASS "PN16" TO AS1477, BLUE IN COLOUR AND COMPATIBLE WITH DICL PIPES AND FITTINGS.
- CROSS LINKED POYETHYLENE TUBING MAY BE USED AS AN ALTERNATIVE TO COPPER TUBE EXCEPT FOR ANY PIPING EXPOSED EXTERNALLY, THE LAST ONE METRE AT THE HOT WATER UNIT OR PENETRATIONS THROUGH FIRE RATED ELEMENTS. EQUIVALENT PIPE SIZES SHALL BE USED IN ACCORDANCE WITH AS3500.
- ALL CONNECTIONS BETWEEN DISSIMILAR PIPE MATERIALS SHALL BE MADE WITH APPROVED MANUFACTURED FITTINGS.
- HDPE PIPES SHALL BE CLASS "PN16" AND COMPLY WITH AS4130. FITTINGS SHALL BE CLASS "PN16" AND COMPLY WITH AS4129.
- WATER METER PIT SHALL BE CONSTRUCTED IN ACCORDANCE WITH ICON WATER STANDARD.
- SIZES SHOWN ARE INDICATIVE ONLY. THE PRESSURE AT ALL WATER OUTLETS ARE NOT TO EXCEED 500kPa IN ACCORDANCE WITH AS3500. PRESSURE REDUCTION IS TO BE ACHIEVED BY UTILIZING PRESSURE REDUCTION STATIONS.
- HOT WATER METERS AND DATA LOGGERS SHALL BE INSTALLED WITHIN EACH UNIT.
- ALL ISOLATION VALVES AND THERMOSTATIC MIXING VALVES SHALL BE POSITIONED IN APPROVED ACCESSIBLE LOCATIONS. VALVES LOCATED IN DUCTS OR WALLS SHALL BE POSITIONED WITH ACCESS COVERS.
- HOT WATER INSTALLATIONS TO PERSONAL HYGIENE FIXTURES SHALL BE SET AT MAX. 50° CELSIUS BY USE OF TEMPERING VALVES.
- HOT WATER INSTALLATION TO PERSONAL HYGIENE FIXTURES IN DISABLED AMENITIES IS TO BE VIA A THERMOSTATIC MIXING VALVE SET AT 43° CELCIUS.
- HOT WATER INSTALLATIONS TO ALL KITCHEN AND TEA ROOM SINKS SHALL BE SET AT MAX. 60° CELSIUS DELIVERY. HAND BASINS IN THESE AREAS ARE TO BE FITTED WITH TEMPERING VALVES SET AT MAX. 50° CELSIUS UNLESS NOTED OTHERWISE
- HOT WATER STORAGE UNITS SHALL BE SET TO STORE AT A MINIMUM OF 60° CELSIUS.
- DO NOT INSTALL PIPE WORK INTO SOUND INSULATED WALLS UNLESS OTHERWISE NOTED.
- PAN CISTERNS SHALL BE PROVIDED WITH CHROME PLATED ISOLATION VALVES.
- WHERE WATER PIPES ARE IN CONTACT WITH DISSIMILAR METALS, THE METALS SHALL BE INSULATED AGAINST BI-METAL CORROSION. 19. HOSE COCKS SHALL BE 600mm ABOVE FINISHED SURFACE LEVEL AND SHALL BE 20mm IN SIZE, AND FITTED WITH ANTI-VANDAL TAPS AND APPROVED VACUUM BREAKERS UNLESS NOTED OTHERWISE.
- ALL PIPE WORK SHALL BE CONCEALED. WHERE PIPE WORK IS EXPOSED IT SHALL BE CHROME PLATED.
- PIPE SUPPORTS SHALL BE INSTALLED PROGRESSIVELY AS PIPES ARE INSTALLED. SUPPORT SYSTEM SHALL BE DESIGNED FOR SAFETY AND COMPLETELY SUPPORT THE WEIGHT AND THRUST OF PIPE WORK AND ASSOCIATED WORK. PIPE WORK SHALL BE ADEQUATELY ANCHORED AT THRUST POINTS.
- ALL PIPE WORK SHALL BE Ø20 WITH Ø15 BRANCHES TO INDIVIDUAL FIXTURES UNLESS NOTED OTHER WISE. MAXIMUM LENGTH OF Ø15 BRANCHES SHALL BE 2.0m.

WATER RE-USE

- WHERE TREATED GREY WATER OR CAPTURED RAIN WATER IS TO BE REUSED A TESTABLE DOUBLE CHECK VALVE MUST BE INSTALLED AT THE PROPERTY BOUNDARY. ALSO, A NON-TESTABLE DOUBLE CHECK VALVE IS TO BE INSTALLED ON THE DOMESTIC WATER SUPPLY PIPE FOR TANK TOP-UP.

PLUMBING PLAN APPROVED

SIGNATURE: _____
 APPROVED BY: John Chiera
 REG. NUMBER: 199615657
 DATE: 05/04/2022

Rev	Description	Date	Drawn By
C	WORK AS EXECUTED	05.04.22	ZH
B	FOR CERTIFICATION/CONSTRUCTION	07.12.20	JS
A	FOR CERTIFICATION/CONSTRUCTION	04.09.20	JS
2	FOR BA/TENDER	17.08.20	JS
1	FOR INFORMATION	09.06.20	JS

Scales: North

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Original Size	Drawn By	Drafting Check
A1	JS	JS
Date Plotted	Designed By	Design Check
5-Apr-22	LH	LH
Coordinate System	Approved	Approved Date
STROMLO GRID	BW	05.04.22
Height Datum	Approved Signature	
AHD		

WORK AS EXECUTED			
Project Name and Location	KINGSLAND BLOCK 11 SECTION 132 CASEY		
Drawing Title	NOTES AND LEGEND		
Project Number	Type	Discipline	Drawing Number
190988	DRG	HYD	000 10 01
Rev	C		

File Name: P:\2019\190988_Casey\Multi-Unit-Development-B1-S132\04_CAD\4_2_Drawings\HYD\190988-drg-hyd-000-1001.dwg

GAS DESIGN NOTES:

- Ø25Cu - 250Mj/Hr - 35m MAX.
- Ø25Cu - 350Mj/Hr - 20m MAX.
- Ø32Cu - 250Mj/Hr - 120m MAX.
- Ø32Cu - 350Mj/Hr - 65m MAX.

