

Report



LIMITED LIABILITY TO A PURCHASER WITHIN THE AUSTRALIAN CAPITAL TERRITORY

This Report is made solely for the use and benefit of the Client. The Consultant is not liable for any reliance placed on this report by any third party. However, within the ACT only and in accordance with the Civil Law (Sale of Residential Property) Act 2003 and the Civil Law (Sale of Residential Property) Regulations 2004, a copy of the report must be attached to the Contract for Sale and may in certain circumstances be relied upon by the Purchaser of residential property.

The circumstances in which a Purchaser of residential property within the ACT may rely on this report in respect of the state of the property at the time of the inspection are as follows:

- (a)** The inspection was carried out no earlier than three months before the day the property was first advertised or offered for sale or listed by an agent; and
- (b)** The date on which the contract was entered into was not more than 180 days after the date of the inspection.
- (c)** The report is provided to the Purchaser prior to or at the time the Contract for Sale is entered into between the Purchaser and vendor.
- (d)** The service requested is the Standard Inspection Report.

Building Report



CONCLUSION AND SUMMARY

The purpose of the Inspection is to identify the major defects and safety hazards associated with the property at the time of the Inspection. The Inspection and reporting are limited to a visual assessment of the Building Members in accord with Appendix C AS4349.1-2007.

The overall condition of this building has been compared to similar constructed buildings of approximately the same age where those buildings have had a maintenance program implemented to ensure that the building members are still fit for purpose.

The incidence of Major Defects in this Residential Building as compared with similar Buildings is considered: **Low**

The incidence of Minor Defects in this Residential Building as compared with similar Buildings is considered: **Low**

The overall condition of this Residential Dwelling in the context of its age, type and general expectations of similar properties is: **Above Average**

Please Note: This is a general appraisal only and cannot be relied upon on its own – read the Report in its entirety.

This Summary is supplied to allow a quick and superficial overview of the Inspection results. This Summary is NOT the Report and cannot be relied upon on its own. This Summary must be read in conjunction with the full Report and not in isolation from the Report. If there should happen to be any discrepancy between anything in the Report and anything in this Summary, the information in the Report shall override that in this Summary.

PROPERTY STATISTICS

Building Report	Above Average
Compliance Report	Please read full compliance report section of the report
Pest Inspection	No active subterranean termites (live specimen) were found
Energy Efficiency Rating	5.0 Stars
Inspection Date	Tuesday, March 17 th 2026
Name of Assessor	Ben Halse
Reference Number	67832
Address of Property Inspected	34 Collier Street, Curtin ACT 2605
Client	Zhang & Wang
Block and Section	Block 21 Section 26 CURTIN
Block size (approximately)	879m ²
House size (approximately)	Upper Level: 71.33m ² Lower Level: 246.00m ² Garage: 35.16m ² Total: 352.49m ²
Weather conditions at time of Inspection	Light showers
Occupancy Status	Unoccupied (furnished/styled)

*The table above is to be used as a quick reference. Please read the full Report before reaching your conclusion regarding the condition of the Property.

Whilst every care has been taken to ensure the accuracy of the property house and block size, we accept no responsibility for any inaccuracies as supplying this information exceeds a standard building inspection under AS4349.1-2007.

PROPERTY CONSTRUCTION DETAILS

Flooring	Concrete to ground level. Floor framing to upper floor level
External walls	Brick veneer, metal and foam cladding
Roof framing	Steel: Truss roof framing
Roof cladding	Colorbond roof cladding
Glazing	Double glazed windows
Cooktop	Electric induction cooktop
Oven	Electric ovens
Dishwasher	Miele

*Whilst every care has been taken to ensure the accuracy of the property construction details, we accept no responsibility for any inaccuracies of construction details or testing of appliances.

GENERAL ACCESS LIMITATIONS

Internal	At the time of inspection, the building was furnished. This allows for a limited inspection in areas not restricted by furnishings, stored goods, floor mats, etc.
External	No inspection was made under the rear timber deck due to no available access
Roof void	NOTE. Inspection around the eaves was restricted due to low pitch and clearance to allow bodily access in this area. This allows only for a limited visual inspection from a distance to be carried out. Other restrictions found in the roof void: The inspection of the lower roof void was restricted to a visual inspection from the roof access point due to the height of the ceiling No inspection was made inside the roof cavity of the upper level due to no available access Insulation on top of ceiling restricting visual inspection of the ceiling framing Ducting flex throughout the roof space restricting access in areas
On-top of roof	The inspection was restricted to visually looking from a 3.6m ladder lent against the gutter in several areas around the building. No access was gained onto the upper-level roof due to the height of the roof
Garage	A full inspection was carried out inside the garage

*Where access is noted as limited or restricted, it is recommended that access be gained to these areas as these areas may contain concealed defects.

DEFINITIONS

Good	The item is in the Inspector's opinion of an acceptable standard with no defects visible. Superficial defects will not be commented on
Fair	The item in the Inspector's opinion has some minor defects and requires minimal maintenance or repair
Poor	The item in the Inspector's opinion needs significant repair or replacement

ENTRANCE/LOUNGE

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good

FAMILY ROOM

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good

KITCHEN/LIVING/DINING

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Kitchen cupboards	Good
Bench top	Good
Splashback	Good
Exhaust fan	The exhaust fan was operational at the time of inspection

STAIRWELL

Ceiling	Good
Walls	Good
Floor coverings	Good
Handrail	Good

MULTIFUNCTION ROOM

Ceiling	Good
Walls	Good
Floor coverings	Good

MASTER BEDROOM

Ceiling	Good
Walls	Good
Door and door hardware	The striker plate on the double doors needs adjustment for the door to latch
Floor coverings	Good
Wardrobe	Good

BEDROOM 1

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Wardrobe	Good

BEDROOM 2

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Wardrobe	Good

BEDROOM 3

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Wardrobe	Good

ENSUITE – MASTER BEDROOM

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Shower screen	Good
Water leakage in shower area?	There was no water leakage detected
Floor and wall tiles in shower area	Good
Vanity/Basins	Good
Taps	Good
Bath	Good
Toilet suite	Good
Exhaust fan	The exhaust fan was operational at the time of inspection

ENSUITE – BEDROOM 1

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Shower screen	Good
Water leakage in shower area?	There was no water leakage detected
Floor and wall tiles in shower area	Good
Vanity/Basin	Good
Taps	Good
Toilet suite	Good
Exhaust fan	The exhaust fan was operational at the time of inspection

POWDER ROOM

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Vanity/Basin	Good
Taps	Good
Toilet suite	Good
Exhaust fan	The exhaust fan was operational at the time of inspection

BATHROOM

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Shower screen	Good
Water leakage in shower area?	There was no water leakage detected
Floor and wall tiles in shower area	Good
Vanity/Basin	Good
Taps	Good
Bath	Good
Toilet suite	Good
Exhaust fan	The exhaust fan was operational at the time of inspection

LAUNDRY

Ceiling	Good
Walls	Good
Door and door hardware	Good
Floor coverings	Good
Laundry tub	Good
Splashback	Good
Exhaust fan	An exhaust fan is not installed; however, ventilation is provided to the room by opening the door

ROOF CAVITY

Construction	Good
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EXTERIOR

Driveway and paths	Good. No major cracking noted
Roof covering	Good
Eaves	Good
Fascia	Good
Gutters	Good
External walls	Good. No major cracking noted
Weep holes	Various weep holes have been covered over by the external render and paint. Recommend clearing the render and paint away to ensure the weep holes are clear
Windows	Good
Fences	Good
Gates	Good
Deck	Good
Alfresco	Good
Retaining walls	Good
Site drainage	The site generally drains away from the perimeter of the building

GARAGE

Slab	Good. No major cracking noted
Ceiling	Good
Walls	Good. No major cracking noted
Garage door	Good
Is an auto opener installed on the roller door?	Yes
Access door	Good

DEFINITIONS

Above Average: The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a reasonable standard of workmanship when compared with buildings of similar age and construction.

Average: The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

Below Average: The Building and its parts show some significant defects and/or very poor non-tradesman like workmanship and/or long-term neglect and/or defects requiring major repairs or reconstruction of major building elements.

Client: The person or persons, for whom the Inspection Report was carried out or their Principal (i.e., the person or persons for whom the report is being obtained).

Building Consultant: A person, business or company who is qualified and experienced to undertake a pre-purchase inspection in accordance with Australian Standard AS 4349.1-2007 'Inspection of Buildings. Part 1: Pre-Purchase Inspections – Residential Buildings'. The consultant must also meet any Government licensing requirement, where applicable.

Building & Site: The inspection of the nominated residence together with relevant features including any car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth, embankments, surface water drainage and storm water run-off within 30 m of the building, but within the property boundaries. In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the nominated residence and does not include inspection of common property.

Readily Accessible Areas: Areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels or accessible from a 3.6 metre ladder, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry. Or where these clearances are not available, areas within the consultant's unobstructed line of sight and within arm's length.

Structure: The loadbearing part of the building, comprising the Primary Elements.

Primary Elements: Those parts of the building providing the basic loadbearing capacity to the Structure, such as foundations, footings, floor framing, loadbearing walls, beams, or columns. The term 'Primary Elements' also includes other structural building elements including those that provide a level of personal protection such as handrails; floor-to-floor access such as stairways; and the structural flooring of the building such as floorboards.

Secondary Elements: Those parts of the building not providing loadbearing capacity to the Structure, or those non-essential elements which, in the main, perform a completion role around openings in Primary Elements and the building in general such as non-loadbearing walls, partitions, wall linings, ceilings, chimneys, flashings, windows, glazing or doors.

Finishing Elements: The fixtures, fittings and finishes applied or affixed to Primary Elements and Secondary Elements such as baths, water closets, vanity basins, kitchen cupboards, door furniture, window hardware, render, floor, and wall tiles, trim or paint. The term 'Finishing Elements' does not include furniture or soft floor coverings such as carpet and lino.

Major Defect: A defect of significant magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

Minor Defect: A defect other than a Major Defect.

Safety Hazard: Any item that may constitute an immediate or imminent risk to life, health, or property. Occupational, health and safety or any other consequence of these hazards has not been assessed.

Tests: Where appropriate the carrying out of tests using the following procedures and instruments:

Dampness Tests means additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to damp problems. Instrument testing using electronic moisture detecting meter of those areas and other visible accessible elements of construction showing evidence of dampness was performed.

Physical Tests means the following physical actions undertaken by the consultant: opening and shutting of doors, windows and draws; operation of taps; water testing of shower recesses; and the tapping of tiles and wall plaster.

IMPORTANT ADVICE

NB. In the case of strata and company title properties, the Inspection is limited to the interior and immediate exterior of the particular unit being inspected. The exterior above ground floor level is not inspected. The complete Inspection of other common property areas would be the subject of a Special-Purpose Inspection Report which is adequately specified.

Trees: Where trees are too close to the house this could affect the performance of the footing as the moisture levels change in the ground. A Geotechnical Inspection can determine the foundation material and provide advice on the best course of action with regards to the trees.

The Septic Tanks: Should be inspected by a licensed plumber.

Swimming Pools: Swimming Pools/Spas are not part of the Standard Building Report under AS4349.1-2007 and are not covered by this Report. We strongly recommend a pool expert should be consulted to examine the pool and the pool equipment and plumbing, as well as the requirements to meet the standard for pool fencing. Failure to conduct this Inspection and put into place the necessary recommendations could result in finds for non-compliance under the legislation.

Surface Water Drainage: The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Best practice is to monitor the flow of surface water during rainfall and stormwater runoff and have the water directed away from the house or to storm water pipes by a licensed plumber/drainier.

Weep Holes: External brick (and stone) walls are a porous material that behave much like a sponge. During a rain event, the masonry wall absorbs water and actually stores it. The weep holes are designed for two purposes. 1. To provide an opening to allow water to drain out through the bottom of the wall. 2. To allow ventilating air to enter behind the wall to help dry the structure. If weep holes have been noted as being not installed, it is recommended to consult a builder on how to best rectify the problem.

Water Leaks from Roof: The inspector cannot, and does not, offer an opinion on whether the roof currently leaks or may be subject to future leaks. The only way to determine whether a roof is absolutely watertight is to make observations during prolonged rainfall.

Subfloor dampness: The presence of dampness is not always consistent as the prevailing and recent weather conditions at the time an inspection is carried out may affect the detection of damp problems. The absence of any dampness at the time of inspection does not necessarily mean the building will not experience some damp problems in other weather conditions. Likewise, whether or not services have been used for some time prior to an inspection being carried out will affect the detection of dampness.

Shower: Where a shower recess has been water tested, and no leakage was evident, this does not necessarily mean that the shower will not leak after prolonged use. Accordingly, to fully detect and assess a damp problem may require the monitoring of the building over a period of time.

SCOPE AND LIMITATIONS

Any person who relies upon the contents of this Report does so acknowledging that the following clauses, which define the Scope and Limitations of the Inspection, form an integral part of the Report.

1) This Report is not an all-encompassing Report dealing with the building from every aspect. It is a reasonable attempt to identify any obvious or significant defects apparent at the time of the Inspection. Whether or not a defect is considered significant or not, depends to a large extent upon the age and type of the building inspected. This Report is not a Certificate of Compliance with the requirements of any Act, Regulation, Ordinance or By-law. It is not a structural Report. Should you require any advice of a structural nature you should contact a structural engineer.

2) This is a visual Inspection only, limited to those areas and sections of the property fully accessible and visible to the Inspector on the date of Inspection. The Inspection DID NOT include breaking apart, dismantling, removing, or moving objects including, but not limited to, foliage, mouldings, roof insulation/sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances, or personal possessions. The inspector CANNOT see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector DID NOT dig, gouge, force or perform any other invasive procedures. Visible timbers CANNOT be destructively probed or hit without the written permission of the property owner.

3) This Report does not and cannot make comment upon: Defects that may have been concealed; the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the Inspection and whether this will affect the detection of leaks or other defects (e.g. In the case of shower enclosures the absence of any dampness at the time of the inspection does not necessarily mean that the enclosure will not leak); the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from **surface** water drainage); swimming pools and spas (non-structural); detection and identification of illegal building work; detection and identification of illegal plumbing work; durability of exposed finishes; neighbourhood problems; document analysis; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant.

Accordingly, this Report is NOT a guarantee that defects and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property.

NB. Such matters may, upon request, be covered under the terms of a 'Special-Purpose Property Report'.

4) Consumer Complaints Procedure: In the event of any dispute or claim arising out of, or relating to the Inspection or the Report, you must notify us as soon as possible of the dispute or claim by email, fax, or mail. You must allow us (which includes persons nominated by us) to visit the property (which visit must occur within twenty eight (28) days of your notification to us) and give us full access in order that we may fully investigate the complaint. You will be provided with a written response to your dispute or claim within twenty-eight (28) days of the date of the Inspection.

If you are not satisfied with our response, you must within twenty one (21) days of your receipt of our written response, refer the matter to a Mediator nominated by us from the Institute of Arbitrators and Mediators of Australia. The cost of the Mediator will be borne equally by both parties, and as agreed as part of the mediated settlement.

Should the dispute or claim not be resolved by mediation, then the dispute or claim will proceed to arbitration. The Institute of Arbitrators and Mediators of Australia will appoint an Arbitrator who will hear and resolve the dispute. The arbitration, subject to any directions of Arbitrator, will proceed in the following manner:

(a) The parties must submit all written submissions and evidence to the Arbitrator within twenty one (21) days of the appointment of the Arbitrator; and

(b) The arbitration will be held within twenty one (21) days of the Arbitrator receiving the written submissions.

The Arbitrator will make a decision determining the dispute or claim within twenty one (21) of the final day of the arbitration. The Arbitrator may, as part of his determination, determine what costs, if any, each of the parties are to pay and the time by which the parties must be paid any settlement or costs.

The decision of the Arbitrator is final and binding on both parties. Should the Arbitrator order either party to pay any settlement amount or costs to the other party but not specify a time for payment, then such payment shall be made within twenty one (21) days of the order.

NB. In the event that you do not comply with the above Complaints Procedure and commence litigation against us, then you agree to fully indemnify us against any awards, costs, legal fees, and expenses incurred by us in having your litigation set aside or adjourned to permit the foregoing Complaints Procedure to complete.

5) Asbestos Disclaimer: “No Inspection for Asbestos was carried out at the property, and no Report on the presence or absence of Asbestos is provided”.

Buildings built prior to 1982 may have wall and/or ceiling sheeting, and other products including roof sheeting that contains Asbestos. Even buildings built after this date, up until the early 90s, may contain some Asbestos. Sheeting should be fully sealed. If you are concerned, the building was built prior to 1990, or if asbestos is noted as present within the property, then you should seek advice from a qualified asbestos removal expert as to the amount and importance of the asbestos present and the cost of sealing or removal. Drilling, cutting, or removing sheeting or products containing Asbestos is a high risk to peoples’ health. You should seek advice from a qualified asbestos removal expert.

6) Mould (Mildew and non-wood decay fungi) Disclaimer: Mildew and non-wood decay fungi are commonly known as mould. However, mould and their spores may cause health problems or allergic reactions, such as asthma and dermatitis in some people. No Inspection for mould was carried out at the property, and no Report on the presence or absence of mould is provided. If mould is noted as present within the property, or if you notice mould and you are concerned as to the possible health risk resulting from its presence, then you should seek advice from your local Council, State or Commonwealth Government Health Department, or a qualified expert such as an Industry Hygienist.