DRAINAGE PLAN DETAILS

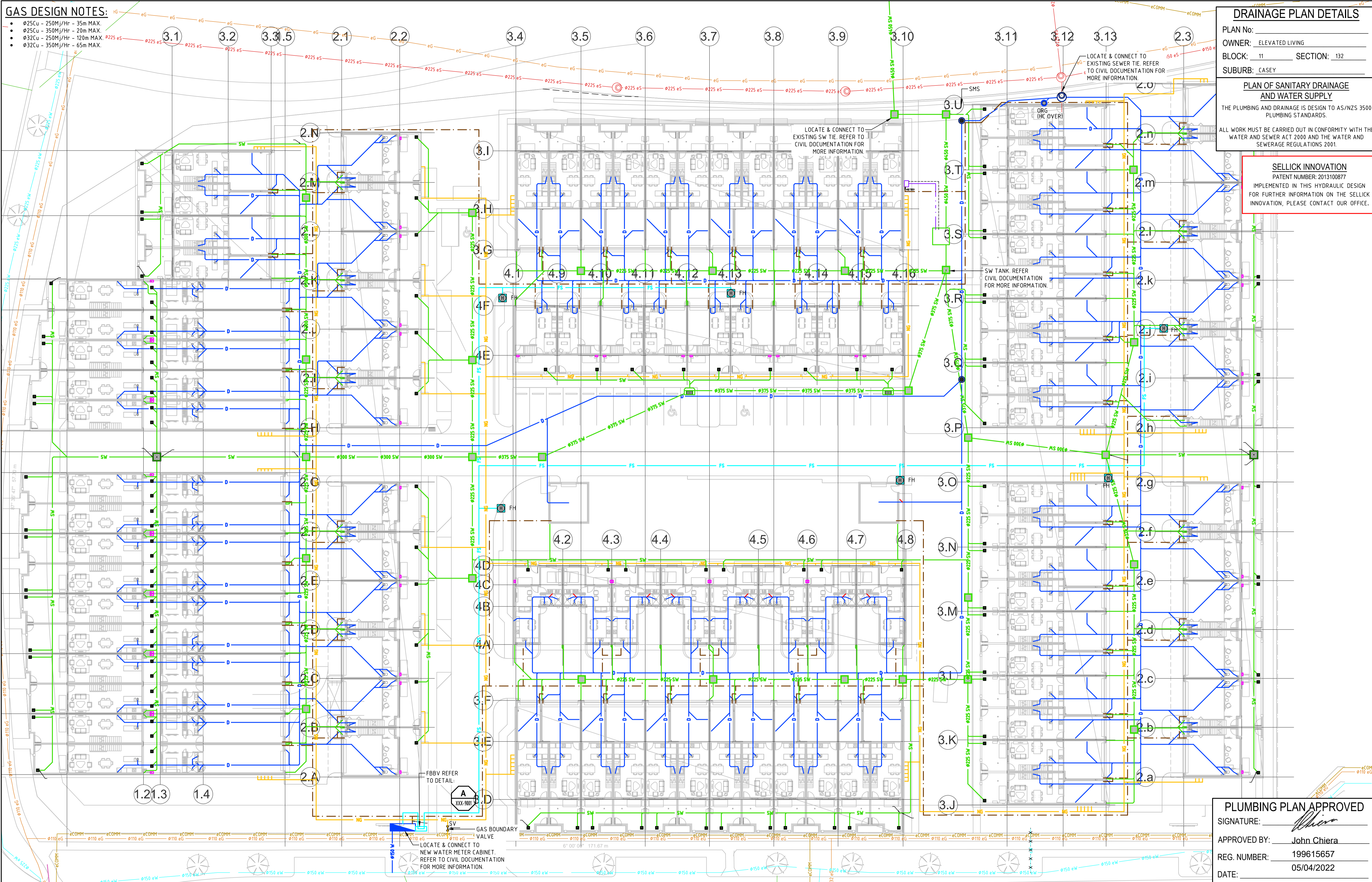
PLAN No: _____
 OWNER: ELEVATED LIVING
 BLOCK: 11 SECTION: 132
 SUBURB: CASEY

PLAN OF SANITARY DRAINAGE AND WATER SUPPLY

THE PLUMBING AND DRAINAGE IS DESIGN TO AS/NZS 3500 PLUMBING STANDARDS.

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SELICK INNOVATION
 PATENT NUMBER: 2013100877
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SIGNATURE: _____
 APPROVED BY: John Chiera
 REG. NUMBER: 199615657
 DATE: 05/04/2022

File Name: P:\2019\190988_Casey\Multi-Unit-Development-B1-S132\04_CAD\4_2_Drawings\HYD\190988-drg-hyd-000-2001.dwg

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A	FOR CERTIFICATION/CONSTRUCTION	04.09.20	JS
3	FOR BA/TENDER	17.08.20	JS
2	FOR INFORMATION	25.06.20	JS
1	FOR INFORMATION	09.06.20	JS
Rev	Description	Date	Drawn By

Scales
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Status			
WORK AS EXECUTED			
Original Size	A1	Drawn By	JS
Date Plotted	5-Apr-22	Designed By	LH
Coordinate System	STROMLO GRID	Approved	BW
Height Datum	AHD	Approved Date	05.04.22
		Approved Signature	

Project Name and Location		KINGSLAND	
		BLOCK 11 SECTION 132 CASEY	
Drawing Title			
SITE PLAN			
Project Number	Type	Discipline	Drawing Number
190988	DRG	HYD	000 20 01
			Rev
			C

File Name: P:\2019\190988_Casey\Multi-Unit-Development-B1-S132\04_CAD\4_2_Drawings\HYD\190988-drg-hyd-L00-0002.dwg