7) Magnesite Flooring Disclaimer: No Inspection for Magnesite Flooring was carried out at the property, and no Report on the presence or absence of Magnesite Flooring is provided. You should ask the owner whether Magnesite Flooring is present and/or seek advice from a Structural Engineer.

8) Estimating Disclaimer: Any estimates provided in this Report are merely opinions of possible costs that could be encountered, based on the knowledge and experience of the inspector, and are not estimates in the sense of being a calculation of the likely costs to be incurred. The estimates are NOT a guarantee or quotation for work to be carried out. The actual cost is ultimately dependent upon the materials used, standard of work carried out, and what a contractor is prepared to do the work for. It is recommended in ALL instances that multiple independent quotes are sourced prior to any work being carried out. The inspector accepts no liability for any estimates provided throughout this Report.

9) Note: If the Client has any doubt about the purpose, scope, and acceptance criteria on which the Report was based please discuss your concerns with the Consultant on receipt of the Report. The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

IMPORTANT DISCLAIMER

Disclaimer Liability: No Liability shall be accepted on an account of failure of the Report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for Inspection, or to which access for Inspection is denied by or to the Inspector (including but not limited to or any area(s) or section(s) so specified by the Report).

Disclaimer of Liability to Third Parties: Compensation will only be payable for losses arising in contract or tort sustained by the Client named on the front of this Report. Any third party acting or relying on this Report, in whole or in part, does so entirely at their own risk. However, if ordered by a Real Estate Agent or a Vendor for the purpose of auctioning a property, then the Inspection Report may be ordered up to seven (7) days prior to the auction, copies may be given out prior to the auction and the Report will have a life of 14 days during which time it may be transferred to the purchaser. Providing the purchaser agrees to the terms of this agreement, then they may rely on the Report subject to the terms and conditions of this agreement and the Report itself.

NB. In the ACT under the Civil Law (Sale of Residential Property) Act 2003 and Regulations, the Report resulting from this Inspection may be passed to the purchaser as part of the sale process, providing it is carried out no more than three months prior to listing and is not more than six months old.

Limited Liability to a Purchaser within the Australian Capital Territory only: Within the Australian Capital Territory (ACT) and in accordance with the ACT Civil Law (Sale of Residential Property) Act 2003 and Regulations, a copy of the Report may be attached to the Contract for Sale.

WARNING: The Purchaser is advised that this Report reflects the condition of the property existing at the time of the Inspection (Inspection Date) and may not reflect the current state. It is, therefore, very strongly recommended that you promptly arrange for another Inspection and Report in accordance with Australian Standard AS4349.1 to be carried out prior to the expiration of the 'Cooling off Period' and settlement.

This is not a Compliance Report strictly in accordance with Civil Law (Sale of Residential Property) Regulations: The Report may contain copies of any approved plans, building approvals, building permit and Certificates of Occupancy. However, any comments made by the person who prepared the Report as to whether or not, in the opinion of the Inspector, the structures on the land substantially comply with the approved plans (if any) are made on the basis of a cursory glance of the plans and not upon a detailed examination. Any opinion expressed as to whether or not any building approval or approval under the Land (Planning and Environment) Act, 1991, is based on the limited knowledge and belief, at the time, of the Inspector. The Purchaser is advised that a Special Purpose Report is available through the Inspector to advise more fully in respect to these matters. The structures may have been damaged by pests, storm, strong wind or fire or the Vendor may have carried out alterations and/or additions to the Property since the Inspection Date. The Report may no longer reflect the true condition of the Property. The structure(s) may no longer be in accordance with the attached plans etc. IT IS STRONGLY RECOMMENDED that, if the Purchaser has any concerns in respect to the compliance of the structures, a Special Purpose Report be obtained. Alternatively, the Purchaser should rely upon his, her or their own enquiries.

Contact the Inspector: Please feel free to contact the Inspector who carried out this Inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this Report, then you should immediately contact the Inspector and have the matter explained to you. If you have any questions at all, or require any clarification, then contact the Inspector prior to acting on this Report.

OTHER INSPECTIONS AND REPORTS REQUIRED

It is strongly recommended that the following Inspections and Reports be obtained prior to any decision to purchase the Property. Obtaining these Reports will better equip the purchaser to make an informed decision. Although appliances may be listed in the Report, they have not been tested as this is outside the scope of the standard Building Inspection. Other Inspections we recommend the purchaser obtains before making their decision are:

- Electrical Inspection,
- Plumbing Inspection,
- Structural (Engineer),
- Geotechnical Inspection,
- Drainage Inspection,
- Asbestos Inspection,
- Mould Inspection,
- Gas fitting Inspection,
- Appliances Inspection,
- Air-conditioning Inspection,
- Alarm/Intercom/Data Systems,
- Hydraulics Inspection,
- Mechanical Services,
- Hazards Inspection,
- Fire/Chimney Inspection,
- Estimating Report,
- Garage Door Mechanical,
- Durability exposed surfaces

SMOKE DETECTORS

The occupier/purchaser should satisfy themselves as to the working condition of the smoke detectors, if installed. It is highly recommended that suitable smoke detectors be installed in all residential properties. AS 3786 advises that smoke detectors are required for all buildings where people sleep. It is recommended that an electrician be consulted to advise on those installed or install these detectors.

CRACKING OF BUILDING ITEMS

Regardless of the type of crack(s), a Pre-Purchase Building Inspector carrying out a Pre-Purchase Inspection within the scope of a visual Inspection is unable to determine the expected consequences of the cracks.

Obtaining Information regarding the below all fall outside the scope of this Pre-Purchase Inspection:

- (a)** The nature of the foundation material on which the building is resting,
- (b)** The design of the footings,
- (c)** The site landscape,
- (d)** The history of the cracks and,
- (e)** Carrying out an invasive Inspection.

However, the information obtained from the five items above is valuable in determining the expected consequences of the cracking and any remedial work needed. Cracks that are small in width and length on the day of the Inspection may have the potential to develop over time into structural problems for the homeowner, resulting in major expensive rectification work being carried out. If cracks have been identified in the Report above, then a Structural Engineer is required to determine the significance of the cracking prior to a decision to purchase.

NOTICE TO THE PURCHASER (ACT ONLY)

(a) At the Exchange, and prior to the 'Cooling-off Period', you were given an Inspection Report on the property you intend on purchasing. This Report reflects the condition of the property existing at the time of the Inspection (Inspection Date) and may not reflect the current state. The structures may have been damaged by pests, storm, strong wind or fire or the vendor may have carried out alterations and/or additions to the property since the Inspection date. The Report may no longer reflect the true condition of the property. The structure(s) may no longer be in accordance with the attached plans etc. It is, therefore, very strongly recommended that you urgently arrange for another Inspection and Report in accordance with Australian Standard AS 4349.1 to be carried out prior to exchange, or prior to the expiration of any 'Cooling Off Period' and prior to settlement.

(b) If the Report indicated the presence of termite damage, or recommends any other Inspections or treatments, you should obtain copies of these Reports and any treatment proposals, certificates of treatment carried out, including details of all repairs including copies of quotations, invoices, and any other Reports. It is strongly recommended that you arrange for an Inspection and Report in accordance with AS 4349.3 to verify that the treatment has been successful and carried out in accordance with AS 3660.2, and a further building Inspection in accordance with AS 4349.1.

(c) If you fail to procure a further Inspection and Report as recommended in (a) and (b), or fail to obtain copies of other Reports, treatment proposals, certificates of treatment carried out, details of all repairs including copies of quotations, invoices and any other Reports as recommended in (b) above, then you agree that you have decided not to have a further Inspection and Report carried out, or to obtain copies of treatment proposals, certificates of treatment carried out, details of all repairs including copies of quotations, invoices and any other Reports and have relied upon your own enquires and the Report, knowing the possible consequences, and that the condition of the property, as stated in the Report, may have changed.

(d) You agree that the person carrying out the Inspection **and** the company, partnership or sole trader that employs that person will have no liability to you for any damage or loss you may suffer as a result of your entering the contract to purchase the property, or in connection with completing the purchase of the property as a result of your failure to heed the advice given in (a) and (b) and the warning contained in (c) above, and may use such failure in defense of any claim that you may later make against any of them.

NB. It is a condition of your right to rely upon the Report that you transmit by fax, post, or otherwise deliver the signed "Notice to the Purchaser" (ACT only) to the company, partnership or sole trader at the address detailed on the front of the Report not less than four (4) days prior to the date of settlement. If you fail to complete, sign, or deliver the Notice then it will be deemed that you did not rely upon the report in respect to your decision as to whether or not to purchase the property. This may seriously affect any rights to future compensation to which you may be entitled.

Please cross out the statement below that does not apply: - At the date of settlement, not more than 180 days will have elapsed since the Inspection date.

1. I/We have read and understood the 'Limited Liability to a Purchaser within the Australian Capital Territory only' clause of the Report, and this Notice to the Purchaser. I/We have not arranged for another inspection and report in respect of the property, and it is my/our intention to **rely upon the findings contained in the report**; or

2. I/We have **arranged for another Inspection of the Property and Report** to be carried out, which I/We will use in conjunction with this Report in deciding whether to proceed with the purchase of the property; or

3. I/We have read and understood the 'Limited Liability to a Purchaser within the Australian Capital Territory only' clause of the Report, and this Notice to the Purchaser. I/We have not arranged for another Inspection and Report in respect of the property and have **relied on my/our own enquiries in respect of the condition of the property** as at the date of settlement including any changes in the condition of the property that have taken place since the Inspection date stated in the Report

Timber Pest Report



SUMMARY SHEET

Property Address: 34 Collier Street, Curtin ACT 2605
Client: Zhang & Wang
Inspection Date: Tuesday, March 17th 2026
Inspection carried out by: Ben Halse

This summary is supplied to allow a quick and superficial overview of the Inspection results. This summary is NOT the Report and cannot be relied upon on its own. This summary must be read in conjunction with the full Report and not in isolation from the Report. If there should happen to be any discrepancy between anything in the Report, and anything in this summary, the information in the Report shall override that in the summary. The Report is subject to conditions and limitations. Your attention is particularly drawn to the clauses, disclaimer of liability to third parties, limited liability to a purchaser with the Australian Capital Territory (ACT), and to the notice to the purchaser at the back of this Report.

1.0 ACCESS LIMITATIONS

There were access limitations to the inspection/report. Please refer to section 1.0 of the report.

2.0 TERMITE ACTIVITY

No active subterranean termites (live specimens) were found.

No visible evidence of subterranean termite workings or damage was found.

3.0 BORER ACTIVITY

No visible evidence of borers of seasoned timbers was found.

4.0 DECAY FUNGI

No evidence of damage caused by wood decay (rot) fungi was found.

For complete and accurate information, please refer to the attached 'Visual Timber Pest Report', which is prepared in accordance with AS 4349.3.

CONDITIONS OF THIS INSPECTION

Important Information:

Any person who relies upon the contents of this Report does so acknowledging that the following clauses, which define the scope and limitations of the Inspection, form an integral part of the Report.

This is a **Visual Inspection Only**, prepared in accordance with AS 4349.3, 'Inspection of Buildings Part 3: Timber Pest Inspections'. Visual Inspection was limited to those areas and sections of the property to which reasonable access (see definition) was both available and permitted on the date of Inspection.

The Inspection **did not** include breaking apart, dismantling, removing, or moving objects including but not limited to – foliage, mouldings, roof insulation/sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances, or personal possessions.

The Inspector **cannot** see inside walls, between floors, inside skillion roofing, inside the eaves, behind stored goods in cupboards, or in any other areas that are concealed or obstructed.

The Inspector **did not** dig, gouge, force or perform any other invasive procedures. An invasive Inspection will not be performed unless a separate contract is entered into.

In an occupied property, it must be understood that furnishings or household items may be concealing evidence of Timber Pests, which may only be revealed when the items are moved or removed.

In the case of strata type properties, only the interior of the unit is inspected.

Scope of Report:

This Report only deals with the detection or non-detection of Timber Pest Attack and Conditions Conducive to Timber Pest Attack discernible at the time of inspection. The inspection was limited to the Readily Accessible Areas of the Building and Site (see note below) and was based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests. Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

Limitations:

The Client acknowledges:

- (a)** This Report does not include the inspection and assessment of matters outside the scope of the requested inspection and report.
- (b)** The inspection only covered the Readily Accessible Areas of the Building and Site. The inspection did not include areas which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include – but are not limited to – roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements, or earth.
- (c)** The detection of dry wood termites may be extremely difficult due to the small size of the colonies. No warranty of absence of these termites is given.
- (d)** European House Borer (*Hylotrupes bajulus*) attack is difficult to detect in the early stages of infestation as the galleries of boring larvae rarely break through the affected timber surface. No warranty of absence of these borers is given. Regular inspections including the carrying out of appropriate tests are required to help monitor susceptible timbers.
- (e)** This is not a structural damage report. Neither is this a warranty as to the absence of Timber Pest Attack.
- (f)** If the inspection was limited to any particular type(s) of timber pest (e.g., subterranean termites), then this would be the subject of a Special-Purpose Inspection Report, which is adequately specified.
- (g)** This Report does not cover or deal with environmental risk assessment or biological risks not associated with Timber Pests (e.g., toxic Mould) or occupational, health or safety issues. Such advice may be the subject of a Special-Purpose Inspection Report which is adequately specified and must be undertaken by an appropriately qualified inspector. The choice of such inspector is a matter for the Client.
- (h)** This Report has been produced for the use of the Client. The Consultant or their firm or company are not liable for any reliance placed on this report by any third party, except as provided in the section Limited Liability To a Purchaser within the Australian Capital Territory.

Determining extent of Damage:

This is not a structural building report, and any inexpert opinion we provide on timber damage cannot be relied upon. This Report **will not** state the full extent of any Timber Pest damage. It will state Timber Pest Damage found as either 'slight', 'moderate', 'moderate to extensive', or 'extensive', and this information is not the opinion of an expert. If any evidence of Timber Pest activity and/or damage resulting from Timber Pest activity is reported, either in the structure(s) or the grounds of the property, then you must assume that there may be concealed structural damage within the building(s).

This concealed damage may only be found when wall linings, cladding or insulation are removed to reveal previously concealed timbers. In this case, an Invasive Timber Pest Inspection (for which a separate contract is required) is strongly recommended, and you should arrange for a qualified professional such as a builder, engineer, or architect to carry out a structural Inspection to determine the full extent of the damage, and the extent of repairs that may be required. You agree that neither we, nor the individual conducting the Inspection, are responsible or liable for the repair of any damage, whether disclosed by the Report or not.

Disclaimer of Liability:

No liability shall be accepted on account of failure of the Report to notify any termite activity and/or damage present at, or prior to, the date of the Report, in any area(s) or section(s) of the subject property physically inaccessible for Inspection, or to which access for Inspection is denied by, or to, the licensed Inspector (including, but not limited to, any area(s) or section(s) specified by the Report).

1.0 ACCESS LIMITATIONS

1.1 Area(s) inspected:

Only structures, fences &/or trees within 50m of the building but within the property boundaries were inspected.

1.2 Common area(s) not inspected:

No Inspection was made, and no Report will be submitted, of inaccessible area(s).

These include, but may not be limited to; cavity walls, concealed frame timbers, eaves, flat roofs, fully enclosed patios, inaccessible parts of the subfloors, inaccessible parts of the roof void, soil concealed by concrete floors, fireplace hearths, wall linings, landscaping, rubbish, floor coverings, furniture, pictures, appliances, stored items, insulation, and hollow blocks/posts etc.

1.3 Area(s) in which visual inspection was obstructed or restricted and why:

Clothing and other stored items concealed timbers in cupboards and built in robes/closets. Furniture and stored items concealed some of the skirting boards and architraves inside the house. No inspection was made under the rear timber deck due to lack of available access.

NB. Please note that since a complete Inspection of the above area(s) was not possible, Timber Pest activity and/or damage may exist in these areas.

1.4 The property was furnished/styled at the time of inspection.

Where a property is furnished at the time of Inspection, it must be understood that the furnishings and stored goods may be concealing evidence of Timber Pest activity. This evidence may be revealed when the property is vacated, and a further Inspection of the vacant property is strongly recommended if the house was furnished at the time of inspection.

1.5 Undetected timber pest risk assessment is considered Low/Moderate.

NB. Where the risk is considered "Moderate" or "Moderate-High" or "High", a further inspection is strongly recommended of areas that were not readily accessible, and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This may require the moving, lifting or removal of obstructions such as floor coverings, furniture, stored items foliage and insulation. In some instances, it may also require the removal of ceiling and wall linings, and the cutting of traps and access holes. Seek further advice from your Consultant.

2.0 TERMITE ACTIVITY

2.1 No active (live) termites were present at the time of Inspection.

2.2 No visible evidence of subterranean termite workings and/or damage was found.

2.3 A termite nest was not found.

2.4 No evidence of timber damage caused by Termite attack was visible at the time of the Inspection.

NB. Where evidence of termite activity by the *Nasutitermes* or *Coptotermes* species was found in the grounds, the risk to buildings is very high. A treatment to eradicate the termites and to protect the building(s) should be carried out. Where the evidence of termite workings was found in the grounds or the building(s), then the risk of a further attack is very high.