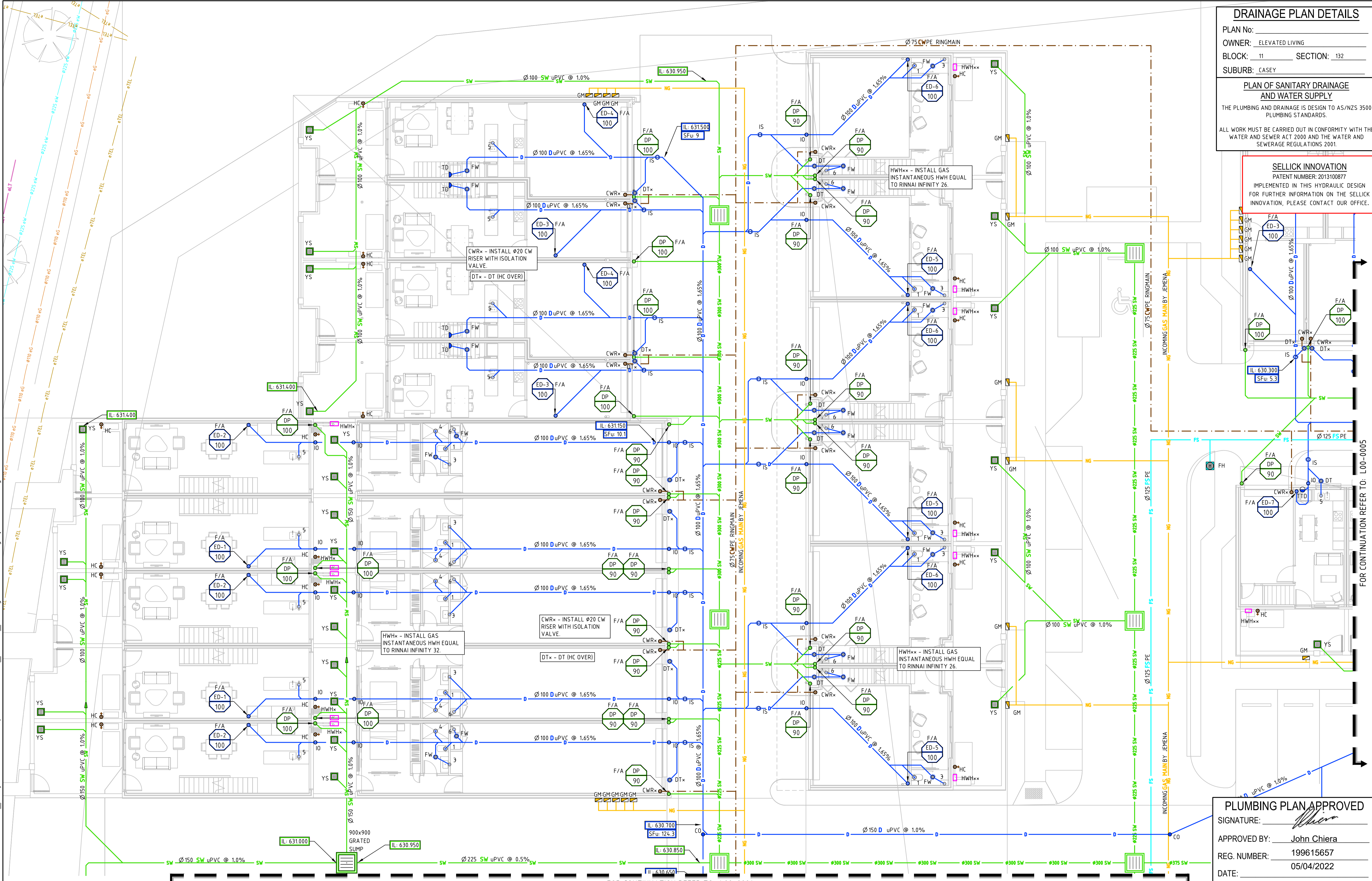
DRAINAGE PLAN DETAILS

PLAN No: _____
 OWNER: ELEVATED LIVING
 BLOCK: 11 SECTION: 132
 SUBURB: CASEY

PLAN OF SANITARY DRAINAGE AND WATER SUPPLY

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Scales

1:100 @ A1

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Status			
WORK AS EXECUTED			
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Coordinate System	STROMLO GRID	Approved	BW
Height Datum	AHD	Approved Signature	
Drafting Check	JS	Design Check	LH
Approved Date	05.04.22		

Project Name and Location				
KINGSLAND				
BLOCK 11 SECTION 132 CASEY				
Drawing Title				
GENERAL ARRANGEMENT				
GROUND LEVEL - BLOCK 1B & 1D				
Project Number	Type	Discipline	Drawing Number	
190988	DRG	HYD	Level	Series No
			L00	00 02 C

FOR CONTINUATION REFER TO: L00-0001

FOR CONTINUATION REFER TO: L00-0005

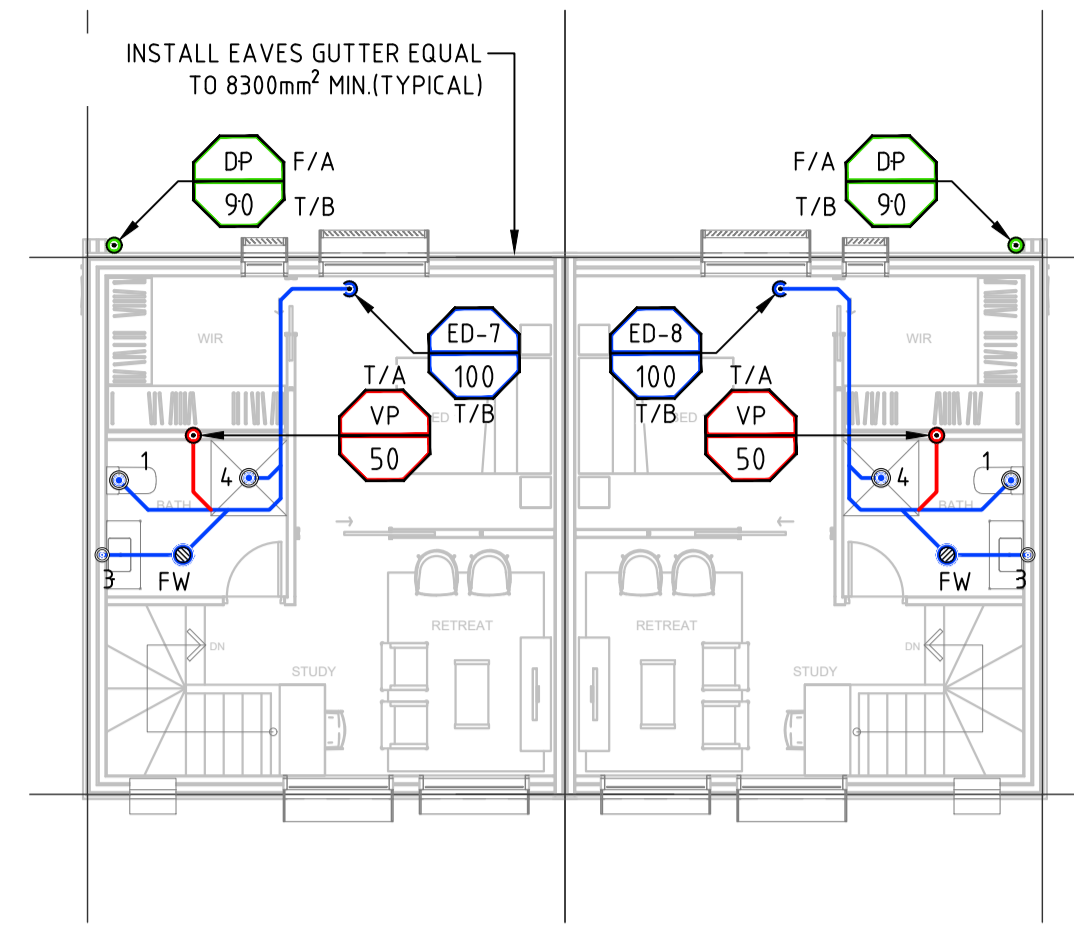
DRAINAGE PLAN DETAILS

PLAN No: _____
 OWNER: ELEVATED LIVING
 BLOCK: 11 SECTION: 132
 SUBURB: CASEY

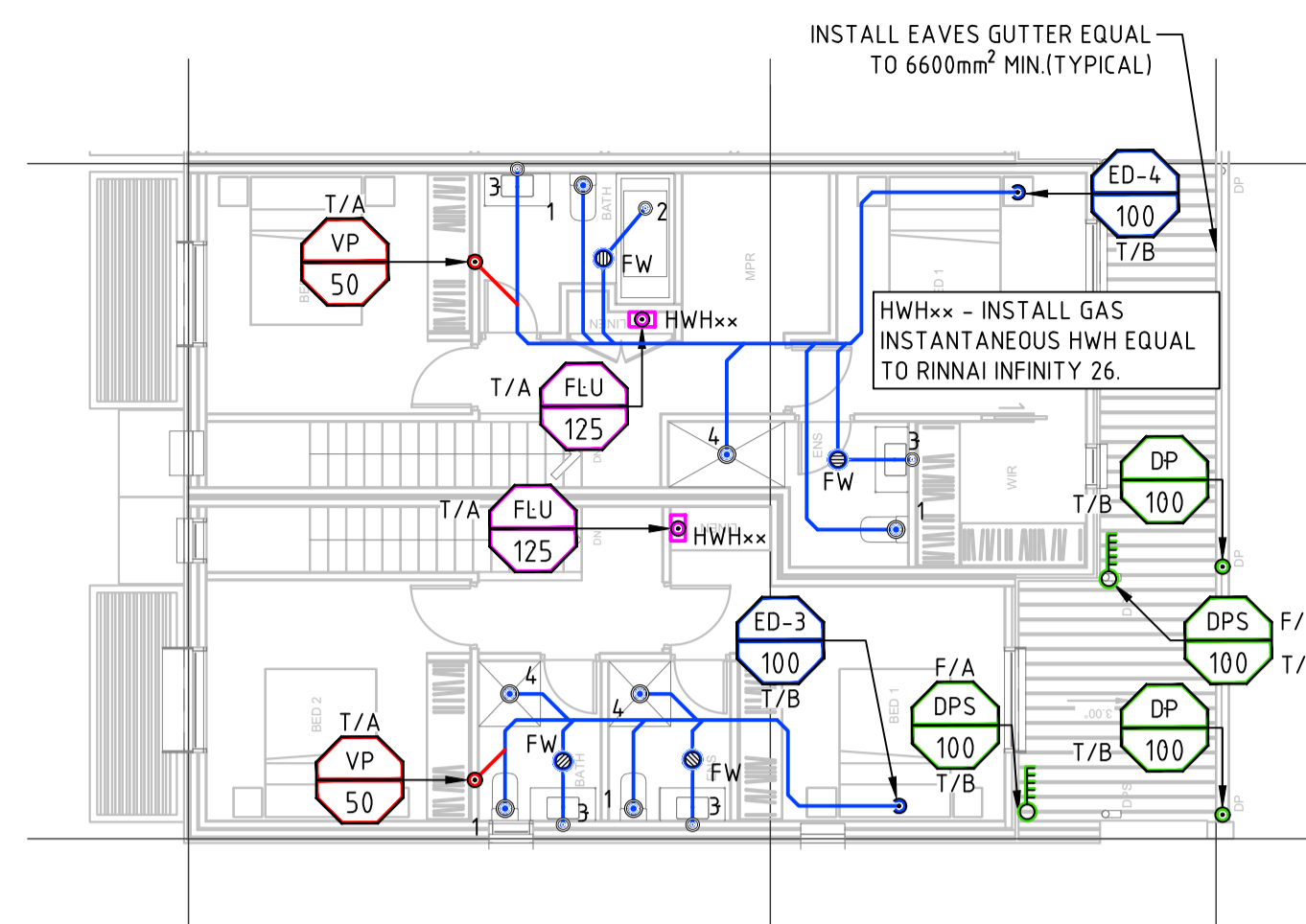
PLAN OF SANITARY DRAINAGE AND WATER SUPPLY

THE PLUMBING AND DRAINAGE IS DESIGN TO AS/NZS 3500 PLUMBING STANDARDS.
 ALL WORK MUST BE CARRIED OUT IN CONFORMITY WITH THE WATER AND SEWERAGE ACT 2000 AND THE WATER AND SEWERAGE REGULATIONS 2001.

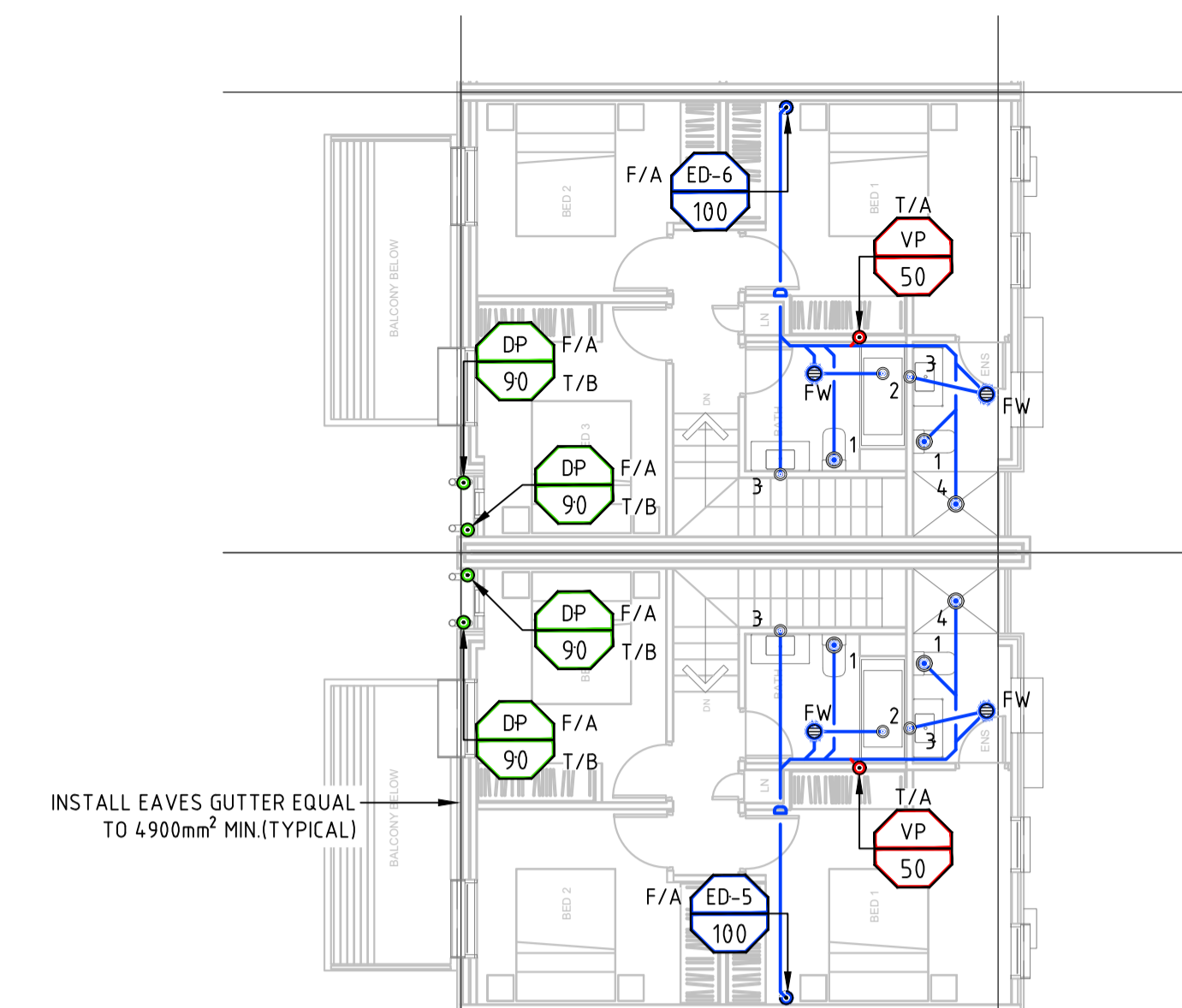
SELICK INNOVATION
 PATENT NUMBER: 2013100877
 IMPLEMENTED IN THIS HYDRAULIC DESIGN FOR FURTHER INFORMATION ON THE SELICK INNOVATION, PLEASE CONTACT OUR OFFICE.