2.5 Very important:

If live termites or any evidence of termite workings or damage was reported above, within the building(s) or in the grounds and fences, then it must be assumed that there may be concealed termite activity and/or timber damage. This concealed activity or damage may only be found when alterations are carried out, such as when wall linings, cladding or insulation are removed; or if you arrange for an invasive Inspection. We claim no expertise in structural engineering or building, and we strongly recommend that you have a qualified professional such as a builder, engineer, architect, or other qualified expert determine the full extent of the damage, if any. This may require an invasive Inspection. We take no responsibility for the repair of any damage, whether disclosed by this Report or not (see 'Terms and Limitations').

Where visual evidence of termite workings and/or damage is reported above, but no live termites were present at the time of Inspection, you must realise that it is possible that termites are still active in the immediate vicinity, and that the termites may continue to cause further damage. It is not possible, without further investigation and a number of Inspections over a period of time, to ascertain whether any infestation is active or inactive. Active termites may simply have not been present at the time of Inspection due to a prior disturbance or climatic conditions, or they may have been utilizing an alternative feeding source.

Continued, regular Inspections are essential. Unless written evidence of a termite protection program in accordance with 'AS 3660' with ongoing Inspections is provided, you must arrange for a treatment in accordance with 'AS 3660' to be carried out to reduce the risk of further attack.

2.6 Previous termite treatment: There were no signs of a termite treatment or evidence of a possible previous termite treatment, at the time of inspection.

NB. If there is evidence of drill holes in concrete or brickwork, bait stations or other signs of a possible previous treatment are reported, then the treatment was probably carried out because of an active termite attack. Extensive structural damage may exist in concealed areas. You should have an invasive Inspection carried out, and have a builder determine the full extent of any damage, and the estimated cost of repairs, as the damage may only be found when wall linings etc. are removed. Normally, if a termite treatment has been carried out, then a durable notice should be located in the metre box, indicating the type of termite shield system, treated zone or combination that has been installed.

2.7 Termite management: A durable notice (termite management notice) was found during the inspection, indicating a barrier system has been installed. The system installed is Home Guard.

This firm can give no assurances with regard to work that may have been previously performed by other firms. You should obtain copies of all paperwork and make your own enquiries as to the quality of the treatment when it was carried out, and warranty information. In most cases, you should arrange for a treatment in accordance with "Australian Standard 3660" to be carried out to reduce the risk of further attack.

2.8 General remarks:

Where any current visible evidence of Timber Pest activity is found, it is strongly recommended that a more invasive Inspection be performed. Trees on and near the property up to a height of 2 metres, have been visually Inspected where possible and practicable, for evidence of Termite activity. It is very difficult to locate termite nests since they are underground, and evidence in trees is usually well concealed. Therefore, we strongly recommend that you arrange to have the medium to large eucalypt trees within a 50 metre radius of the property test drilled for evidence of termite nests.

3.0 BORER ACTIVITY

3.1 No visible evidence of borers was found.

The **Lyctid Borer** - The most common lyctid borer in Australia is **Lyctus brunneus (powder post beetle)**. Attack usually takes place during the first six to twelve months of the service life of timber. However, the powder post beetle is not considered a significant pest of timber and treatment of infestation is not usually required. As only the sapwood of certain hardwoods is destroyed, larger-dimensional timbers (such as rafters, bearers, and joists) in a building are seldom weakened significantly to cause collapse. The **Anobiid Borer** There are many different species of Anobiid borer, the most frequently encountered being *Anobium punctatum* (furniture beetle) and *Calymmaderus incisus* (Queensland pine beetle). Attack mainly occurs to softwoods especially pine timbers such as floorboards that have been in service for at least ten years. Should any structural timbers be attacked by Anobiid borers it is often difficult to determine what extent the borer damage has weakened such timbers and replacement is often the only way of ensuring safety from collapse.

In the case of Anobiid borers, once an attack is initiated it is unlikely to cease or die out of its own accord without some sort of eradication treatment. Therefore, unless proof of treatment is provided, evidence of an attack must always be considered active. Although a chemical treatment is an option, replacement of infested timbers with non-susceptible, or treated timber, is the most effective method of treatment. Before any option is considered, competent advice (e.g., from a licensed building contractor) should be sought to determine the extent of any structural damage, and as to the need or otherwise for rectification or repair work.

Other Borers: A further (more invasive) investigation is strongly recommended to determine whether infestation is still active and to positively identify the borer species responsible for the attack. Always seek further advice from the Consultant.

Management Program: Wherever practical, remove any conditions conducive to attack (e.g., *Anobium* borer thrive in badly ventilated subfloor areas). Regular inspections are recommended at intervals not exceeding 12 months. Always seek further advice from the Consultant.

4.0 DECAY FUNGI

4.1 No evidence of damage caused by wood decay (rot) fungi was found.

NB. If any evidence of fungal decay or damage is reported, you should consult a building expert to determine the full extent of damage, and the estimated cost of repairs or timber.

General Description of Attack Decaying wood contains sufficient moisture to retain its original shape and may have sufficient strength to withstand normal loads. In contrast decayed wood is reduced both in moisture content and size as indicated by cracking either along or across the grain or fibres coming apart in a stringy manner. Decayed wood will have undergone considerable strength reduction.

Economic Significance Fungal decay can cause at one extreme, structural failure of the affected timber, and at the other purely superficial surface damage. The most critical determination is that of which timber is affected and decaying because decay will most likely spread (unless sources of moisture are quickly removed). Affected and decayed timber may warrant timber replacement, but the rot should not spread unless a new moisture source becomes available in that area.

Where evidence of decayed timber exists, competent advice (e.g., from a licensed or registered building contractor) should be sought to determine the extent of any structural damage, and as to the need or otherwise for rectification or repair work. It is important to correct any condition conducive to attack prior to replacing decayed wood.

Where evidence of decaying timber exists, competent advice (e.g., from a licensed or registered building contractor) should be sought to remove the condition(s) conducive to attack, and to determine the extent of any structural damage, and as to the need or otherwise for rectification or repair work.

Where the full extent of damage or the overall condition of the timber is undetermined a further inspection is strongly recommended by a competent person (e.g., from a licensed or registered building contractor). This may require monitoring of the timber over a period and include the assessment of conditions conducive to attack in different weather conditions (e.g., to determine the adequacy of existing drainage).

Management Program Remove any conditions conducive to attack (e.g., lack of ventilation or the presence of excessive moisture). Regular inspections are recommended at intervals not exceeding 12 months. Always seek further advice from the Consultant.

5.0 CONDITIONS THAT ARE CONDUCTIVE TO TIMBER PESTS

5.1 Water leaks: At the time of the inspection no leaks were found to be present.

Water leaks, especially in or into the subfloor, or against the external walls; increase the likelihood of termite attack. Leaking showers or leaks from other 'wet areas' also increase the likelihood of concealed termite attack. Hot water overflows should be plumbed away from the building.

NB. We claim no expertise in building, and if any leaks were reported, you should consult a plumber or other building expert to determine the full extent of damage, and the estimated cost of repairs.

5.2 Moisture/drainage: Not applicable as the home is built on a concrete slab.

Lack of Adequate Subfloor Ventilation Inadequate ventilation provides a condition suitable for timber pest infestation. For example, subterranean termites thrive in damp humid conditions typical of those provided in a poorly ventilated subfloor space. Where evidence of a lack of adequate ventilation has been identified in the report, the Client should seek competent advice (e.g., from a licensed or registered building contractor) regarding upgrading ventilation. The Presence of Excessive Moisture Ground levels around the building should be maintained in such a way to minimise water entering under the building. Also, the ground surface in subfloor areas should be kept graded to ensure that moisture does not pond or accumulate in any area. Where necessary, sub-surface drains should be installed and maintained to assist with drainage around and under the building. Likewise, the presence of excessive moisture can often be directly related to ventilation limitations and the resultant high humidity. Also, plumbing oversights and defects such as a leaking drain or tap will provide a microclimate conducive to timber pest attack. Where necessary, the Client should seek competent advice (e.g., from a licensed or registered plumbing contractor) to determine the adequacy of existing drainage and remove any conditions conducive to the presence of excessive moisture. The building may need to be monitored over a period of time to detect or confirm a damp problem. The presence of dampness (including moisture) is not always consistent as the prevailing and recent weather conditions at the time an inspection is carried out may affect the detection of damp problems. Importantly, precipitation at or near the time of inspection does not necessarily guarantee that a damp problem will automatically be evident due to such circumstances as prevailing wind conditions or intensity of rainfall. The absence of any dampness at the time of inspection does not necessarily mean the building will not experience some damp problems in other weather conditions. Likewise, whether services have been used for some time prior to an inspection being carried out will affect the detection of dampness.

5.3 Ventilation: Not applicable as the home is built on a concrete slab.

Lack of Adequate Subfloor Ventilation Inadequate ventilation provides a condition suitable for timber pest infestation. For example, subterranean termites thrive in damp humid conditions typical of those provided in a poorly ventilated subfloor space. Where evidence of a lack of adequate ventilation has been identified in the report, the Client should seek competent advice (e.g., from a licensed or registered building contractor) in regard to upgrading ventilation.

5.4 Hot water services and air conditioning units: There is no need for this work to be carried out.

Hot water services and air conditioning units which release water alongside or near to building walls should be piped to a drain (if not possible then several metres away from the building), as the resulting wet area is highly conducive to termites.

5.5 Slab edge exposure: The slab edge inspection zone does not apply to this property.

Where external concrete slab edges are not exposed, there is a high risk of concealed termite entry.

In some buildings built since July 1995, the edge of the slab forms part of the termite shield system. In these buildings an Inspection zone of at least 75mm should be maintained to permit detection of termite entry. The edge should not be concealed by render, tiles, cladding, flashings, adjoining structures, paving, soil, turf, or landscaping etc. Where this is the case, you should arrange to have the slab edge exposed for Inspection.

Concealed termite entry may already be taking place but could not be detected at the time of the Inspection. This may have resulted in concealed timber damage.

NB. A very high proportion of termite attacks are over the slab edge. Covering the slab edge makes concealed entry easy. This is particularly true of infill type slab construction. Termite activity and/or damage may be present in concealed timbers of the building. We strongly recommend frequent regular inspections in accordance with AS 3660.2.

5.6 Weep holes in external walls: Some of the weep holes were concealed by render and paint.

It is very important that soil, lawn, concrete paths, or pavers do not cover the weep holes. Sometimes, they have been covered during the rendering of the brick work. They should be clean and free flowing and covering the weep holes in part or in whole may allow undetected termite entry.

5.7 Termite shields: Not applicable as the home is built on a concrete slab.

Termite Shields (Ant Caps) should be in good order and condition, so termite workings are exposed and visible. This helps prevent termites from gaining undetected entry. Joints in the shielding should have been soldered during the installation. If it is observed that the joints in the shielding have not been soldered, then the shielding must be reported as inadequate. It may be possible for a builder to repair the shielding. If not, a chemical treated zone may need to be installed to deter termites from gaining concealed access to the building. Missing, damaged or poor shields increase the risk of termite infestation. If considered inadequate, a builder or other building expert should be consulted.

Other physical shield systems are not visible to inspection and no comment is made on such systems.

5.8 Bridging or breaching of termite barriers and inspection zones: No bridging or breaching was found.

“Bridging” is the spanning of a termite barrier or inspection zone so that subterranean termites are provided with passage over or around that barrier. “Breaching” is the making of a hole or gap in a termite barrier so that termites are provided with a passage through that barrier.

5.9 Other area(s) and/or situations that appear conducive to (may attract) subterranean termite infestation: Medium to large trees and stumps within a 50 metre radius of the property, due to the nesting conditions.

6.0 OVERALL ASSESSMENT OF THE PROPERTY

6.1 Where evidence of live termites, termite damage or termite workings (mudding) was found in the building(s) then the risk of a further attack is extremely high.

Where evidence of live termites, termite damage or termite workings was found in the grounds but not in the building(s) then the risk to buildings must be reported as high to extremely high.

6.2 At the time of the Inspection, the degree of risk of subterranean termite infestation to the overall property was considered to be **Moderate**.

6.3 Subterranean Termite Treatment Recommendation: A management program in accordance with AS 3660-2000 to protect against subterranean termites is considered **not essential, but 6 to 12 monthly inspections are essential**.

6.4 Future Inspections: AS 3660.0-2000 recommends “regular competent Inspections should be carried out at least on an annual basis, but more frequent Inspections are strongly recommended”.

It goes on to inform that “regular Inspections will not prevent termite attack but may help in the detection of termite activity. Early detection will allow remedial treatment to be commenced sooner, and damage to be minimized”.

Due to the degree of risk of subterranean termite infestation noted above and all other findings of this Report; we strongly recommend that a full Inspection and written Report in accordance with AS 4349.3 or AS 3660.2-2000 is conducted at this property every 6 months, but no more than 12 months.

DEFINITIONS

Timber Pest Attack: Means Timber Pest Activity and/or Timber Pest Damage.

Timber Pest Activity: Means telltale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.

Timber Pest Damage: Means noticeable impairments to the integrity of timber and other susceptible materials resulting from attack by Timber Pests.

Major Safety Hazard: Means any item that may constitute an immediate or imminent risk to life, health or property resulting directly from Timber Pest Attack. Occupational, health and safety or any other consequence of these hazards has not been assessed.

Conditions Conducive to Timber Pest Attack: Means noticeable building deficiencies or environmental factors that may contribute to the presence of Timber Pests.

Readily Accessible Areas: Means areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry. The term 'readily accessible' also includes accessible subfloor areas on a sloping site where the minimum clearance is not less than 150 mm high, provided that the area is not more than 2 metres from a point with conforming clearance (i.e., 400 mm high by 600 mm wide); and areas at the eaves of accessible roof spaces that are within the consultant's unobstructed line of sight and within arm's length from a point with conforming clearance (i.e. 600 mm high by 600 mm wide).

Client: Means the person or persons for whom the Timber Pest Detection Report was carried out or their Principal (i.e., the person or persons for whom the report was being obtained).

Timber Pest Detection Consultant: Means a person who meets the minimum skills requirement set out in the current Australian Standard AS 4349.3 Inspections of Buildings. Part 3: Timber Pest Inspection Reports or state/territory legislation requirements beyond this Standard, where applicable.

Building and Site: Means the main building (or main buildings in the case of a building complex) and all timber structures (such as outbuildings, landscaping, retaining walls, fences, bridges, trees, and stumps with a diameter greater than 100 mm and timber embedded in soil) and the land within the property boundaries up to a distance of 50 metres from the main building(s).

Timber Pests: Means one or more of the following woods destroying agents which attack timber in service and affect its structural properties:

Chemical Delignification: The breakdown of timber through chemical action.

Fungal Decay: The microbiological degradation of timber caused by soft rot fungi and decay fungi, but does not include Mould, which is a type of fungus that does not structurally damage wood.

Wood Borers: Wood destroying insects belonging to the order 'Coleoptera' which commonly attack seasoned timber.

Termites: Wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.

Tests: Means additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to attack by Timber Pests. Instrument testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Instrument Testing: Means where appropriate the carrying out of Tests using the following techniques and instruments:

- (a) Electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements.
- (b) Stethoscope - an instrument used to hear sounds made by termites within building elements.
- (c) Probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g., bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees; and
- (d) Sounding - a technique where timber is tapped with a solid object.

IMPORTANT MAINTENANCE ADVICE REGARDING INTEGRATED PEST MANAGEMENT FOR PROTECTING AGAINST TIMBER PESTS

You should read and understand the following important information. It will help explain what is involved in a Timber Pest Inspection, the difficulties faced by a Timber Pest Inspector, and why it is not possible to guarantee that a property is free of Timber Pests. It also details important information about what you can do to help protect your property from Timber Pests. This information forms an integral part of the Report. Any structure can be attacked by Timber Pests. Periodic maintenance should include measures to minimise possibilities of infestation in and around a property. Factors which may lead to infestation from Timber Pests include situations where the edge of the concrete slab is covered by soil or garden debris, filled areas, areas with less than 400mm clearance, foam insulation at foundations, earth/wood contact, damp areas, leaking pipes, etc.; form-work timbers, scrap timber, tree stumps, mulch, tree branches touching the structure, wood rot, etc. Gardens, pathways, or turf abutting or concealing the edge of a concrete slab will allow for concealed entry by timber pests any timber in contact with soil such as form-work, scrap timbers or stumps must be removed from under and around the buildings and any leaks repaired. You should endeavor to ensure such conditions DO NOT occur around your property. We further advise that you engage a professional pest control firm to provide a termite management program in accord with AS 3660 to minimise the risk of termite attack. There is no way of preventing termite attack. Even AS 3660 advises that "the provision of a complete termite barrier will impede and discourage termite entry into a building. It cannot prevent termite attack. Termites can still bridge or breach barriers, but they can be detected more readily during routine inspections."

Reasonable access:

Unless specified in writing, the inspection only covered the Readily Accessible Areas of the Building and Site.

The inspection did not include areas which were inaccessible, not readily accessible or obstructed at the time of inspection. Areas which are not normally accessible were not inspected and include - but not limited to – inside walls, the interior of a flat roof or beneath a suspended floor filled with earth.

Building Interior, the Consultant did not move or remove any ceilings, wall coverings, flooring, floor coverings (including carpeting), furnishing, equipment, appliances, pictures, or other household goods. In an occupied property, furnishings or household items may be concealing evidence of timber pest attack which may only be revealed when the items are moved or removed.