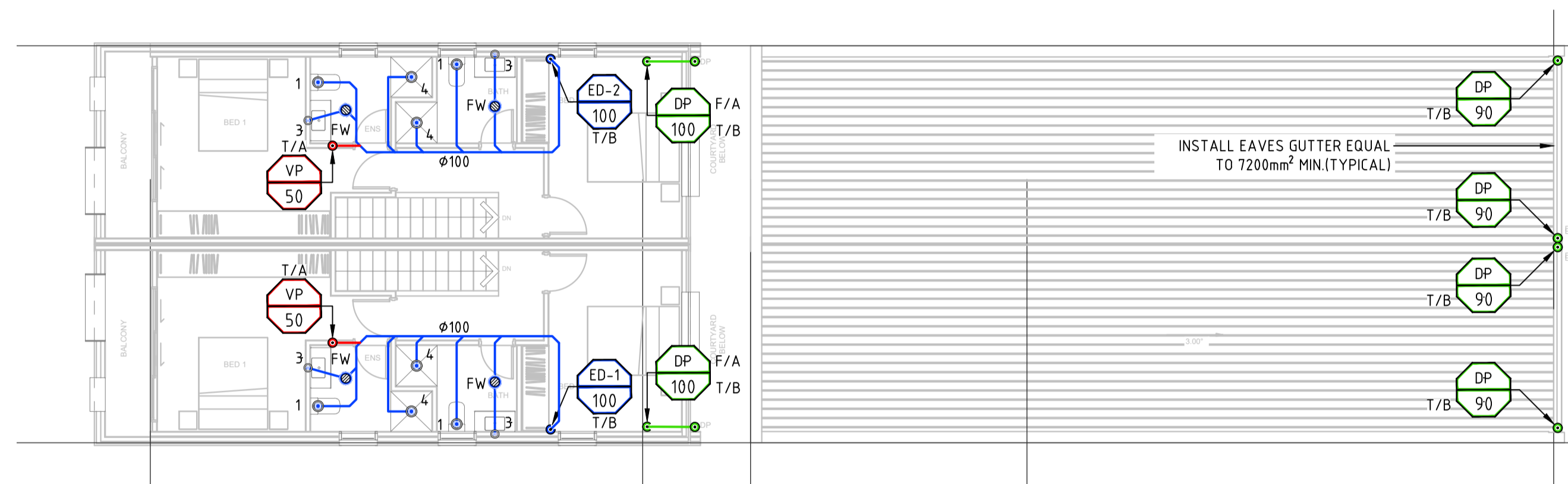
TYPICAL 2 STOREYS TOWNIES LEVEL ONE



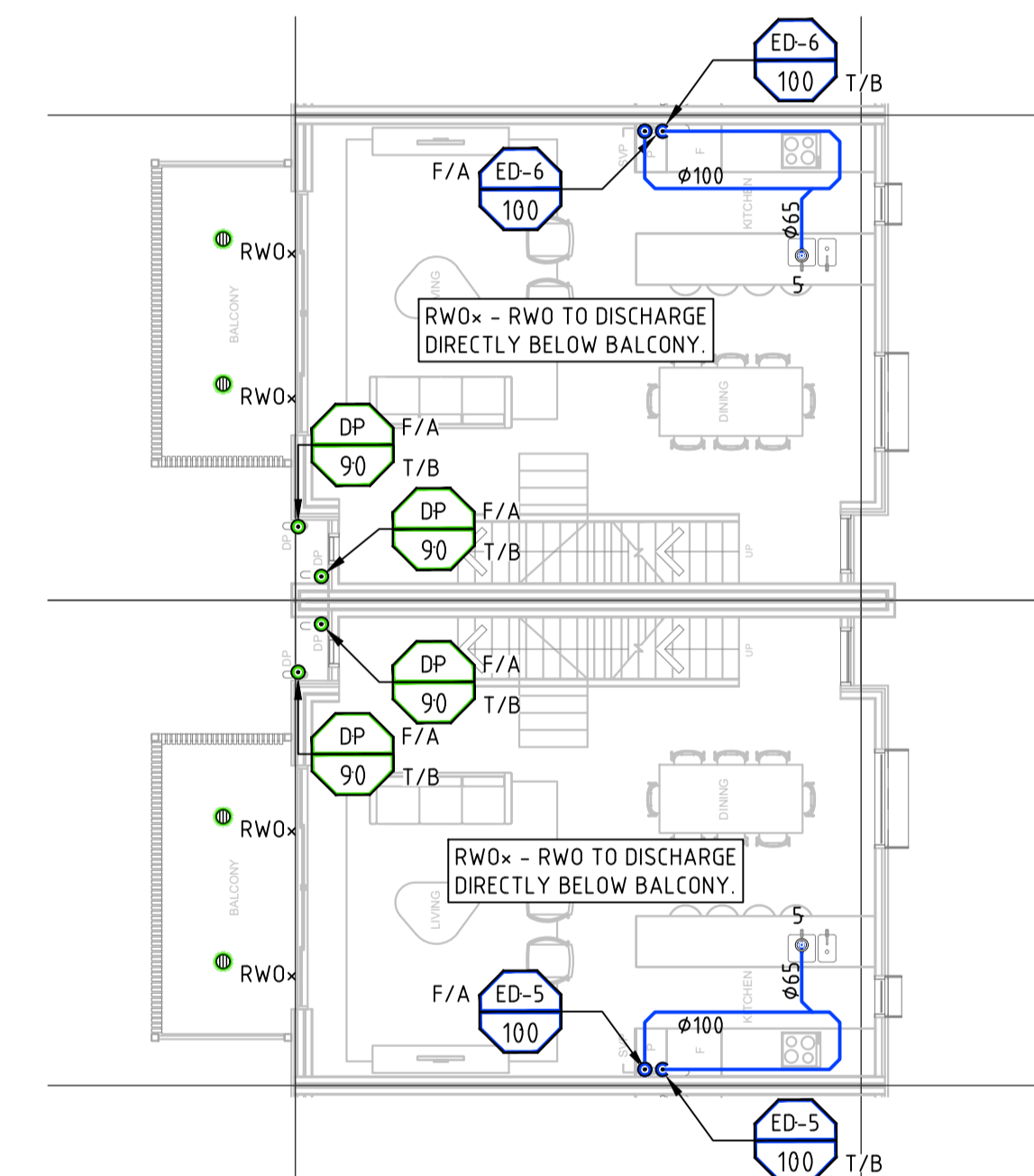
TYPICAL 2 STOREYS 4.6m TOWNHOUSE LEVEL ONE



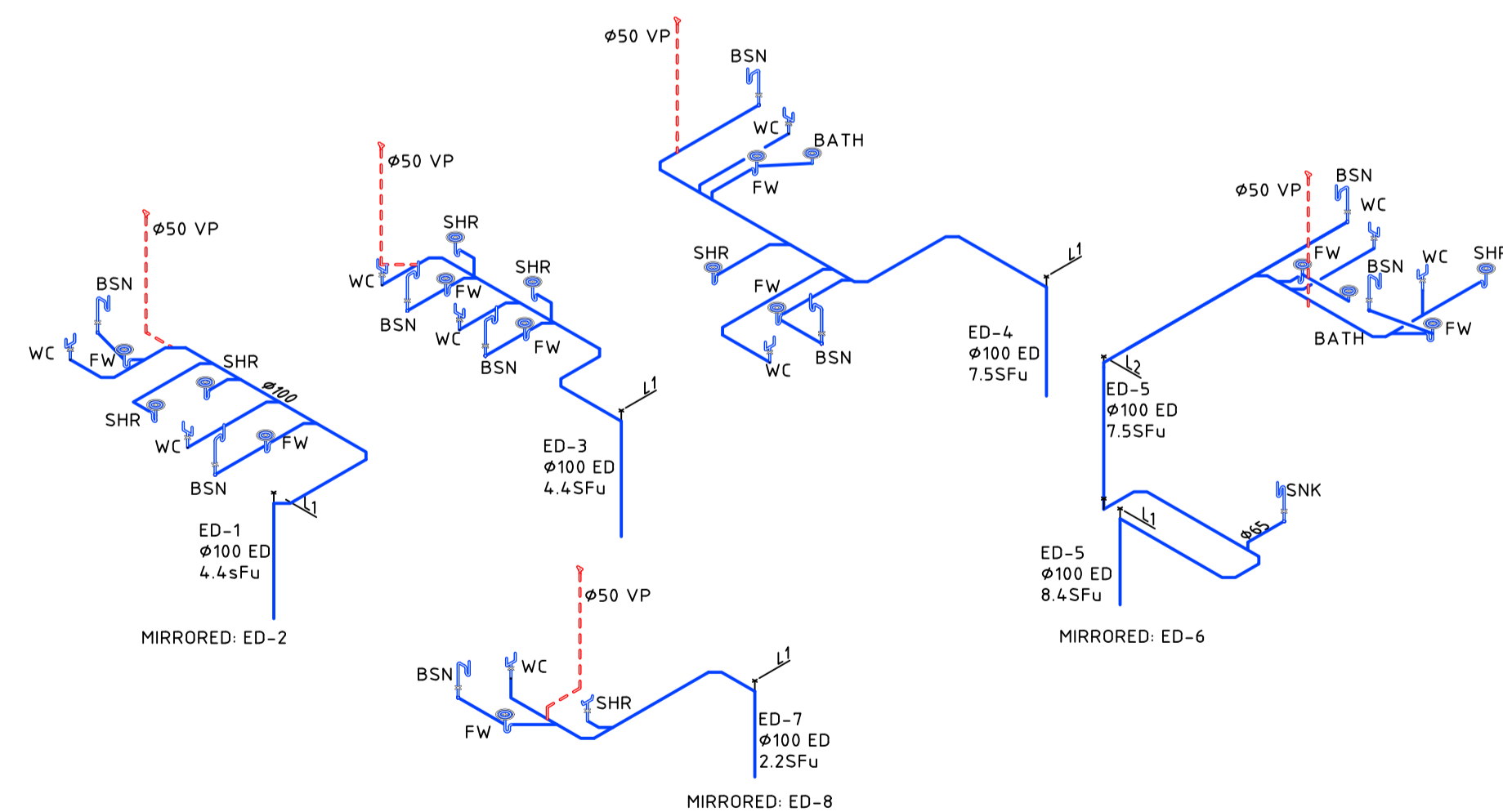
TYPICAL 3 STOREYS 7m TOWERHAUS LEVEL TWO



TYPICAL 2 STOREYS 4.3m LIGHTHOUSE LEVEL ONE



TYPICAL 3 STOREYS 7m TOWERHAUS LEVEL ONE



SANITARY ISOMETRICS

PLUMBING PLAN APPROVED

SIGNATURE: _____
 APPROVED BY: John Chiera
 REG. NUMBER: 199615657
 DATE: 05/04/2022

File Name: P:\2019\190988_Casey\Multi-Unit-Development-B1-S132\04_CAD\4_2_Drawings\HYD\190988-drg-hyd-L01-0001.dwg

C	WORK AS EXECUTED	05.04.22	ZH
B	FOR CERTIFICATION/CONSTRUCTION	07.12.20	JS
A	FOR CERTIFICATION/CONSTRUCTION	04.09.20	JS
3	FOR BA/TENDER	17.08.20	JS
2	FOR INFORMATION	25.06.20	JS
1	FOR INFORMATION	11.06.20	JS
Rev	Description	Date	Drawn By

Scales

0 2 3 4 5m

1:100 @ A1

North

DO NOT SCALE OFF DRAWINGS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO WORK.
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WORK AS EXECUTED			
Original Size	A1	Drawn By	JS
Date Plotted	5-Apr-22	Designed By	LH
Coordinate System	STROMLO GRID	Approved	BW
Height Datum	AHD	Approved Date	05.04.22
Approved Signature			

Project Name and Location			
KINGSLAND			
BLOCK 11 SECTION 132 CASEY			
Drawing Title			
GENERAL ARRANGEMENT			
LEVEL 01-02 & ISOMETRICS			
Project Number	Type	Discipline	Drawing Number
190988	DRG	HYD	Level Series No
			L01 00 01
			Rev C

Energy Efficiency Rating



UNDERSTANDING YOUR ENERGY EFFICIENCY RATING (EER)

An energy efficiency rating (EER) is a rating used to identify the energy efficiency of homes in the ACT.

The Civil Law (Sale of Residential Property) Act 2003 requires all homes being sold in the ACT to carry an energy efficiency rating (EER). This enables owners and buyers to compare a home's passive energy performance characteristics with others for sale in the Territory.

In the ACT, established homes are assessed using 1st generation software, and can achieve **0 to 6 stars** in the rating scheme.

Houses with a higher EER are more cost and energy efficient, use less energy for heating and cooling, generate lower greenhouse gas emissions, and are more comfortable.

What information is taken into account when assessing my homes energy efficiency?

- Layout of the home
- Construction of its roof, walls, windows, and floor
- Wall, floor, and ceiling insulations
- Orientation of windows and shading of the sun's path and local breezes
- Influence of the local climate
- Air leakages

What information is not applicable when assessing my homes energy efficiency?

- Heating and cooling
- Hot water systems
- Lighting systems and appliances
- Solar panels

How can I improve my energy efficiency rating?

Your energy efficiency report will include a list of design options (unless it's already achieved the maximum rating of 6 stars). This will outline the improvements that can be made to gain additional points and increase the overall star rating of your home.

When I built my home, I was provided with a 10-star energy rating. Why has this decreased?

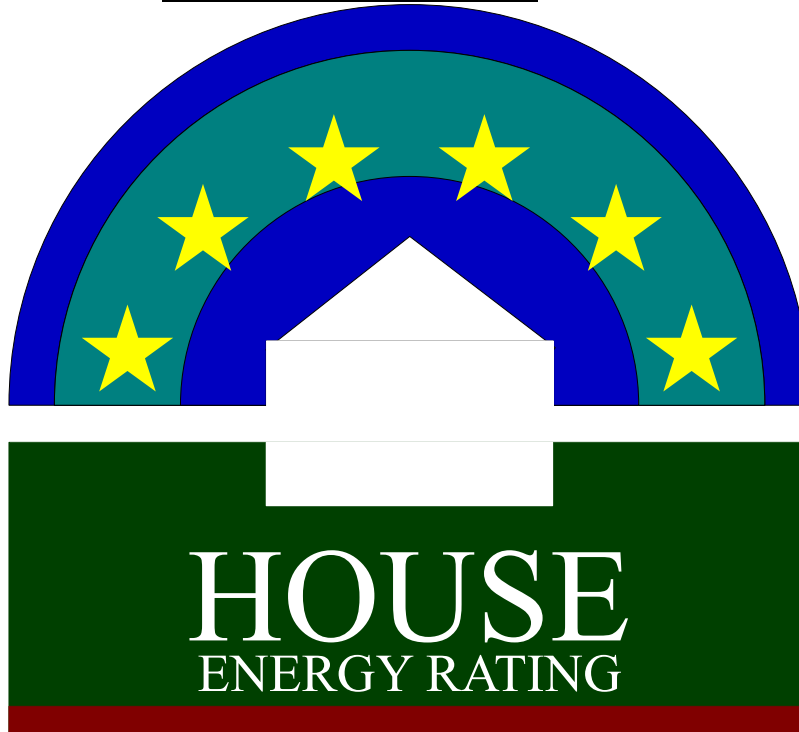
The ACT Government has two software systems in place to generate energy efficiency ratings:

1. Established homes: An on site assessment using 1st generation software. A maximum of 6 stars can be achieved.
2. Brand new homes: A computer based assessment using 2nd generation software. A maximum of 10 stars can be achieved.

If you hold an energy efficiency rating that exceeds 6 stars, it is a 2nd generation EER and would have been provided when your home was brand new.

When assessing a home's energy efficiency for the purpose of sale, property inspection companies are required to use 1st generation software, which will achieve a maximum of 6 stars.

FirstRate Report



YOUR HOUSE ENERGY RATING IS: ★★☆☆☆☆ **6 STARS**
in Climate: 24 **SCORE: 29 POINTS**

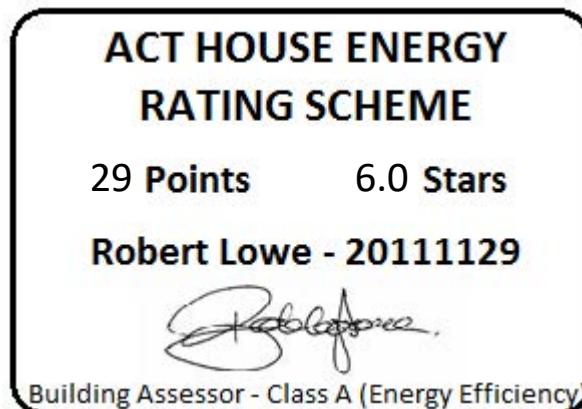
Name: Motion

Ref No: 68874

House Title: Unit 9 Block 11 Section 132 CASEY

Date: 19-03-2026



Address: 9/148 Overall Ave, Casey ACT 2913



This rating only applies to the floor plan, construction details, orientation and climate as submitted and included in the attached Rating Summary. Changes to any of these could affect the rating.