Building Exterior, Roof Exterior and Site, the Consultant did not move or remove any obstructions such as wall cladding, awnings, trellis, earth, plants, bushes, foliage, stored materials, debris, or rubbish. Due to the 'secretive' nature of timber pests, it is possible that hidden damage may exist in concealed areas, e.g., wall framing. Damage may only be found when the obstruction is removed. In the case of buildings constructed on concrete slabs, if the edge of the slab or any weep hole or vent at the base of external walls is concealed by pavements, gardens, lawns, or landscaping then it is possible for termites to gain undetected entry into the building. The building of gardens or planting of shrubs close to the perimeter of the building can promote and conceal termite entry points. The storage of cellulose materials such as building materials and firewood near the ground or building may encourage termite activity.

Roof Space Obstructions such as roofing, stored articles, thermal insulation, sarking, and pipe/duct work may be concealing evidence of timber pest attack which may only be revealed when the obstructions are moved or removed. Also, bodily access should be provided to the interior of all accessible roof spaces. In accordance with Australian Standard ASS 4349 the minimum requirement is a 400mm by 500 mm access manhole.

Subfloor Space Subfloor areas should be kept free from all vegetation (including tree stumps) and other cellulose material which may encourage timber pest activity. Also, storage of materials in subfloor areas is not recommended as it reduces ventilation and makes inspection difficult. Obstructions may be concealing evidence of timber pest attack which may only be revealed when the obstructions are moved or removed. Bodily access should be provided to all accessible subfloor areas with the minimum requirement being a 500 mm x 400 mm access manhole. In the case of suspended floors, if the clearance between the ground and structural components is less than 400 mm, then the ground should be excavated to provide the required clearance, subject to maintaining adequate drainage and support to footings. If the subfloor has been sprayed for subterranean termites or if the area is susceptible to mould growth, appropriate health precautions must be followed before entering the area. Also, special care should be taken not to disturb the treated soil. Always seek further advice from the Consultant.

A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

A more invasive physical inspection is available and recommended:

As detailed above, there are many limitations to this visual inspection only. With the permission of the owner of the premises we WILL perform a more invasive physical inspection that involves moving or lifting insulation, stored items, furniture, or foliage during the inspection. We WILL physically touch, tap, test and when necessary, force/gouge suspected accessible timbers. We WILL gain access to areas, where physically possible and considered practical and necessary, by way of cutting traps and access holes.

This style of Report is available by ordering with several days' notice. Inspection time for this style of Report will be greater than for a VISUAL INSPECTION.

It involves disruption in the case of an occupied property, and some permanent marking is likely. You must arrange for the written permission of the owner who must acknowledge all the above information and confirm that our firm will not be held liable for any damage caused to the property.

A price is available on request.

Concrete slab homes:

Homes constructed on concrete slabs pose special problems with respect to termite attack. If the edge of the slab is concealed by concrete paths, patios, pavers, garden beds, lawns, foliage, etc. then it is possible for termites to affect concealed entry into the property, and they can then cause extensive damage to concealed framing timbers. Even the most experienced Inspector may be unable to detect their presence due to concealment by wall linings. Only when the termites attack timbers in the roof void, which may in turn be concealed by insulation, can their presence be detected. Where termite damage is in the roof, it should be expected that concealed framing timbers will be extensively damaged. With a concrete slab home, it is imperative that you expose the edge of the slab and ensure that foliage and garden beds do not cover the slab edge. Weep holes must be kept free of obstructions.

It is strongly recommended that you have a Termite Inspection in accordance with AS 3660.2 carried out every 6 to 12 months.

Subterranean termites:

No property is safe from termites. General Description of Attack Timber hollowed beneath; some cracking at the surface of timber; earthen channels present; or pale faecal spots present.

Important note:

As a delay may exist between the time of an attack and the appearance of telltale signs associated with the attack, it is possible that termite activity and damage exists though not discernible at the time of inspection.

Treatment After discovery of an active infestation, it is imperative that the species of termite is accurately identified before costly (and sometimes unnecessary or inappropriate) methods of treatment are initiated. Only economically important species which are known to attack timber structures should be treated.

In the case of economically important species, it is important that the termite workings are not further disturbed until the proposed method of control has been determined by a licensed pest control operator. Premature attempts to repair or replace infested timber may cause the termites to withdraw from the area temporarily, thereby hindering effective treatment. Any repair or replacement of infested timber should be carried out after the appropriate treatment has been completed.

Where evidence of active termites is detected within a building or within 50 metres of any building, it must always be assumed that the termites may also be active in areas of the property not inspected. Accordingly, where the termites are known to be of economic significance, a further (more invasive) inspection is strongly recommended of areas which were inaccessible, not readily accessible or obstructed at the time of inspection.

Termite Workings and Damage Where evidence of damage to building timbers exists, competent advice (e.g. from a licensed or registered building contractor) should be obtained to determine the extent of any structural damage and as to the need or otherwise for rectification or repair work.

Where evidence of inactive termites is located within the building, it is possible that termites are still active in areas of the property not inspected and they may continue to cause damage. A furthermore invasive inspection is strongly recommended of areas which were inaccessible, not readily accessible or obstructed at the time of inspection.

Where evidence of an inactive termite infestation exists, it is not possible, without benefit of further investigation and inspections over a period, to ascertain whether any infestation is active or inactive. Continued, regular, inspections are essential.

Where evidence of termite attack exists to any trees or tree stumps a more conclusive search should be undertaken. This may require the tree or stump to be drilled to determine the existence of a termite nest. In addition, the soundness and stability of any standing trees identified as being affected by termite attack should be confirmed. Always seek further advice from the Consultant.

Previous Treatments Where evidence of a possible termite treatment was located, the Client should obtain and keep on file all relevant documents pertaining to the extent of the treatment, any service warranties and advice in regard to the building owner's obligation to maintain the treatment and/or barrier. If evidence of a previous treatment of termite infestation is noted, and appropriate documentation is not available, the Client must assume that the termite infestation may still be active in areas of the property not inspected. Accordingly, a re-treatment may be required. Always seek further advice from the Consultant.

Frequency of Future Inspections Australian Standard AS 3660 recognises that regular inspections will not prevent termite attack but may help in the detection of termite activity. Early detection will allow remedial treatment to be commenced sooner and damage to be minimised.

Inspections at intervals not exceeding twelve (12) months are recommended. Where the termite risk is high or the building type susceptible to termite attack, more frequent inspections (3-6 months) should be undertaken.

Risk management options:

To help protect against financial loss, it is essential that the building owner immediately control or rectify any evidence of destructive timber pest activity or damage identified in this inspection report. The Client should further investigate any high-risk area where access was not gained. It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of conditions conducive to timber pest attack.

To help minimise the risk of any future loss, the Client should consider whether the following options to further protect their investment against timber pest infestation are appropriate for their circumstances:

Undertake thorough regular inspections at intervals not exceeding twelve months or more frequent inspections where the risk of timber pest attack is high, or the building type is susceptible to attack. To further reduce the risk of subterranean termite attacks, implement a management program in accordance with Australian Standard AS 3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS 3660 stresses that subterranean termites can bridge, or breach barrier systems and inspection zones and that thorough regular inspection of the building are necessary.

CONTACT THE INSPECTOR

Please feel free to contact the Inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties or timber pest activity and/or damage in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this Report, then you should immediately contact the Inspector and have the matter explained to you.

If you have any questions at all or require any clarification, then contact the Inspector prior to acting on this Report.

NOTICE TO THE PURCHASER

(a) Prior to or on Exchange, and prior to the commencement of the 'Cooling-off Period', you were given an Inspection Report on the Property you intend on purchasing ("the Report"). The Purchaser is advised that this Report reflects the condition of the property existing at the time of the Inspection (Inspection Date) and may not reflect the current state. Timber Pests, particularly Termites, may have gained entry to the property since the Inspection Date. Termites can, in a relatively short period, cause significant damage to both structural and non-structural timbers within and around the buildings of the Property.

Termites (white ants) may be difficult to detect and much of the damage caused may not be readily visible. If damage exists, then it may cost thousands of dollars to repair.

It is, therefore, very strongly recommended that you urgently arrange for another Inspection and Report in accordance with AS4349.3 to be carried out prior to exchange, or prior to the expiration of any 'Cooling off Period', and prior to settlement.

(b) If the Report indicated the presence of Termites, termite damage or recommends any treatments or other Inspections and Reports, you should obtain copies of the treatment proposal, any certificates of treatments carried out, details of all repairs including copies of quotations, invoices, and any other Reports.

It is strongly recommended that you arrange for an Inspection and Report in accordance with AS 4349.3 to verify that the treatment has been successful and carried out in accordance with AS 3660.2 and a further building Inspection in accordance with AS 4349.1.

(c) If you fail to procure a further Inspection and report as recommended in (a) and (b), or fail to obtain copies of the treatment proposal, certificates of treatment carried out, details of all repairs including copies of quotations, invoices and any other reports as recommended in (b) above, then it will be deemed that you have decided not to have a further Inspection and report carried out, or to obtain copies of certificates of treatments carried out, details of all repairs including copies of quotations, invoices and any other reports.

It will be deemed that you have relied upon your own enquiries and the report, knowing the possible consequences and that the condition of the property, as stated in the report, may have changed.

(d) The person carrying out the Inspection and the company, partnership or sole trader that employs that person will have no liability to you for any damage or loss you may suffer as a result of your entering the contract to purchase the property or in connection with completing the purchase of the property as a result of your failure to heed the advice given in (a) and (b) and the warning contained in (c) above, and may use such failure in defense of any claim that you may later make against any of them.

Compliance Report



COMPLIANCE REPORT

This is a Compliance Report regarding any unapproved structures or alterations. ACT Property Inspections have accessed the attached Building File from ACT Planning and Land Authority (ACTPLA) and hold no responsibility for any inaccuracies in the Building File supplied by ACTPLA. The Compliance report is based solely upon the information available from the Building File which does not contain information regarding Plumbing or Electrical work that has taken place since the original construction. Information regarding the Plumbing and Electrical is available upon application from ACTPLA. Since we are not Plumbers or Electricians, we are unable to comment on those works. If structures have been noted as requiring approval, a Certifier should be engaged to assess if the structure will comply with the relevant ACT legislation. Owners must be aware that unapproved structures may not comply and may require significant repair, design change or possible removal.

Property Address: 34 Collier Street, Curtin ACT 2605
Block & Section: Block 21 Section 26 CURTIN
Inspection Date: Tuesday, March 17th 2026

APPROVAL STATUS

Description	Plan number	Certificate of occupancy date	Approval status
Ex Government Residence	-	-	Approved.
Demolition of Existing Residence & Outbuildings New Double Storey Residence including Porch & Alfresco	B20252087/A	20/03/2026	Approved.
Variation to alfresco: central column not constructed.	-	-	Although this work appears to be original it does not match the approved plans. Building approval is required
Alteration to the location of the Master Bedroom entry door	-	-	This work is exempt from approval. No action is required.
Front retaining walls	-	-	This work is exempt from approval. No action is required.

ACTPLA COMMENTS

- This is an Ex-Government Residence

Conveyancing File



CONVEYANCING PART 2

No information is provided in respect of electrical, drainage or sewer matters and or to the location of overhead power lines or underground cables in relation to the building.

	<u>Yes</u>	<u>No</u>
1. (a) Is this a government or ex government house?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) If yes, is there a building file with approvals on it?	<input type="checkbox"/>	<input type="checkbox"/>
2. Is there any record of incomplete building work on the building file? If yes - file copies attached	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Are there any records on the building file of current (within 5 years) housing Indemnity insurance policies for building work? If yes - file copies attached	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Are there any records on the building file showing building applications still being processed? (Current within 3 years) If yes - file copies attached	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Are there any records on the building file in relation to loose-fill asbestos insulation?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

If available, copies of the following documents are provided:

• Certificate/s of Occupancy and Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>
• Survey Certificates	<input checked="" type="checkbox"/>	<input type="checkbox"/>
• Unit Plan/Unit Entitlements (if property is unit titled)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Approved Building Plans	<input checked="" type="checkbox"/>	<input type="checkbox"/>
• Ex- government Building Plans*	<input type="checkbox"/>	<input checked="" type="checkbox"/>

If requested:

• Drainage Plan(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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ASBESTOS

The ACT Government is not able to guarantee the accuracy of the information in this report.

You should make your own enquiries and obtain reports (from a licensed Asbestos Assessor) in relation to the presence of loose fill asbestos insulation (and other forms of asbestos) on the premises. For more information go to the Asbestos Awareness Website –

www.asbestos.act.gov.au

Please note: Development Approval plans will not be included in this report (We do not receive Development Approval Plans unless they are part of a Building Approval in which case they become Building Approval Plans), if development approval was granted you can request copies of the Development Approval plans from ACEPDcustomerservices@act.gov.au.

Please Note: Building approvals that have been generated via eDevelopment will be issued with a project number prefixed by the letter B. Initial building approval documentation will be identified with project number B20XXXX only but will be referenced as B20XXXX/A on the Certificate of Occupancy and Use. Any amendments to the original approval will be issued with the project number and an alphanumeric digit. The first amendment will be identified as B20XXXX/B, the second amendment B20XXXX/C etc. Not all eDevelopment plans will be stamped with the plan number.

*Ex Government plans: Plans are typical and not specific to each residence. There may be slight changes to the layout or window locations that were not required to be approved.

Search officer comments (if any?)

Search officer initials: Tony

Cost of application: \$ 144.79

Date completed:

29/01/2026

Ingenuity Building Solutions Pty Ltd
C/- hl.buildingsolution@gmail.com

Re: 34 Collier Street, Curtin

Dear Sir or Madam

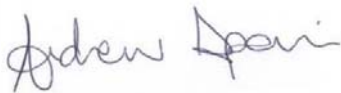
As instructed, we have surveyed the land at Curtin, in the Division of Curtin, District of Woden Valley, having a total frontage of 19.405 metres to Collier Street, being **Block 21 Section 26 Deposited Plan No. 1240** as shown in the sketch on Page 2.

Upon this land stands the concrete foundation of a building in the course of erection to be on completion a single residence.

The sketch shows the position of the concrete foundation relative to the boundaries and levels of the concrete slab on Australian Height Datum (A.H.D). The land is subject to a Drainage Easement 2.44 metres wide and a Sewerage Easement 2.44 metres wide.

Other than as stated or referred to above, there are no apparent encroachments upon this land or by this property on adjoining lands or street.

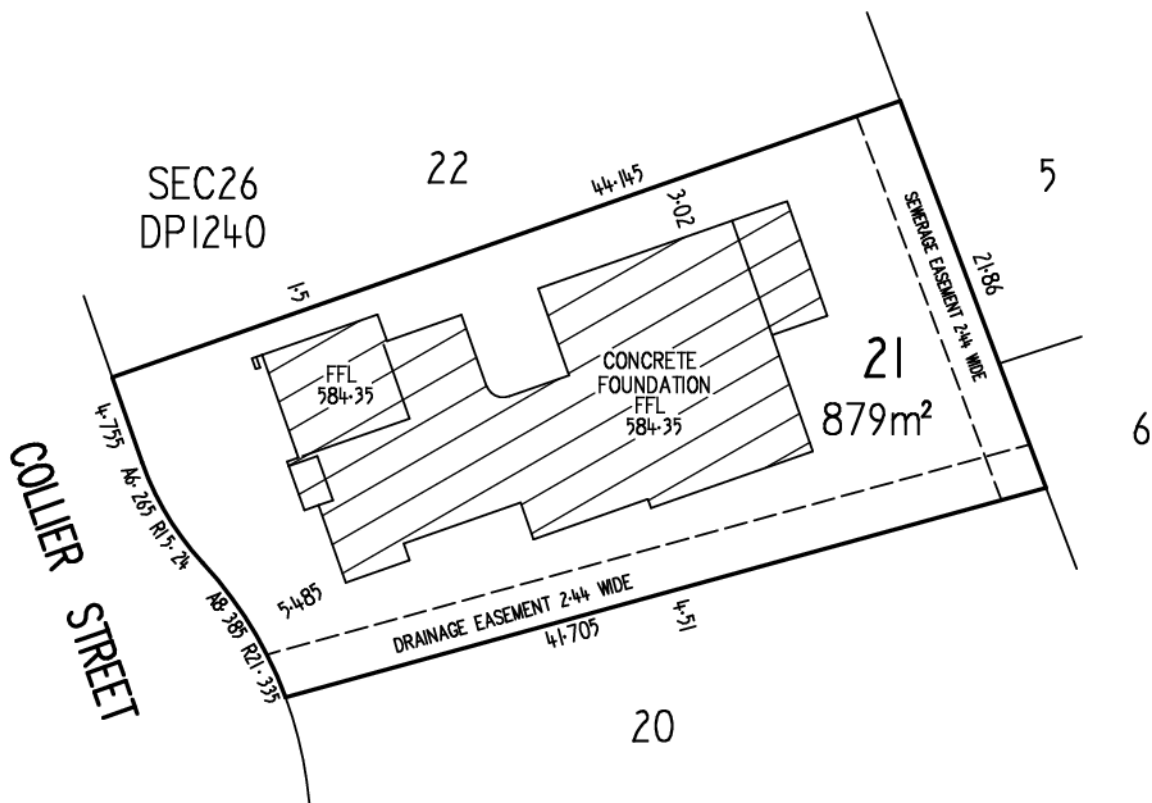
Yours faithfully




Andrew Spain
Registered Surveyor



2/1 Fisher Square Fisher ACT 2611
P.O. Box 3977 Weston Creek ACT 2611
☎ 02 6287 3096 | 0413 522 293
📄 02 6287 3590 | 🌐 www.klevenspain.com
✉ klevenspain@bigpond.com



SCALE 1:400
 LENGTHS ARE IN METRES





Certificate of Completion of Demolition

Certificate No.: **B20252087C1**

**Access Canberra Land, Planning and
Building Services**

ABN 16 479 763 216
8 Darling Street Mitchell
GPO Box 158 ACT 2601
www.act.gov.au/accesscbr

This Certificate is issued in accordance with Section 71 (2) of the Building Act 2004.

The demolition of the building works listed on this certificate has been completed in accordance with the prescribed requirements.

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	21	26	CURTIN	WODEN VALLEY	Australian Capital Territory

Plans

B20252087/A

B20252087/B

Building Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Const.	Unit	BCN ID	Builder
1a	Demolition	DA EXEMPT-RESIDENCE	Demolition of Existing Residence & Outbuildings	NA		B20252087N1	LUKA MARK PRATEZINA

Comments

Important Note:

The issue, under this Part, of a certificate in respect of a building or portion of a building does not affect the liability of a person to comply with the provisions of a law of the territory (including this Act) relating to the building or portion of the building.

Issued by: Paul Moon

Issued on: 20/03/2026

Delegate of the ACT Construction
Occupations Registrar.



Certificate of Occupancy and Use

Certificate No.: **B20252087C2**

Access Canberra Land, Planning and Building Services

ABN 16 479 763 216
8 Darling Street Mitchell
GPO Box 158 ACT 2601
www.act.gov.au/accesscbr

This Certificate is issued in accordance with Section 69 (2) of the Building Act 2004.

The building work listed on this certificate has been completed substantially in accordance with the prescribed requirements and is considered fit for occupation and use.

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	21	26	CURTIN	WODEN VALLEY	Australian Capital Territory

Plans
B20252087/A
B20252087/B

Building Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Const.	Unit	BCN ID	Builder
1a(l)	New	DA EXEMPT-RESIDENCE	New Double Storey Residence	NA		B20252087N2	INGENUITY BUILDING SOLUTIONS PTY LTD
10a	New	DA EXEMPT-GARAGE	Including Porch & Alfresco	NA		B20252087N2	INGENUITY BUILDING SOLUTIONS PTY LTD

Comments

Important Note:

The issue, under this Part, of a certificate in respect of a building or portion of a building does not affect the liability of a person to comply with the provisions of a law of the territory (including this Act) relating to the building or portion of the building.

Issued by: Paul Moon

Issued on: 20/03/2026

Delegate of the ACT Construction Occupations Registrar.

Certificate

Date Issued: 29/04/2025

This Certificate is not underwritten by the ACT Government nor by the Master Builders Association (ACT)

This Certificate applies to one dwelling only.

The contract price, or value of the work, is: \$ 930,000.00.

The builder's *estimated* construction period is from: 29/04/2025 to 31/03/2026.

Variations of up to 10% of the contract price are automatically included.

This Certificate is issued subject to the requirements of the **ACT Building Act 2004** and section 91, and in accordance with the terms and conditions set out in the Master Builders Fidelity Fund Trust Deed.

Builder's Name: **Ingenuity Building Solutions Pty Ltd**

Builder's Licence No: **2022123**

Block: **21** Section: **26** Unit: Suburb: **Curtin**

Residential Address: **34 Collier Street**

Type of project, (ie speculative, contract or project management): **Contract**

For the construction of: **Custom house, standard qualifications, double storey**

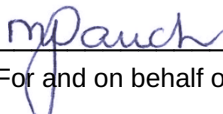
Special conditions: **n/a**

Name of Owner(s): **Yansong Zhang & Yepeng Wang**

Instructions to Builder:

This original certificate **MUST** be given to the home owner. Please photocopy for building approval purposes and for your records.

For variations in excess of 10% of the contract price, contact the Master Builders Fidelity Fund Manager on (02) 6175 5995.

Signature: 
(For and on behalf of the Master Builders Fidelity Fund)

This certificate is issued by the Master Builders Fidelity Fund and any enquiries regarding claims against this certificate must be directed to the Master Builders Fidelity Fund c/- MBA - ACT at 1 Iron Knob Street, Fyshwick ACT 2609, telephone (02) 6280 9119.

Please read the important information overleaf regarding this Certificate.

THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED WITHOUT THE WRITTEN PERMISSION OF SHANG GAO - ABN 57468852956

NOTES:

- * ALL DIMENSIONS ARE IN MILLIMETERS
- * DO NOT SCALE THE DRAWING - USE WRITTEN DIMENSIONS
- * IT IS THE RESPONSIBILITY OF THE OWNER TO ENSURE THAT THE LAYOUT AND ALL SPECIAL INCLUSIONS ARE CORRECT
- * THE AUTHUR OF THE DRAWINGS WILL TAKE NO RESPONSIBILITY FOR ANY VERBAL DISCUSSIONS OR INSTRUCTIONS. ALL CHANGES AND SPECIAL INCLUSIONS MUST BE DOCUMENTED IN WRITING.

SCHEDULE OF DRAWINGS:

SHEET	CONTENTS
000	COVER SHEET
001	GENERAL NOTES
002	SITE PLAN
002b	DEMOLITION/ LANDSCAPE MANAGEMENT PROTECTION PLAN
002c	LANDSCAPE MANAGEMENT PROTECTION PLAN
003	ROOF PLAN
004	VERGE/ SEDIMENT CONTROL PLAN
005	SITE COVERAGE & LANDSCAPING
006	GROUND FLOOR PLAN
007	FIRST FLOOR PLAN
008	ELEVATIONS 1-2
009	ELEVATIONS 3-4
010	LIVABLE HOUSING PLANS
011	SECTIONS
012	WATERPROOF& WET AREA DET.
013	REINFORCEMENT OF BATHROOM & SANITARY COMPARTMENT WALLS
014	SOLAR DIAGRAMS

AMENDMENTS

ISS	DESCRIPTION	BY	DATE
A	New Issue for BA		10.05.2025
B	New Issue for PCA		22.05.2025
C	Final Issue updated		30.05.2025
D	New section added		05.06.2025
E	Windows/ internal update		13.07.2025

CLIENT CHECK

SIGNATURE: _____

DRAWN BY: SG	DATE DRAWN: 13.07.2025	
COUNCIL AREA: Curtin ACT	SCALE:	
JOB No: J008-2024	DRWG No: 000	ISSUE: E



NOTES:
PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS
* ALL DIMENSIONS ARE IN MILLIMETRES
* DO NOT SCALE - USE WRITTEN DIMENSIONS
* ALL DIMENSIONS ARE TO STRUCTURAL FRAMES ONLY EXCLUDING FINISHED SURFACES

CLIENT:
HE LI
SITE ADDRESS:
Block 21
Section: 26
Suburb: CURTIN

DRAWING TITLE:
COVER SHEET

ALL WORK TO BE IN ACCORDANCE WITH LATEST VERSION OF AUSTRALIAN STANDARDS, NCC REQUIREMENT

GENERAL NOTES:
THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE BY THE CLIENT FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE DESIGNER'S WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.

ALL DIMENSIONS ARE IN MILLIMETERS. DIMENSIONS TAKE PREFERENCE OVER SCALE & ARE TO STRUCTURE NOT FINISH. ALL DIMENSIONS MUST BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK OR MAKING ANY CONSTRUCTION DRAWINGS. USE FIGURED DIMENSIONS ONLY & DO NOT SCALE OFF THE DRAWING. SURVEYOR TO CONFIRM EASEMENT LOCATIONS PRIOR TO COMMENCEMENT OF ANY WORKS.

WORK SHALL COMPLY WITH THE BCA & ALL RELEVANT CURRENT AUSTRALIAN STANDARDS. ANY OUTDATED STANDARDS LISTED IN THESE NOTES ARE TO BE REFERRED TO THE CURRENT EDITION.

MANUFACTURES SPECIFICATION MEANS A CURRENT APPROVED SPECIFICATION FOR USE UNDER CONDITIONS APPLICABLE. ALL LEVELS, SITE CUTS, GROUND LEVELS, FFL'S TO BE CONFIRMED ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORKS. (INCLUDING DRIVEWAY LEVELS) ANY DISCREPANCIES TO BE DIRECTED TO BUILDER &/OR DESIGNER IMMEDIATELY. THE APPROVAL BY THIS OFFICE OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ANY SAID VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT AND WHERE APPLICABLE THE RELEVANT BUILDING CERTIFIER PRIOR TO IMPLEMENTING THE SAID VARIATION.

THE OWNER BUILDER AND TRADES PEOPLE MUST VERIFY ALL DIMENSIONS, LEVELS, INFORMATION, DETAILS, SIZES, SETBACKS, HEIGHTS, AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING ANY MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING ALL BUILDING WORKS CONFORM WITH THE BUILDING CODE OF AUSTRALIA, A.S. CODES (CURRENT EDITIONS), LOCAL BY - LAWS BUILDING REGULATIONS AND ANY TOWN PLANNING REQUIREMENTS.

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL ENGINEERING COMPS OR STRUCTURAL DRAWINGS. WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

SITE WORKS:
SITE TO BE EXCAVATED & AIR FILED TO THE LEVELS SHOWN. FOOTINGS TO PLECED AS PER BUILDER SPEC. ENGINEERING DETAILS OR SURVEY MARK.

FOOTINGS TO BEAR ON NON-EXPONCIVE NATURAL MATERIALS HAVE A MIN BEARING CAPACITY OF 100kpa. GROUND SURFACE TO BE SLOPED 1:20 (min) AWAY FROM BUILDING FOR 900mm (min) & TO A POINT WHERE PONDING WILL NOT OCCUR NEAR THE BUILDING.

DISH DRAINS & AG-PIPES TO BE PROVIDED AS INDICATED TO FACILITATE DRAINAGE OF WATER AWAY FROM THE BUILDING TO THE DRAINAGE SYSTEM.

SERVICES/ELECTRICAL/WASTE.
NO INTERNAL DRAINAGE FOR PROPOSED STRUCTURE TO BE LOCATED IN SEWER EASEMENT/PIPE PROTECTION ENVELOPE. ALL WORKS DONE TO ACTEW GUIDELINES/ADVICE. ALL BUILDING WASTE TO BE COLLECTED IN HOPPER LOCATED ON SITE. RESIDENTIAL WASTE TO BE COLLECTED BY ROADSIDE PICKUP & BINS TO BE LOCATED ON SITE. METER BOX TO BE INSTALLED TO ACTEW AGL SERVICE & INSTALLATION RULES.

STORMWATER, SEWER & WATER TIES TO BE LOCATED ON HYDRAULIC/DRAINAGE PLANS. TELSTRA & GAS TIES TO BE PROVIDED BY GAS FITTER & ELECTRICIAN.

ENSURE THAT THE DEVELOPMENT COMPLIES WITH TERRITORY & MUNICIPAL SERVICES (TAMS) STATING THAT WASTE FACILITIES & MANAGEMENT ASSOCIATED WITH DEVELOPMENT ARE IN ACCORDANCE WITH THE DEVELOPMENT CONTROL CODE FOR BEST PRACTICE WASTE MANAGEMENT IN THE ACT 1999.

ROOFING:
TRUSS ROOF MANUFACTURERS ARE TO ENSURE SITE VISIT AND A CONFIRMATION MEASURE IS CARRIED OUT PRIOR TO COMMENCEMENT OF ANY WORK AND ORDERING OF ANY MATERIALS WHATSOEVER.

THIS DRAFTING OFFICE HAD MADE AN ASSUMPTION IN REGARDS TO THE EXISTING ROOF PITCH AND PROPOSED WORKS. AND TAKES NO RESPONSIBILITY FOR THE ASSUMPTION. THE BUILDER, SUB-CONTRACTOR SHALL CONFIRM THE EXISTING ROOF PITCH AND PROPOSED PITCH ON SITE PRIOR TO ORDERING OR COMMENCEMENT OF ANY WORK.

THE BUILDER, SUB-CONTRACTOR, ENGINEER (IF REQUIRED) AND OR THE CLIENT IS TO CONFIRM ON SITE THE EXISTING METHOD OF CONSTRUCTION USED IN THE DWELLING PRIOR TO THE COMMENCEMENT OF ANY WORK. THE BUILDER, SUB-CONTRACTOR, ENGINEER AND/OR CLIENTS TO ENSURE THEY HAVE MADE THE NECESSARY ALLOWANCES TO SUIT THE EXISTING SITE CONDITIONS. SHOULD ANY DISCREPANCIES OCCUR BETWEEN ALL OR ANY DOCUMENTATION IT IS THE BUILDER, SUB-CONTRACTORS RESPONSIBILITY TO INFORM THE ENGINEER AND/OR SUPPLIERS OF SUCH DISCREPANCIES.

PLUMBING:
STORM WATER SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY. SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITIES REQUIREMENTS.

THE BUILDER AND SUB-CONTACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM. THE BUILDER SHALL ENSURE FOR THE GENERAL WATER TIGHTNESS OF ALL NEW AND EXISTING WORKS.

AUSTRALIAN STANDARDS
AS/NZS 1170. 2 2021 AND AS 4055 2021(WIND LOADING STANDARDS)
AS 1288 2021 GLASS IN BUILDINGS SELECTION AND INSTALLATION
AS 1397 2021 ZINC COATINGS
AS 1530 PART 8.1 2018 FIRE TESTING FOR BUSHFIRE ATTACK
AS 1684.2 2021 RESIDENTIAL TIMBER FRAMING CONSTRUCTION (NON CYCLONIC)
AS 1684.3 2021 RESIDENTIAL TIMBER FRAMING CONSTRUCTION (CYCLONIC)
AS/NZS 1720 PART 4 2019 TIMBER STRUCTURES
AS 2118. 5 2008 (R2020) HOME FIRE SPRINKLER SYSTEMS
AS 2312 PART 1 2014 GUIDE TO THE PROTECTION OF STRUCTURAL STEEL AGAINST ATMOSPHERIC CORROSION BY THE USE OF PROTECTIVE COATINGS - PAINT COATINGS
AS/NZ 2312 PART 2 2014 GUIDE TO THE PROTECTION OF STRUCTURAL STEEL AGAINST ATMOSPHERIC CORROSION BY THE USE OF PROTECTIVE COATINGS - HOT DIP GALVANIZING
AS 2419 PART 1 2021 FIRE HYDRANT INSTALLATIONS - SYSTEM DESIGN, INSTALLATION AND COMMISSIONING
AS 2699. 1 AND 3 2020 BUILT IN COMPONENTS FOR MASONRY CONSTRUCTION
AS 3740 2021 (WATERPROOFING - INTERNAL) AND AS 4654 (WATERPROOFING - EXTERNAL)
AS 3959 2018 INCORPORATING AMDTS 1 AND 2 CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS
AS 4055 2021 WIND LOADS FOR HOUSING
AS 4100 2020 STEEL STRUCTURES
AS 4200. 1 2017 AMDT 1AND 4200.2 2017 AMDT 2 (INSULATION AND BUILDING WRAPS)
AS 4254 PART 1 2021 DUCTWORK FOR AIR HANDLING SYSTEMS - FLEXIBLE DUCT
AAS 4254 PART 2 2012 DUCTWORK FOR AIR-HANDLING SYSTEMS IN BUILDINGS - RIGID DUCT
AS 4773 PART 1 2015 MASONRY IN SMALL BUILDINGS - DESIGN (INCORPORATING AMENDMENT 1)
AS 4773 PART 2 2015 MASONRY IN SMALL BUILDINGS - CONSTRUCTION (INCORPORATING AMENDMENT 1)
AS/NZS 4858 2004 WET AREA MEMBRANES (NEW)
AS 5146 PART 3 2018 REINFORCED AAC - CONSTRUCTION (NEW)
AS 5216 2021 DESIGN OF POST-INSTALLED AND CAST-IN FASTENINGS IN CONCRETE
AIRAH-DA07 2021CRITERIA FOR MOISTURE CONTROL DESIGN ANALYSIS IN BUILDINGS
ASTM E96 2016 STANDARD TEST METHODS FOR WATER VAPOR TRANSMISSION OF MATERIALS
NASH STANDARD PART 2 2021 STEEL FRAMED CONSTRUCTION IN BUSHFIRE AREAS

NATIONAL CONSTRUCTION CODE
SITE PREPARATION
EARTHWORKS
A SITE CUT USING AN UN-RETAINED EMBANKMENT MUST BE—
a) within the allotment; and
b)not within the zone of influence of any existing structure on the property, or the allotment boundary as defined in p 3.2 NCC.
c)not deeper than 2 m from the natural ground level at any point.

FILL USING AN UN-RETAINED EMBANKMENT MUST BE—
a) be placed within the allotment; and
be placed at a gradient which complies with P 3.2.1NCCb) be placed and mechanically compacted in layers not more than 150 mm; and
c) be not more than 2 m in height from the natural ground level at any point; and
d)where used to support footings or slabs, be placed and
e)compacted in accordance with Part 4.2 NCC; and
f)have surface water diverted away from any existing structure on the property or adjoining allotment in accordance with P 3.3.3 NCC.