IMPROVING YOUR RATING

The table below shows the current rating of your house and its potential for improvement.

Star Rating	POOR			AVERAGE				GOOD			V. GOOD	
	0 Star	★	★★	★★★	★★★★	★★★★★	★★★★★★	★★★★★★★	★★★★★★★★	★★★★★★★★★		
Point Score	-71	-70	-46	-45	-26	-25	-11	-10	4	5	16	17
Current	29											
Potential	40											

Incorporating these design options will add the additional points required to achieve the potential rating shown in the table. Each point represents about a 1% change in energy efficiency. This list is only a guide to the range of options that could be used.

Design options

Additional points

Change curtain to

Heavy Drapes & Pelmet

10

ORIENTATION

Orientation is one of the key factors which influences energy efficiency. This dwelling will achieve different scores and star ratings for different orientations.

Current Rating	29	★★★★★★
-----------------------	-----------	---------------

Largest windows in the dwelling;

Direction : ENE

Area : 13 m²

The table below shows the total score for the dwelling when these windows face the direction indicated.

Note that obstructions overshadowing windows have been removed from all windows in these ratings to allow better comparisons to be made between orientations.

ORIENTATION	POINT SCORE	STAR RATING
1. North East	36	★★★★★★
2. East	30	★★★★★★
3. South East	29	★★★★★★
4. South	35	★★★★★★
5. South West	31	★★★★★★
6. West	27	★★★★★★
7. North West	29	★★★★★★
8. North	39	★★★★★★

FirstRate Mode
Climate: 24

RATING SUMMARY for: Unit 9 Block 11 Section 132 CASEY, 9/148 Overall Ave, Casey ACT 2913,

Assessor's Name:

Net Conditioned Floor Area: 87.3 m²

				Points		
Feature				Winter	Summer	Total
CEILING				12	0	12
Surface Area:	5	Insulation:	9			
WALL				1	-1	0
Surface Area:	-3	Insulation:	5	Mass:	-2	
FLOOR				14	0	15
Surface Area:	5	Insulation:	1	Mass:	9	
AIR LEAKAGE (Percentage of score shown for each element)				5	0	4
Fire Place	0 %	Vented Skylights	0 %			
Fixed Vents	0 %	Windows	37 %			
Exhaust Fans	33 %	Doors	16 %			
Down Lights	0 %	Gaps (around frames)	14 %			
DESIGN FEATURES				0	1	1
Cross Ventilation	1					
ROOF GLAZING				0	0	0
Winter Gain	0	Winter Loss	0			
WINDOWS				-1	-20	-21
Window Direction	Area		Point Scores			
	m2	%NCFA	Winter* Loss	Winter Gain	Summer Gain	Total
ENE	13	15%	-19	23	-10	-6
WSW	9	10%	-14	9	-10	-15
Total	22	25%	-33	32	-20	-21

* Air movement over glazing can significantly increase winter heat losses. SEAV recommends heating/cooling duct outlets be positioned to avoid air movement across glass or use deflectors to direct air away from glass.

The contribution of heavyweight materials to the window score is 2 points

				Winter	Summer	Total
RATING	★ ★ ★ ★ ★ ★			31	-20	29*

* includes 19 points from Area Adjustment

Detailed House Data

House Details

ClientName Motion
HouseTitle Unit 9 Block 11 Section 132 CASEY
StreetAddress 9/148 Overall Ave, Casey ACT 2913
FileCreated 19-03-2026

Climate Details

State
Town Canberra
Postcode 2600
Zone 24

Floor Details

<u>ID</u>	<u>Construction</u>	<u>Sub Floor</u>	<u>Upper</u>	<u>Shared</u>	<u>Foil</u>	<u>Carpet</u>	<u>Ins RValue</u>	<u>Area</u>
3	Concrete Slab on ground	No Subfloor	No	No	No	Float Timb	R1.0	42.0m ²
4	Timber	NA	Yes	No	No	Tiles	R0.0	10.5m ²
5	Timber	NA	Yes	No	No	Carp	R0.0	37.1m ²
6	Timber	NA	Yes	No	No	Carp	R2.5	5.0m ²

Wall Details

<u>ID</u>	<u>Construction</u>	<u>Shared</u>	<u>Ins RValue</u>	<u>Length</u>	<u>Height</u>
1	Brick Veneer	No	R2.0	19.1m	2.6m
2	Weatherboard	Yes	R0.0	10.9m	2.6m
4	Framed: Metal Clad	No	R2.0	20.8m	2.4m
5	Weatherboard	Yes	R0.0	11.7m	2.4m

Ceiling Details

<u>ID</u>	<u>Construction</u>	<u>Shared</u>	<u>Foil</u>	<u>Ins RValue</u>	<u>Area</u>
1	Attic - Low Ventilation	No	Yes	R5.0	52.6m ²

Window Details

<u>ID</u>	<u>Dir</u>	<u>Height</u>	<u>Width</u>	<u>Utility</u>	<u>Glass</u>	<u>Frame</u>	<u>Curtain</u>	<u>Blind</u>	<u>Fixed & Adj Eave</u>	<u>Fixed Eave</u>	<u>Head to Eave</u>
2	WSW	2.1m	3.6m	No	DG	ALIMPR	HB	No	1.0m	1.0m	0.5m
3	ENE	2.1m	1.0m	No	DG	ALIMPR	HB	No	1.0m	1.0m	0.5m
4	ENE	2.0m	2.4m	No	DG	ALIMPR	HB	No	1.0m	1.0m	0.5m
5	WSW	0.5m	2.2m	No	DG	ALIMPR	HB	No	0.0m	0.0m	0.0m
6	ENE	2.1m	3.0m	No	DG	ALIMPR	HB	No	1.0m	1.0m	0.5m

Window Shading Details

<u>ID</u>	<u>Dir</u>	<u>Height</u>	<u>Width</u>	<u>Obst Height</u>	<u>Obst Dist</u>	<u>Obst Width</u>	<u>Obst Offset</u>	<u>LShape Left Fin</u>	<u>LShape Left Off</u>	<u>LShape Right Fin</u>	<u>LShape Right Off</u>
6	ENE	2.1m	3.0m	0.0m	0.0m	0.0m	0.0m	1.0m	0.5m	1.0m	0.5m

Zoning Details

Is there Cross Flow Ventilation ? Good

Air Leakage Details

Location Suburban
Is there More than One Storey ? Yes
Is the Stairwell Separated by Doors ? No

Is the Entry open to the Living Area ? Yes
Is the Entry Door Weather Stripped ? Yes
Area of Heavyweight Mass 0m²
Area of Lightweight Mass 0m²

	<u>Sealed</u>	<u>UnSealed</u>
Chimneys	0	0
Vents	0	0
Fans	3	0
Downlights	0	0
Skylights	0	0
Utility Doors	1	0
External Doors	1	0

Unflued Gas Heaters	0
Percentage of Windows Sealed	98%
Windows - Average Gap	Small
External Doors - Average Gap	Small
Gaps & Cracks Sealed	Yes