DRAINAGE
DRAINAGE SYSTEMS MUST BE INSTALLED IN ACCORDANCE WITH P3.3.2 NCC.
SURFACE WATER DRAINAGE IN ACCORDANCE WITH P3.3.3 NCC.
SUBSOIL DRAINAGE MUST COMPLY WITH P3.3.4 NCC.
STORMWATER DRAINAGE MUST COMPLY WITH P7.3.4 NCC.
ANTI-PONDING DEVICE/BOARD FOR ROOF TILES MUST COMPLY WITH P3.3.5 NCC.
TERMITE RISK MANAGEMENT
REQUIREMENTS FOR TERMITE MANAGEMENT SYSTEMS MUST COMPLY TO P3.4 NCC AND AS 3660.1; OR HAVE BEEN TESTED AND PASSED THE TESTS REQUIRED BY SECTION 5 OF AS 3660.3; AND HAVE A DURABLE NOTICE INSTALLED IN ACCORDANCE WITH P3.4.3 NCC; AND WHERE A CHEMICAL TERMITE MANAGEMENT SYSTEM IS USED, THE CHEMICAL MUST BE INCLUDED ON THE APPROPRIATE AUTHORITY'S PESTICIDES REGISTER.

FLOORING AND SLAB
THE FOUNDATIONS WHERE FOOTINGS AND SLABS ARE TO BE LOCATED MUST BE CLASSIFIED IN ACCORDANCE WITH AS 2870.

FOOTINGS, SLABS AND ASSOCIATED ELEMENTS MUST COMPLY TO H1D4(2) AND P 4.2 NCC.
EXCAVATION DEPTHS AND SOIL CUTS MUST COMPLY WITH PART 3.2. FILLING MUST BE EITHER CONTROLLED FILL OR ROLLED FILL TO COMPLY WITH P 4.42.4 AND AS 1289.6.3.3
SLAB PANELS — IN ACCORDANCE WITH 4.2.5(A), EDGE BEAM TO COMPLY WITH P 4.2.5 AND AS 2870.
A VAPOUR BARRIER MUST BE INSTALLED UNDER SLAB-ON-GROUND CONSTRUCTION FOR A CLASS 1 BUILDING AND FOR A CLASS 10 BUILDING WHERE THE SLAB IS CONTINUOUS WITH THE SLAB OF A CLASS 1 BUILDING IN ACCORDANCE P 4.2.8 AND AS 2870.
CONCRETE MUST COMPLY WITH AS 3600.
MATERIALS USED FOR REINFORCING STEEL MUST COMPLY WITH AS 2870 AND BE WELDED WIRE REINFORCING FABRIC; OR TRENCH MESH; OR STEEL REINFORCING BARS. IN ACCORDANCE TO P 4.2.11

MASONRY
MASONRY VENEER MASONRY VENEER WALLS MUST NOT BE GREATER THAN 8.5 M IN HEIGHT WHEN MEASURED ABOVE THE ADJACENT FINISHED GROUND LEVEL.
OPENINGS IN MASONRY VENEER MUST COMPLY WITH P5.2.3 NCC.
DAMP-PROOF COURSES AND FLASHING MATERIALS MUST COMPLY WITH P5.2.4 NCC.
VERTICAL ARTICULATION JOINTS MUST COMPLY WITH P5.2.5 NCC.
ENGAGED PIERS MUST COMPLY WITH P5.2.6 NCC.
CAVITY MASONRY CAVITY MASONRY EXTERNAL AND INTERNAL WALLS MUST COMPLY P 5.3 NCC
UNREINFORCED SINGLE LEAF MASONRY MUST COMPLY TO P5.4.2 NCC.
ISOLATED PIERS MUST COMPLY TO P5.5 NCC.
MASONRY COMPONENTS MUST COMPLY TO P5.6 NCC.
WEATHERPROOFING OF MASONRY MUST COMPLY TO P 5.7 NCC.

GLAZING:
WINDOWS AND EXTERNAL GLAZED DOOR
INSTALLATION OF WINDOWS MUST COMPLY TO P 8.2 NCC 2022 AND APPLIES SUBJECT TO THE LIMITATIONS SET OUT IN H1D8(1) AND (2).
GLAZING MUST COMPLY NCC WITH THE FOLLOWING:
8.3.2 FOR GLASS SIZES AND INSTALLATION.
8.3.3 FOR FULLY FRAMED GLAZING INSTALLED IN THE PERIMETER OF BUILDINGS.
PART 8.4 FOR GLAZED ASSEMBLIES SUBJECT TO HUMAN IMPACT.
GLASS MUST BE GLASS USED MUST BE OF A TYPE WITHIN THE SCOPE OF AS 1288.
GLASS USED IN BARRIERS, EXCEPT A WINDOW SERVING AS A BARRIER, MUST WITHSTAND LOADING FORCES IN ACCORDANCE WITH AS 1170.1.
SAFETY GLASS MUST BE LEGIBLY MARKED IN ACCORDANCE WITH 8.4.7; AND MADE VISIBLE IN ACCORDANCE WITH 8.4.8 NCC.

ROOF AND WALL CLADDING
SHEET ROOF
METAL SHEET ROOFING MUST BE PROTECTED FROM CORROSION IN ACCORDANCE P7.2 NCC.

THE MINIMUM PITCH FOR METAL SHEET ROOFING MUST COMPLY WITH P 7.2.3 NCC.
THE MAXIMUM SPAN FOR METAL SHEET ROOFING MUST COMPLY WITH P 7.2.4 NCC.
FIXING OF METAL SHEET ROOFING MUST COMPLY WITH P 7.2.5 NCC.
INSTALLATION OF ROOF SHEETS MUST COMPLY WITH P 7.2.6 NCC.
FLASHINGS AND CAPPINGS FOR METAL ROOF SHEETS MUST COMPLY WITH P 7.2.7 NCC.
WATER DISCHARGE MUST COMPLY WITH P7.2.8 NCC.
WHERE AN EAVES GUTTER IS PROVIDED IN ACCORDANCE WITH H2D6(1).
ROOF TILE AND SHINGLES
ROOF TILES AND HIP, RIDGE, BARGE AND CAPPING TILES MUST BE FIXED IN ACCORDANCE WITH P7.3.2 NCC.
FLASHING FOR ROOF TILES MUST COMPLY WITH P7.3.3 NCC.
SARKING FOR ROOF TILES MUST COMPLY WITH P7.3.4 NCC.
ANTI-PONDING DEVICE/BOARD FOR ROOF TILES MUST COMPLY WITH P7.3.5 NCC.
WATER DISCHARGE MUST COMPLY WITH P7.3.6 NCC.
WHERE AN EAVES GUTTER IS PROVIDED IN ACCORDANCE WITH H2D6(1).

GUTTER AND DOWNPIPES
MATERIALS FOR GUTTERS, DOWNPIPES AND FLASHINGS MUST BE MANUFACTURED IN ACCORDANCE WITH AS/NZS 2179.1 FOR METAL COMPONENTS; AND BE MANUFACTURED IN ACCORDANCE WITH AS 1273 FOR UPVC COMPONENTS; AND BE COMPATIBLE WITH ALL UPSTREAM ROOFING MATERIALS IN ACCORDANCE WITH 7.2.2(2) NCC ; AND NOT CONTAIN ANY LEAD IF USED ON A ROOF FORMING PART OF A DRINKING WATER CATCHMENT AREA.

GUTTERS' SIZE AND INSTALLATION MUST COMPLY WITH P 7.4.3, P 7.4.4 NCC.
DOWNPIPES ' SIZE AND INSTALLATION MUST COMPLY WITH P 7.4.5, P 7.4.6 NCC.

TIMBER AND COMPOSITE WALL CLADDING
TIMBER WALL CLADDING MUST BE INSTALLED IN ACCORDANCE WITH P7.5.2 NCC.
VAPOUR PERMEABLE SARKING COMPLYING WITH AS 4200.1
FIBRE-CEMENT SHEET WALL CLADDING MUST— COMPLY WITH AS/NZS 2908.2 OR ISO 8336; AND BE FIXED IN ACCORDANCE WITH 7.5.4 NCC.
HARDBOARD SHEET WALL CLADDING MUST— COMPLY WITH AS/NZS 1859.4 FOR EXTERIOR GRADE; AND BE FIXED IN ACCORDANCE WITH 7.5.4 NCC.
STRUCTURAL PLYWOOD WALL CLADDING MUST— COMPLY WITH AS/NZS 2269.0; AND BE FIXED IN ACCORDANCE WITH 7.5.4 NCC.
EAVES AND SOFFIT LININGS COMPLY WITH AS/NZS 2908.2 OR ISO 8336; AND BE FIXED IN ACCORDANCE WITH 7.5.5 NCC.
FLASHINGS TO WALL OPENINGS IN ACCORDANCE WITH 7.5.7 NCC.
PARAPET CAPPINGSIN ACCORDANCE WITH 7.5.8 NCC.

FRAMING
SUBFLOOR VENTILATION
SUBFLOOR SPACE MUST COMPLY WITH P 6.2 NCC.
SUBFLOOR FRAME MUST BE—
a) WHERE ABOVE GROUND — ABOVE GROUND DURABILITY CLASS 1 OR 2 TIMBERS OR H3 PRESERVATIVE TREATED TIMBERS IN ACCORDANCE WITH AS 1684.2, AS 1684.3 OR AS 1684.4;
b) WHERE IN-GROUND — IN-GROUND DURABILITY CLASS 1 OR 2 TIMBERS OR H5 PRESERVATIVE TREATED TIMBERS IN ACCORDANCE WITH AS 1684.2, AS 1684.3 OR AS 1684.4; OR
c) STEEL IN ACCORDANCE WITH NASH STANDARD 'RESIDENTIAL AND LOW-RISE STEEL FRAMING' PART 2.

STRUCTURAL STEEL MEMBERS
STRUCTURAL STEEL MEMBERS MUST COMPLY WITH P6.3 NCC.
BEARERS SUPPORTING A TIMBER FLOOR OR NON-LOADBEARING STUD WALL — IN ACCORDANCE WITH 6.3.3.
STRUTTING BEAMS SUPPORTING ROOF AND CEILING LOADS — IN ACCORDANCE WITH 6.3.4.
LINTELS SUPPORTING ROOF, CEILING, FRAME AND TIMBER FLOOR — IN ACCORDANCE WITH 6.3.5.
COLUMNS — IN ACCORDANCE WITH 6.3.6.

THIS SECTION SETS OUT THE DEEMED-TO-SATISFY PROVISIONS FOR— SUBFLOOR VENTILATION (SEE PART 6.2); AND STRUCTURAL STEEL MEMBERS (SEE PART 6.3).
(2)FOR OTHER FRAMING PROVISIONS NOT INCLUDED IN THIS SECTION, REFER TO THE FOLLOWING DEEMED-TO-SATISFY PROVISIONS IN NCC VOLUME TWO:

STEEL FRAMING (SEE H1D6(3)).
TIMBER FRAMING (SEE H1D6(4)).
USE OF STRUCTURAL SOFTWARE (SEE H1D6(7)).

FIRE SAFETY
FIRE SEPARATION OF EXTERNAL WALL OF CLASS 1 BUILDING MUST COMPLY WITH P 9.1.1 NCC.
a) 900 MM FROM AN ALLOTMENT BOUNDARY OTHER THAN THE BOUNDARY ADJOINING A ROAD ALIGNMENT OR OTHER PUBLIC SPACE; OR
b) 1.8 M FROM ANOTHER BUILDING ON THE SAME ALLOTMENT OTHER THAN A CLASS 10 BUILDING ASSOCIATED WITH THE CLASS 1 BUILDING OR A DETACHED PART OF THE SAME CLASS 1 BUILDING.
FIRE PROTECTION OF SEPERATION WALLS AND FLOOR MUST COMPLY TO P 9.3 NCC.
FIRE PROTECTION OF GARAGE TOP DWELLINGS MUST COMPLY TO P 9.4 NCC.
SMOKE ALARMS LOCATION AND INSTASLLATION MUST COMPLY WITH P 9.5 NCC AND AS 3786.
IN A CLASS 1B BUILDING, A SYSTEM OF LIGHTING MUST BE INSTALLED TO ASSIST EVACUATION OF OCCUPANTS IN THE EVENT OF A FIRE. MUST TO COMPLY WITH P9.5.5 NCC.
FOR OTHER FIRE SAFETY PROVISIONS NOT INCLUDED IN THIS SECTION, REFER TO NCC VOLUME TWO H3D2(1) AND (2); FIRE HAZARD PROPERTIES.

HEALTH AND AMENITY
WET AREA WATERPROOFING
WET AREA IN ACCORDANCE WITH H4D1, H4D2 & H4D3 OF THE NCC VOLUME TWO AND PART 10.2 OF THE HOUSING PROVISIONS OR CLAUSES 10.2.1 TO 10.2.6 & 10.2.12 AND AS 3740
ROOM HEIGHT
HEIGHTS OF ROOM IN A HABITABLE ROOM AND OTHER SPACES MUST COMPLY WITH P 10.3 NCC.
REQUIRED FACILITES IN CLASS 1 BUILDING MUST BE IN ACCORDANCE TO PART 10.4 NCC FACILITIES.

LIGHT
NATURAL LIGHT AND ARTIFICIAIAL LIGHT MUST COMPLY TO P 10.5 NCC.
VENTILATION
VENTILATION REQUIREMENT MUST COMPLY WITH P 10.6 NCC.
AN EXHAUST FAN OR OTHER MEANS OF MECHANICAL VENTILATION MAY BE USED TO VENTILATE A SANITARY COMPARTMENT, LAUNDRY, KITCHEN OR BATHROOM, OR WHERE MECHANICAL VENTILATION IS PROVIDED IN ACCORDANCE WITH 10.6.3(B), PROVIDED CONTAMINATED AIR EXHAUSTS COMPLY WITH 10.8.2.

SOUND INSULATION
SOUNDINSULATION REQUIREMENTS MUST TO COMPLY WITH P10.7 NCC.
CONDENSATION MANAGEMENT
WHERE A PLIABLE BUILDING MEMBRANE IS INSTALLED IN AN EXTERNAL WALL, IT MUST—
a) COMPLY WITH AS 4200.1; AND
b) BE INSTALLED IN ACCORDANCE WITH AS 4200.2; AND
c) BE LOCATED ON THE EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER OF WALL ASSEMBLIES THAT FORM THE EXTERNAL ENVELOPE OF A BUILDING.

SAFE MOVEMENT AND ACCESS
STAIRWAY AND RAMP
A STAIRWAY MUST BE DESIGNED TO TAKE LOADING FORCES IN ACCORDANCE WITH AS/NZS 1170.1 AND P11.2.2 NCC.
AN EXTERNAL RAMP SERVING AN EXTERNAL DOORWAY OR A RAMP WITHIN A BUILDING MUST—
a) BE DESIGNED TO TAKE LOADING FORCES IN ACCORDANCE WITH AS/NZS 1170.1; AND
b) HAVE A GRADIENT NOT STEEPER THAN 1:8; AND
c) BE PROVIDED WITH LANDINGS COMPLYING WITH 11.2.5 AT THE TOP AND BOTTOM OF THE RAMP AND AT INTERVALS NOT GREATER THAN 15 M.
SLIP-RESISTANCE TREATMENT TO STAIR TREADS, RAMPS AND LANDINGS MUST BE IN ACCORDANCE WITH AS 4586.
LANDING MUST BE COMPLY TO P11.2.5 NCC.
BARRIERS AND HANDRAILS
BARRIERS TO PREVENT FALL REQUIREMENT MUST BE COMPLY WITH P 11.3.3, 11.3.4,11.3.6
HANDRAIL MUST BE COMPLY WITH P 11.3.5 NCC.
PROTECTION OF OPENABLE WINDOWS MUST BE COMPLY WITH P 11.3.7 NCC FOR BEDROOM
AND 11.3.8 NCC FOR ROOMS OTHER THAN BEDROOMS.

ENERGY REQUIREMENTS:
ENERGY EFFICIENCY REQUIREMENTS FOR NEW ADDITIONS TO OR RE-ERECTION OF CLASS 1 BUILDINGS IF PREVIOUSLY STAR-RATED: ACHIEVE A HOUSE ENERGY RATING NOT LESS THAN THE HOUSE ENERGY RATING THAT THE BUILDING HAD PRIOR TO THE ALTERATION OR RE-ERECTION, OR COMPLIANCE WITH B.C.A PERFORMANCE REQUIREMENTS P2.6.1 AND P.2.6.2 OF B.C.A VOL. TWO, IN ACCORDANCE WITH THE STAMPED PLANS ENDORSED BY THE ACCREDITED ENERGY RATER WITHOUT ALTERATION.

PLEASE REFER TO 7 STAR ENERGY RATING FOR ENERGY REQUIREMENTS AND SPECIFICATIONS.

NOTE: SISALATION TO HAVE A FLAMMABILITY INDEX NOT EXCEEDING 5.

NOTES:

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Building Approval
Is issued under section 28 of the Building Act 2004
CBS Residential Certifiers Pty Ltd

M. J. Kilian

17/07/2025 Licenced No: 2019937

CLIENT:
HE LI

SITE ADDRESS:
Block 21
Section: 26
Suburb: CURTIN

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DRAWING TITLE:

GENERAL NOTES

DRAWN BY: SG	DATE DRAWN: 10.05.2025
COUNCIL AREA: Curtin ACT	SCALE:
JOB No: J008-2024	DRWG No: 001
	ISSUE: A

SITE NOTES:

BEFORE STARTING WORK ON SITE CHECK FOLLOWING:

1. SERVICE LOCATIONS
2. SEWER CONNECTION POSITION
3. DRIVEWAY ALIGNMENT & LEVELS

dp INDICATES DOWNPIPE LOCATION

·A MIN. OF 50% OF THE POS IS TO BE RETAINED AS PLANTING AREA TO COMPLY WITH TERRITORY PLAN - R50.