Insurance Certificates & Tax Invoice



If a home was built before 1990 it may contain dangerous asbestos material

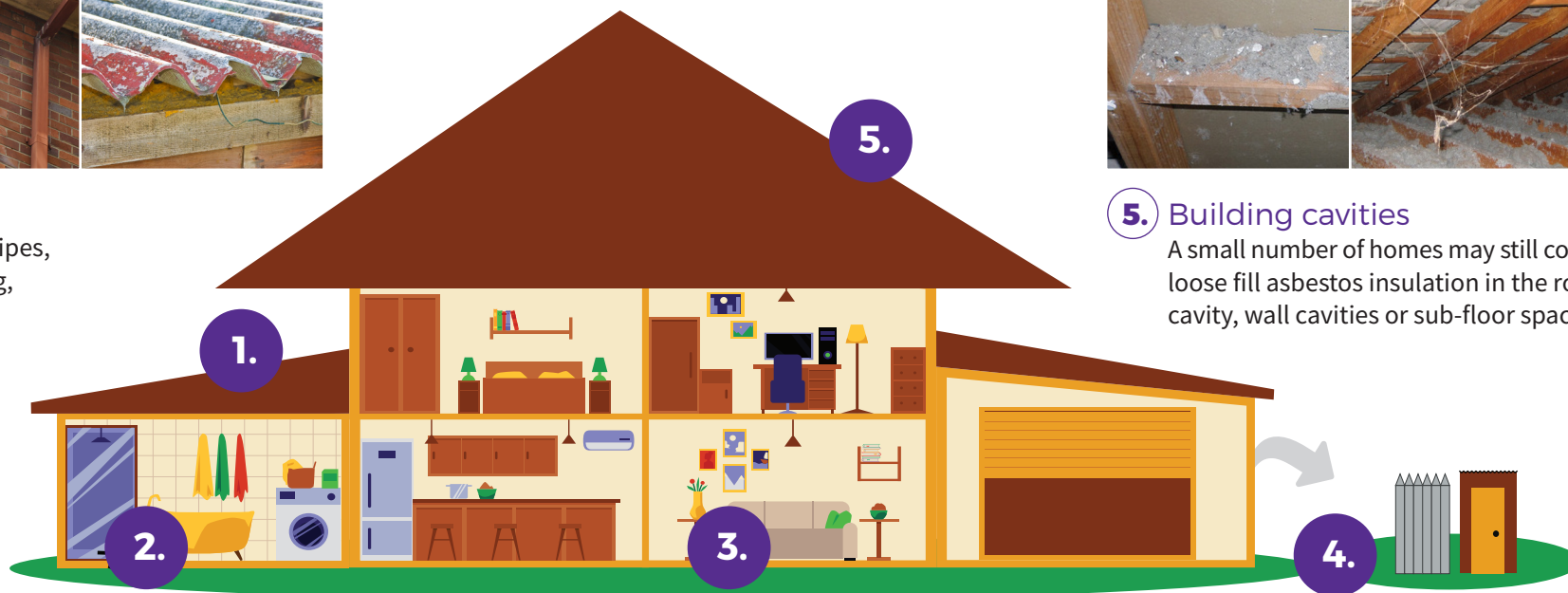
Identify where asbestos materials might be. Five common places are:



- 1. Exterior**
roof sheeting, gutters, downpipes, ridge capping, eaves, cladding, electrical switchboards



- 5. Building cavities**
A small number of homes may still contain loose fill asbestos insulation in the roof cavity, wall cavities or sub-floor space



- 2. Wet areas - bathroom, laundry and kitchen**
wall and ceiling panels, vinyl floor tiles, backing for wall tiles and splashbacks, hot water pipe insulation



- 3. Internal areas**
wall and ceiling panels, carpet underlay, textured paints, insulation in domestic heaters



- 4. Backyard**
fences, sheds, garages, carports, dog kennels, buried or dumped waste, letterboxes, swimming pools

If a home was built before 1990 it may contain dangerous asbestos material

Assess the risk

A licensed asbestos assessor can help identify asbestos in your home and its condition.

Asbestos materials become dangerous when:



Broken or in poor
condition



Damaged
accidentally



Disturbed during
renovation or repairs



Loose fill asbestos
insulation



Manage asbestos safely

- Monitor the condition of asbestos in your home
- Inform tradespeople of locations of asbestos in your home
- Avoid disturbing or damaging asbestos if working on your home
- Engage a licensed asbestos removalist to remove asbestos

If you suspect your home contains loose fill asbestos insulation, contact Access Canberra

For more information, visit www.worksafe.act.gov.au or call Access Canberra contact centre – 13 22 81

If you need interpreting help, telephone the Translating and Interpreting Service on 131 450

Pest Controllers Combined Liability Certificate of Currency

The Policy below is current until 4.00pm on the expiry date shown below

INSURED: ACT Property Inspections Pty Ltd

BUSINESS DESCRIPTION: General Pest & Weed Control
Timber Pest Inspections
Termite Barrier Installations
Pre-Purchase House Pest Inspections
Building Inspections (Non Pest Related)
Energy Efficiency Ratings
Compliance Reports

POLICY REFERENCE: 09A349653PLB

PERIOD OF INSURANCE: From: 4.00pm on 30/03/2025
To: 4.00pm on 30/03/2026

POLICY CLASS: Pest Controllers Combined Liability

SUMS INSURED: **Section 1: General Public & Products Liability**

\$20,000,000 Our maximum liability in respect of any claim or series of claims for Personal Injury, Property Damage or Advertising Liability caused by or arising out of any one occurrence; and

\$20,000,000 Our total aggregate liability during any one period of insurance for all claims arising out of Your Product

Section 2: Professional Indemnity

\$5,000,000 Our maximum liability in respect of any Claim or any series of Claims inclusive of costs and expenses.

\$10,000,000 Our total aggregate liability for all Claims inclusive of costs and expenses.

This Certificate of Currency is subject to the Policy Documentation to be read in conjunction with the Definitions, Conditions and Exclusions in the Pest Controllers Combined Liability Insurance Policy.

Date Issued: 28 March 2025



**ACT
PROPERTY
INSPECTIONS**

TAX INVOICE

Bronwyn Motion
9/148 Overall Ave
CASEY ACT 2913
AUSTRALIA

Invoice Date
12 Mar 2026

Invoice Number
INV-68874

ACT Property Inspections
(02) 6232 4540
Unit 1, 33 Altree Ct
PHILLIP ACT 2606
ABN: 33 600 397 466

Description	Quantity	Unit Price	GST	Amount AUD
ACTPLA Fees - No GST	1.00	186.70	GST Free	186.70
Property Report	1.00	1,475.73	10%	1,475.73
Energy Efficiency Report (Complimentary)	1.00	0.00		0.00
Deferred Payment (Complimentary)	1.00	0.00		0.00
			Subtotal	1,662.43
			TOTAL GST 10%	147.57
			TOTAL AUD	1,810.00

Due Date: 8 Sep 2026

Payment terms – Deferred payment account. This account should be paid in full within 14 days on the earlier of:

- (a) Settlement of the property
- (b) If the Property has not been listed for sale within 3 months of the Property Inspection Date
- (c) If the property is no longer listed for sale
- (d) 180 days after the Property Inspection Date

Please pay within the payment terms to avoid the Deferred Payment Fee. Note: all bank/legal fees incurred in obtaining payment will be the customer's responsibility

Payment Options

Pexa : please quote the invoice number as the reference

Direct Deposit : BSB: 012084 Account Number: 194679655

Account Name: ACT Property Inspections Pty Ltd

Please reference your name and invoice number

Cheques : please make payable to ACT Property Inspections Pty Ltd

[View and pay online now](#)