- FOOTPATH IN VERGE NOT TO BE DISTURBED BY DRIVEWAY
- BUILDER TO CONFIRM FINISHED FLOOR HEIGHTS PRIOR TO CONSTRUCTION
- RL'S TO BE WITHIN 40mm OF SPECIFIED HEIGHT
- PLUMBING TIE LOCATIONS NOT AVAILABLE AT TIME OF DA/BA SUBMISSION

ENSURE ANY STEPPING STONES OR FOOTPATH HAVE CLEARANCE AROUND ACTEW ASSETS - ENSURE HEIGHTS AROUND THESE ELEMENTS DO NOT CREATE A TRIPPING HAZARD

PPOS AREA. 6000mm x 6000m SHOWN IN BLUE DASH LINE

POS AREA. 7800mm x 11300m SHOWN IN MAGENTA DASH LINE

ANY OR ALL DAMAGE CAUSED TO THE SURROUNDING PUBLIC INFRASTRUCTURE INCLUDING KERBING, STREET TREES, FOOTPATHS, KERB CROSSINGS, NATURE STRIPS, SERVICES & ADJOINING LAND CAUSED AS A RESULT OF CONSTRUCTION IS TO BE REPAIRED & REINSTATED TO ITS ORIGINAL STATE

EXISTING WATERMETER TO BE MAINTAINED AND PROTECTED DURING DEMOLITION AND CONSTRUCTION

PART OF THE PROPOSED BUILDING WITHIN 6m FRONT SETBACK

5000ltr WATER TANK - 50% OR 125m² OF ROOF PLAN AREA, WHICHEVER IS THE LESSER, IS CONNECTED TO THE TANK IS CONNECTED TO AT LEAST A TOILET, LAUNDRY COLD WATER & EXTERNAL TAPS THAT ARE ATTACHED TO THE HOUSE. THE CONNECTION WILL REQUIRE A PUMP WHERE IT CANNOT BE ELVATED SUFFICIENTLY TO GIVE ADEQUATE PRESSURE

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- PROPOSED GROUND FLOOR
- PROPOSED UPPER FLOOR
- PROPOSED GARAGE FLOOR

Driveway

SCALE: 1 : 100



NOTES:

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 - * ALL DIMENSIONS ARE TO STRUCTURAL FRAMES ONLY EXCLUDING FINISHED SURFACES



CLIENT:
HE LI

SITE ADDRESS:
Block 21
Section: 26
Suburb: CURTIN

DRAWING TITLE:

SITE PLAN

DRAWN BY:
SG

COUNCIL AREA:
Curtin ACT

JOB No:
J008-2024

DATE DRAWN:
22.05.2025

SCALE:
As indicated

DRWG No: 002
ISSUE: B

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17/07/2025

Licensed No: 2019937

DEMOLITION STRATEGY:

A. PROPOSED METHOD - DISMANTLE TILE GROOVES, TIMBER TRUSSES AND TIMBER BEAMS FOR SALVAGE AND SALE. BRICKS FROM BRICK VENEER WALLS TO BE DISMANTLED BY HAND AND SOLD. ANY BROKEN REMAINS TO BE CRUSHED FOR RE-CYCLING. INTERNAL WALLS AND FRAMES AND EXTERNAL WALL FRAMES TO BE DISMANTLED BYHAND AND TAKEN TO BELCONNEN TIP. THE REMAINING CONCRETE SLABS AND CONCRETE KERBS TO BE DELIVERED TO CANBERRA CONCRETE RECYCLING AT PIALLIGO FOR RE-CYCLING.

B. POLLUTION - AS PER AUSTRALIAN STANDARDS AND A.C.T POLLUTION CONTROL LAWS.

C. ASBESTOS - SHOULD THERE BE ANY TRACE OF ASBESTOS IN EXISTING HOMES, IT IS TO BE DISPOSED OF WHILSTWEARING ALL APPROPRIATE PROTECTIVE CLOTHING AS PER AUSTRALIAN STANDARDS AND DELIVERED TO THE APPROPRIATE AREA OF THE LOCAL TIP.

D. EXISTING SERVICES - ELECTRICITY TO BE DISCONNECTED AS PER ACTEW REQUIREMENTS AND RECONNECTED THROUGH TEMPORARY SUPPLY. SEWERAGE AND STORMWATER TO BE CAPPED OFF. WATER SUPPLY TO BE TERMINATED AND CONNECTED ON A TEMPORARY SUPPLY BASIS. TELEPHONE TO BE DISCONNECTED AND LINE REMOVED BY TELSTRA.

E. VEGETATION - TREES TO BE REMOVED WITHOUT DISTURBANCE TO THOSE TREES TO BE RETAINED, AND TAKEN TO APPROPRIATE AREA OF BELCONNEN TIP. CARE MUST BE TAKEN IN RELATION TO OVER HEAD POWER LINES.

STRUCTURE TO BE DEMOLISHED AREA: 127.39m²

ANY OR ALL DAMAGE CAUSED TO THE SURROUNDING PUBLIC INFRASTRUCTURE INCLUDING KERBING, STREET TREES, FOOTPATHS, KERB CROSSINGS, NATURE STRIPS, SERVICES & ADJOINING LAND CAUSED AS A RESULT OF CONSTRUCTION IS TO BE REPAIRED & REINSTATED TO ITS ORIGINAL STATE. VERGE CROSSING WILL REMAIN UNCHANGED

EXISTING WATERMETER TO BE MAINTAINED AND PROTECTED DURING DEMOLITION AND CONSTRUCTION


WASTE STOCKPILES TO BE CONTAINED ON SITE BEHIND SEDIMENT FENCE

STOCKPILES TO BE CONTAINED ON SITE BEHIND SEDIMENT FENCE. AWAY FROM HIGH WATER FLOW AREAS.

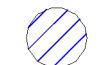
EXISTING TREE TO BE PROTECTED DURING CONSTRUCTION. REFER TREE PROTECTION DETAIL FOR PROTECTIVE MEASURES

EMERGENCY ACCESS PASSAGE

PARTIAL RETAINING WALL TO BE DEMOLISHED AND PROVIDE NEW RAMP FOR EMERGENCY PASSAGE ACCESS. ALL ACCESS PATHS/STEP RISERS & RETAINING WALLS MUST BE ABLE TO HOLD WEIGHT OF 3 TONNE MACHINE & REMAIN MAXIMUM 1:4 (25%) GRADE/ ANY SIDE SLOPE TO STAIRS/ACCESS PATHS TO BE A MAXIMUM OF 1:6


 STRUCTURE TO BE DEMOLISHED AS PER DEMOLITION STRATEGY


 GEOTECH FABRIC

 TREE TO BE PROTECTED

 SEWER EASEMENT - 2.44m

 ENTITY ASSET PROTECTION ZONE

 EMERGENCY ACCESS PASSAGE (24HR UNOBSTRUCTED ACCESS TO A SEWER MANHOLE INSIDE THE PROPERTY BOUNDARY)

 TEMPORARY PROTECTIVE FENCING - TREES TO BE RETAINED ARE TO BE SURROUNDED BY 1800 HIGH CONTINUOUS MESH TEMPORARY FENCING AS SHOWN ON PLAN FOR THE DURATION OF WORKS. NO STOCKPILING OF MATERIAL, INSTALLATION OF SERVICES OR SITE SHEDS OR STORAGE IS ALLOWED WITHIN THE FENCED AREA. FENCING MAY BE RELOCATED TEMPORARILY FOR THE PURPOSE OF LANDSCAPE WORKS AND SERVICE INSTALLATIONS, BUT MUST BE RE-INSTATED TO ORIGINAL ALIGNMENT IMMEDIATELY UPON COMPLETION OF THESE OPERATIONS

NOTES:

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CLIENT:
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SITE ADDRESS:
Block 21
Section: 26
Suburb: CURTIN

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DRAWING TITLE:

**DEMOLITION/ LANDSCAPE
MANAGEMENT
PROTECTION PLAN**

DRAWN BY:
SG

COUNCIL AREA:
Curtin ACT

JOB No:
J008-2024

DATE DRAWN:
10.05.2025

SCALE:
1 : 200

DRWG No: 002b
ISSUE: A

BOX GUTTERS TO BE INSTALLED AS PER AS3500.3

CONDENSATION MANAGEMENT TO COMPLY WITH PART 10.8 OF THE BCA.

MECHANICAL EXTRACTIONS TO BE EXHAUSTED TO OUTSIDE AIR IN ACCORDANCE WITH 10.8.2.

ROOF SPACE TO BE VENTILATED IN ACCORDANCE WITH 10.8.3

ROOF AND WALL CLADDING

SHEET ROOF
METAL SHEET ROOFING MUST BE PROTECTED FROM CORROSION IN ACCORDANCE P7.2 NCC.

THE MINIMUM PITCH FOR METAL SHEET ROOFING MUST COMPLY WITH P 7.2.3 NCC.
THE MAXIMUM SPAN FOR METAL SHEET ROOFING MUST COMPLY WITH P 7.2.4 NCC.
FIXING OF METAL SHEET ROOFING MUST COMPLY WITH P 7.2.5 NCC. INSTALLATION OF ROOF SHEETS MUST COMPLY WITH P 7.2.6 NCC.
FLASHINGS AND CAPPINGS FOR METAL ROOF SHEETS MUST COMPLY WITH P 7.2.7 NCC. WATER DISCHARGE MUST COMPLY WITH P7.2.8 NCC.
WHERE AN EAVES GUTTER IS PROVIDED IN ACCORDANCE WITH H2D6(1).

ROOF TILE AND SHINGLES

ROOF TILES AND HIP, RIDGE, BARGE AND CAPPING TILES MUST BE FIXED IN ACCORDANCE WITH P7.3.2 NCC.
FLASHING FOR ROOF TILES MUST COMPLY WITH P7.3.3 NCC. SARKING FOR ROOF TILES MUST COMPLY WITH P7.3.4 NCC.
ANTI-PONDING DEVICE/BOARD FOR ROOF TILES MUST COMPLY WITH P7.3.5 NCC.
WATER DISCHARGE MUST COMPLY WITH P7.3.6 NCC. WHERE AN EAVES GUTTER IS PROVIDED IN ACCORDANCE WITH H2D6(1).

GUTTER AND DOWNPIPES

MATERIALS FOR GUTTERS, DOWNPIPES AND FLASHINGS MUST BE MANUFACTURED IN ACCORDANCE WITH AS/NZS 2179.1 FOR METAL COMPONENTS; AND BE MANUFACTURED IN ACCORDANCE WITH AS 1273 FOR UPVC COMPONENTS; AND BE COMPATIBLE WITH ALL UPSTREAM ROOFING MATERIALS IN ACCORDANCE WITH 7.2.2(2) NCC ; AND NOT CONTAIN ANY LEAD IF USED ON A ROOF FORMING PART OF A DRINKING WATER CATCHMENT AREA.

GUTTERS' SIZE AND INSTALLATION MUST COMPLY WITH P 7.4.3, P 7.4.4 NCC. DOWNPIPES ' SIZE AND INSTALLATION MUST COMPLY WITH P 7.4.5, P 7.4.6 NCC.

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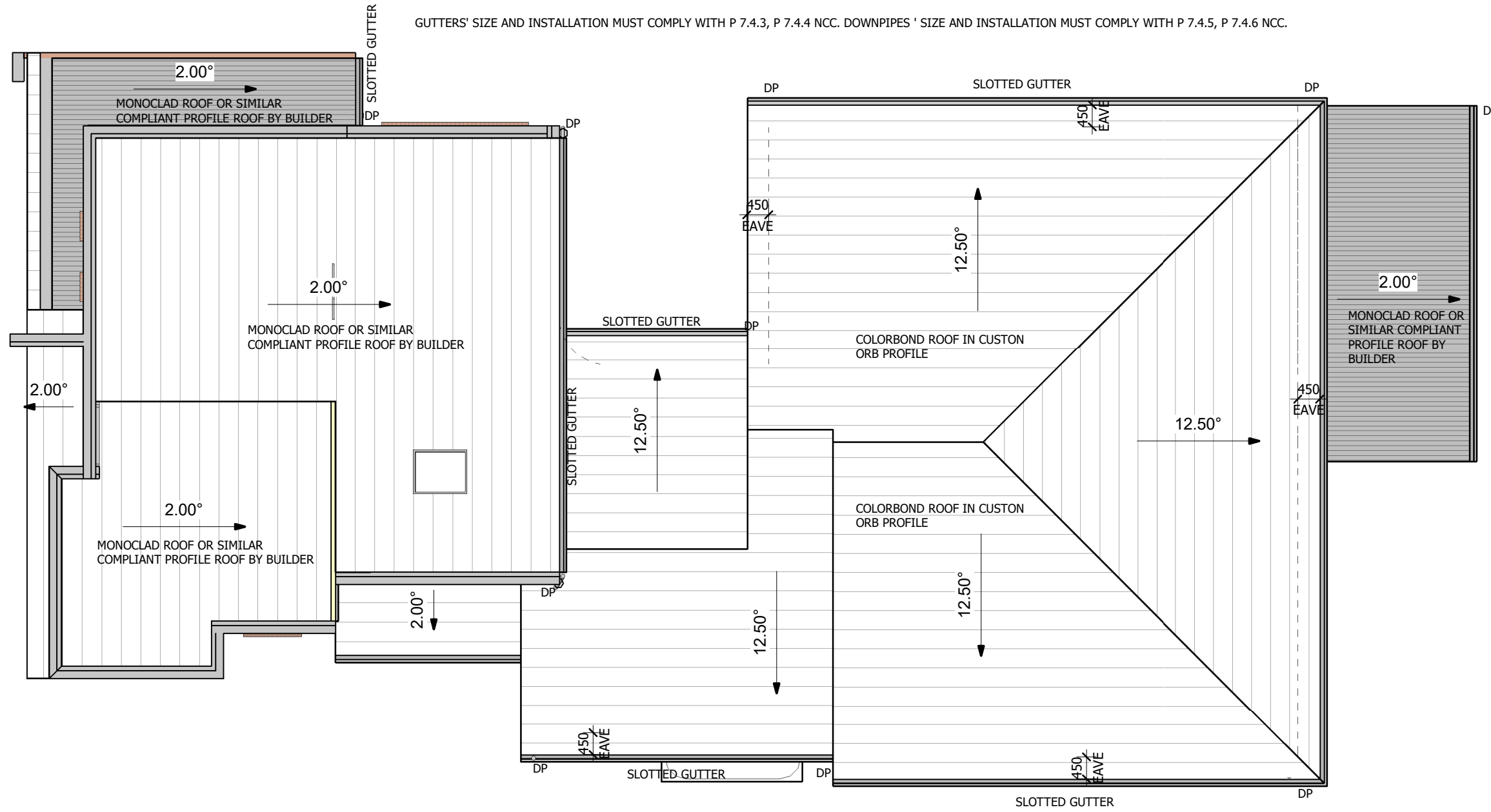
NOTES:

- NOTE:
1. FINAL LOCATION OF DOWNPIPES TO BE CONFIRMED BY BUILDER/ARCHITECT ON SITE AT TIME OF CONSTRUCTION.
 2. THESE DRAWINGS TO BE READ IN CONJUNCTION WITHS OTHER CONSULTANTS DRAWINGS. ANY DISCREPANCIES TO BE REFERRED TO THE ARCHITECT BEFORE PROCEEDING WITH WORK.
 3. ALL MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH AS/NZS 3500.3 STORMWATER DRAINAGE, NCC AND LOCAL COUNCIL POLICY/CONSENT/REQUIREMENTS.
 4. ALL DIMENSIONS AND LEVELS TO BE VERIFIED BY BUILDER ON SITE PRIOR TO COMMENCEMENT OF WORKS
 5. THIS DRAWING IS ARE NOT TO BE SCALED FOR DIMENSIONS NOR TO BE USED FOR SETOUT PURPOSES
 6. DIMENSIONS, DETAILS, EQUIPMENT SIZE AND LOCATION SHOWN ON THESE ROOF PLAN AND ROOF DETAILS ARE FOR INFORMATION AND REFERENCE ONLY. EXACT SIZE, LOCATION, TYPE OF MATERIAL AND TYPE OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE SUBCONTRACTOR TO CONFIRM AND GENERAL CONTRACTOR TO COORDINATE.
- ROOF DRAINAGE NOTE:
AS 3500 ROOF DRAINAGE REQUIRES EAVES GUTTERS TO BE SIZED FOR 20 YEAR 5 MIN DURATION RAINFALL INTENSITY. STORM CANBERRA = 143mm/hr.
FOR EAVES GUTTERS, AS 3500.3:2003 THEN HAS THE FOLLOWING REQUIREMENTS:
1.1.FOR HI-FRONT QUAD LYSAGHT SLOTTED GUTTER WITH $A_e = 5225\text{mm}^2$ AND GUTTER SLOPE 1:500 AND STEEPER, THIS REQUIRES ONE DOWNPIPE PER 35m^2 ROOF AREA.
1.2.DOWNPIPES TO BE MINIMUM 90mm DIA. OR 100 x 50mm FOR GUTTERS SLOPE 1:500 AND STEEPER. 1.3.OVERFLOW METHOD (SLOTTED GUTTER) TO FIGURE G1 OF AS 3500.3:2003. CONNECT ALL DOWNPIPES WITH 90MMØ UPVC STORM WATER DRAIN & CONNECT TO LEGAL POINT OF DISCHARGE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE PLUMBER AND / OR BUILDER TO COMPLY WITH THIS. THIS DRAWING SHOWS PRELIMINARY LOCATIONS / NUMBERS OF DOWNPIPES ONLY WHICH ARE TO BE VERIFIED BY BUILDER / PLUMBER ON SITE. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
ROOFING NOTE:
CONCRETE ROOF TILES TO BE IN ACCORDANCE WITH A.S. 1757 AND A.S. 1758 AND TO BE PRODUCED BY MANUFACTURERS WHO PROVIDE COMPREHENSIVE GUARANTEE AND FIX IN ACCORDANCE WITH A.S.1757.
TILES ARE TO HAVE AN END LAP OF NOT LESS THAN 75mm. WHERE WIRING HOLES ARE PROVIDED, EVERY ALTERNATE TILE IN EACH COURSE IS TO BE TIED TO BATTENS WITH APPROVED WIRE. WHERE HOLES ARE PROVIDED FOR NAILING, EVERY TILE IN EACH THIRD COURSE IS TO BE FIXED WITH GALVANIZED FLAT HEAD NAILS AT LEAST 19mm INTO TILE BATTEN. FIXING TO BE AS PER AS 2050

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NOTES:

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- * DO NOT SCALE - USE WRITTEN DIMENSIONS
- * ALL DIMENSIONS ARE TO STRUCTURAL FRAMES ONLY EXCLUDING FINISHED SURFACES



CLIENT:
HE LI

SITE ADDRESS:
**Block 21
Section: 26
Suburb: CURTIN**

DRAWING TITLE:
ROOF PLAN

DRAWN BY: SG	DATE DRAWN: 30.05.2025
COUNCIL AREA: Curtin ACT	SCALE: 1 : 100
JOB No: J008-2024	DRWG No: 003
	ISSUE: C

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VERGE MANAGEMENT NOTES

INSTALL 1800mm CHAIN MESH FENCE SUPPORTED BY 2400mm TALL STAR STEEL POSTS AROUND VERGES AND RETAINED VEGETATION.

FENCING TO BE ERECTED ON COMMENCEMENT OF SITE WORKS AND REMOVED AT COMPLETION OF CONSTRUCTION AND COMMENCEMENT OF VERGE RESTORATION. THE FENCE IS TO REMAIN CONTINUOUS THROUGHOUT PROJECT, EXCEPT WHERE APPROVED SERVICE INSTALLATION OCCURS.

ENSURE ADEQUATE WATER IS APPLIED TO THE ROOT ZONE OF RETAINED TREES THROUGHOUT THE CONSTRUCTION PERIOD.

ALL WORK IS TO BE IN ACCORDANCE WITH THE "CANBERRA LANDSCAPE GUIDELINES" & THE BASIC SPECIFICATIONS FOR ROADS HYDRAULICS AND LANDSCAPE, JULY 1991.

MAKE GOOD ANY DAMAGE TO EXISTING GRASS VERGES, RE-INSTATE AS PER BASIC SPECIFICATIONS.

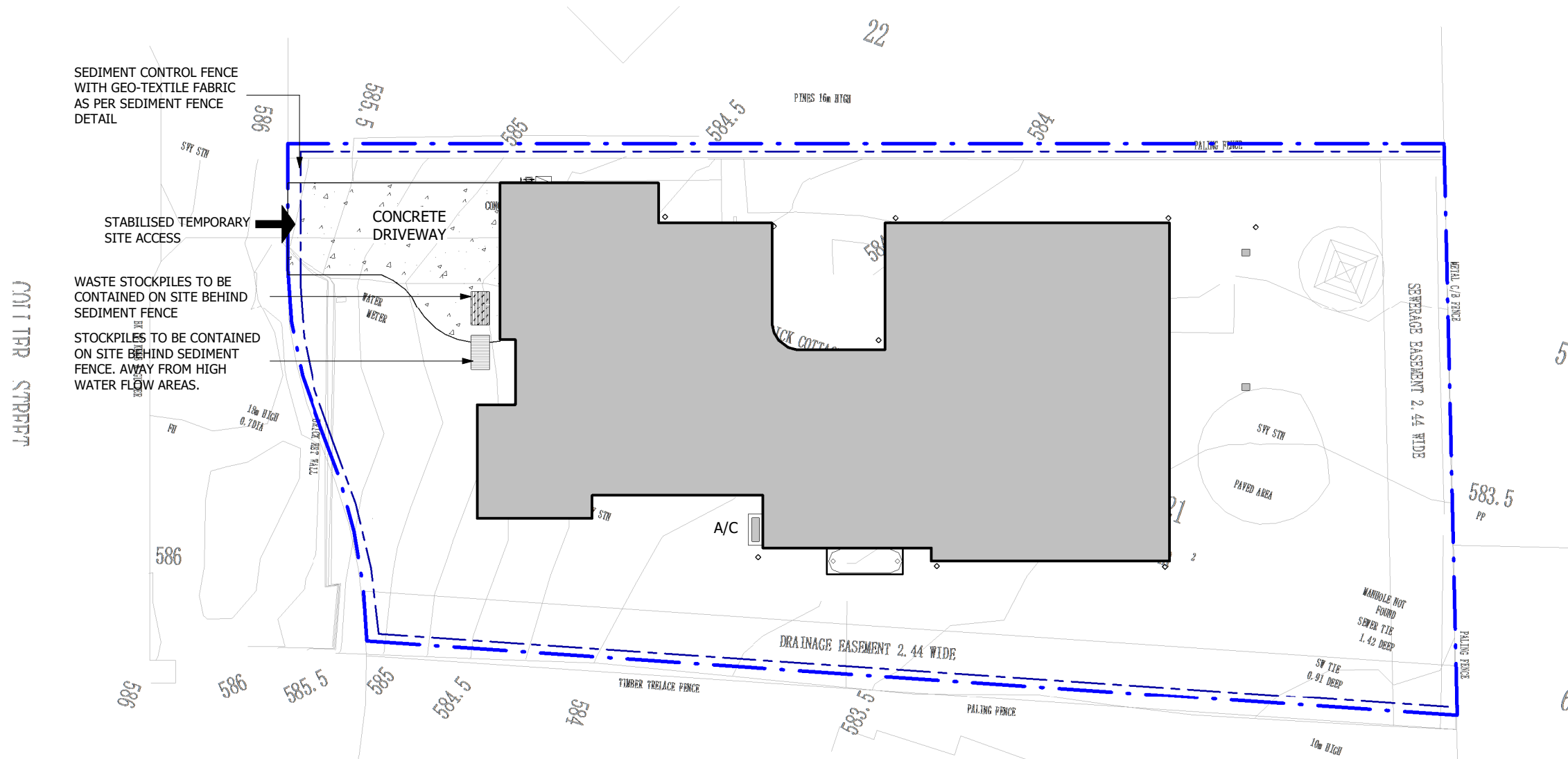
IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THAT ANY DISTURBANCES TO THE VERGE GROUND COVER, TREES, PATHS, KERBS, ROAD WAYS OR SERVICES OCCURRING FROM EITHER CONSTRUCTION WORKS OR STORAGE OF MACHINERY / MATERIALS DURING THE CONSTRUCTION WORKS ARE RECTIFIED TO THE SATISFACTION OF RELEVANT AUTHORITIES.

AT THE COMPLETION OF CONSTRUCTION, VERGES SHOULD STILL HAVE ESTABLISHED DRYLAND GRASS COVER. TOPSOIL IS NOT TO BE REMOVED AND LEVELS NOT TO BE CHANGED.

NO CARPARKING OR EQUIPMENT PARKING PERMITTED ON VERGES OR UNDER DRIPLINE OF RETAINED TREES.

NO SITE SHEDS, STORAGE SHEDS, SITE AMENITIES OR BILLBOARDS TO BE ERECTED ON VERGES OR UNDER DRIPLINE OF RETAINED TREES.

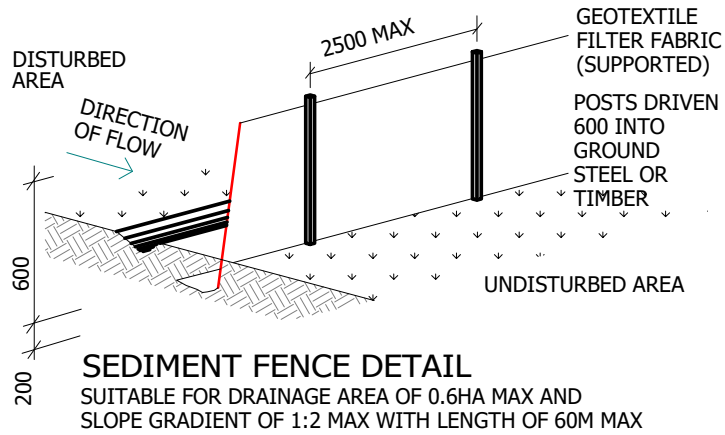
NO CONSTRUCTION MATERIAL TO BE STORED ON VERGES OR UNDER DRIPLINE OF RETAINED TREES.



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SEDIMENT CONTROL

INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATIONS INDICATED ON THIS DRAWING AND AS OTHERWISE REQUIRED TO CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHILST AREAS OF THE SITE ARE EXPOSED TO EROSION. REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING CONSTRUCTION.

IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION AND CONTROL OR BY COUNCIL REQUIREMENTS, REFER TO "URBAN EROSION AND SEDIMENT CONTROL" GUIDELINES PREPARED BY THE DEPARTMENT OF CONSERVATION AND LAND MANGEMENT.

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CLIENT:
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SITE ADDRESS:
Block 21
Section: 26
Suburb: CURTIN

DRAWING TITLE:
VERGE/ SEDIMENT CONTROL PLAN




DRAWN BY: SG	DATE DRAWN: 10.05.2025
COUNCIL AREA: Curtin ACT	SCALE: 1 : 200
JOB No: J008-2024	DRWG No: 004
	ISSUE: A

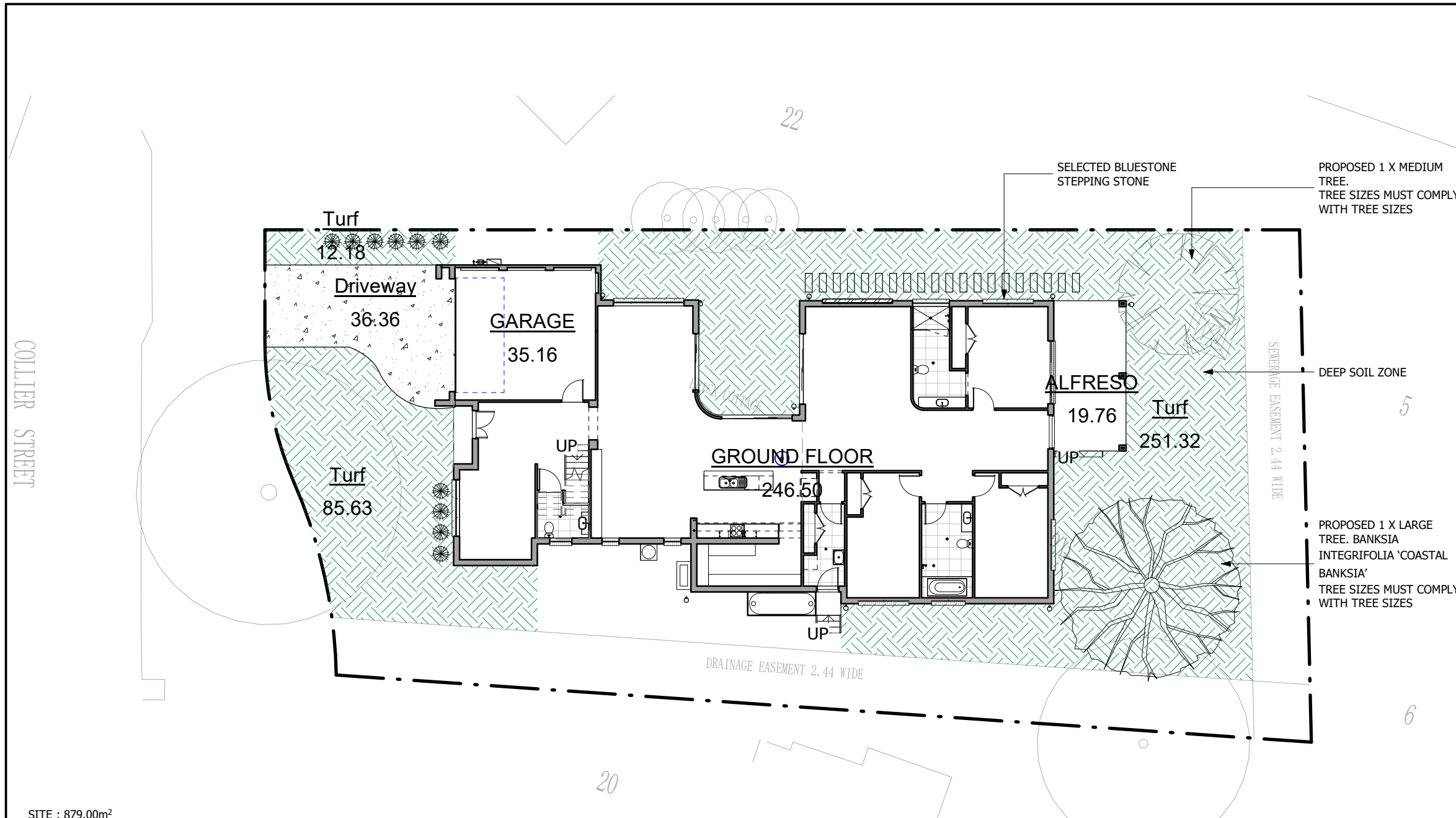
NOTE:

TREE PLANTING DEVELOPMENT PROVIDES A MINIMUM LEVEL OF TREE PLANTING IN DEEP SOIL ZONES ASSOCIATED WITH THE REQUIREMENTS IN TABLE A, CONSISTENT WITH THE FOLLOWING:

- A) FOR COMPACT BLOCKS, AT LEAST ONE SMALL TREE.
- B) FOR MID-SIZED BLOCKS, AT LEAST TWO SMALL TREES.
- C) FOR LARGE BLOCKS LESS THAN OR EQUAL TO 800M2, AT LEAST ONE SMALL TREE AND ONE MEDIUM TREE (OR EQUIVALENT EXISTING TREE/S -SEE TABLE B
- D) FOR LARGE BLOCKS MORE THAN 800M2, AT LEAST ONE MEDIUM TREE AND ONE LARGE TREE (OR EQUIVALENT EXISTING TREE/S -SEE TABLE B); AND ONE ADDITIONAL LARGE TREE OR TWO ADDITIONAL MEDIUM TREES FOR EACH ADDITIONAL 800M2 BLOCK AREA OR PART THERE OF (OR EQUIVALENT EXISTING TREE/S - SEE TABLE B) ALL NEW TREES PROPOSED ARE IN ACCORDANCE WITH UTILITIES REQUIREMENTS.

FOR EXISTING TREES ON THE SITE, TABLE B PROVIDES TREE SIZE EQUIVALENTS.

-  PLANTING AREA
-  EXPOSED AGGREGATE CONCRETE
-  SELECTED BLUESTONE STEPPING STONE



SITE : 879.00m²
 TOTAL GFA: 383.64m²
 SITE COVERAGE: 300.89m² (34.2%)
 PLANTING AREA: 348.90m² (39.7%)

Table A: Tree sizes and associated planting requirements

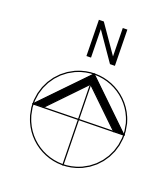
Tree size	Mature height	Minimum canopy diameter***	Minimum soil surface area dimension	Minimum pot size (litres)*	Minimum soil volume
Small Tree	5-8m	4m	3m	45**	18m ³
Medium Tree	8-12m	6m	5m	75**	42m ³
Large Tree	>12m	8m	7m	75**	85m ³

Table B: Tree sizes – equivalents for existing trees

Tree size	Tree sizes - Equivalent
Small Tree	An existing tree of a larger size category can also substitute for a planting requirement for a smaller tree
Medium Tree	2 small existing trees or 1 large existing tree
Large Tree	4 existing small trees or 2 existing medium trees or 1 existing medium tree plus 2 existing small trees

Area Schedule (Driveway/Turf)	
Name	Area
ALFRESO	19.76 m ²
Driveway	36.36 m ²
FIRST FLOOR	71.33 m ²
GARAGE	35.16 m ²
GROUND FLOOR	246.50 m ²
Turf	251.32 m ²
Turf	85.63 m ²
Turf	12.18 m ²

NOTES:
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 SITE ADDRESS:
 Block 21
 Section: 26
 Suburb: CURTIN

DRAWING TITLE:
SITE COVERAGE & LANDSCAPING

DRAWN BY: SG	DATE DRAWN: 30.05.2025
COUNCIL AREA: Curtin ACT	SCALE: 1 : 200
JOB No: J008-2024	DRWG No: 005
	ISSUE: B

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NOTE

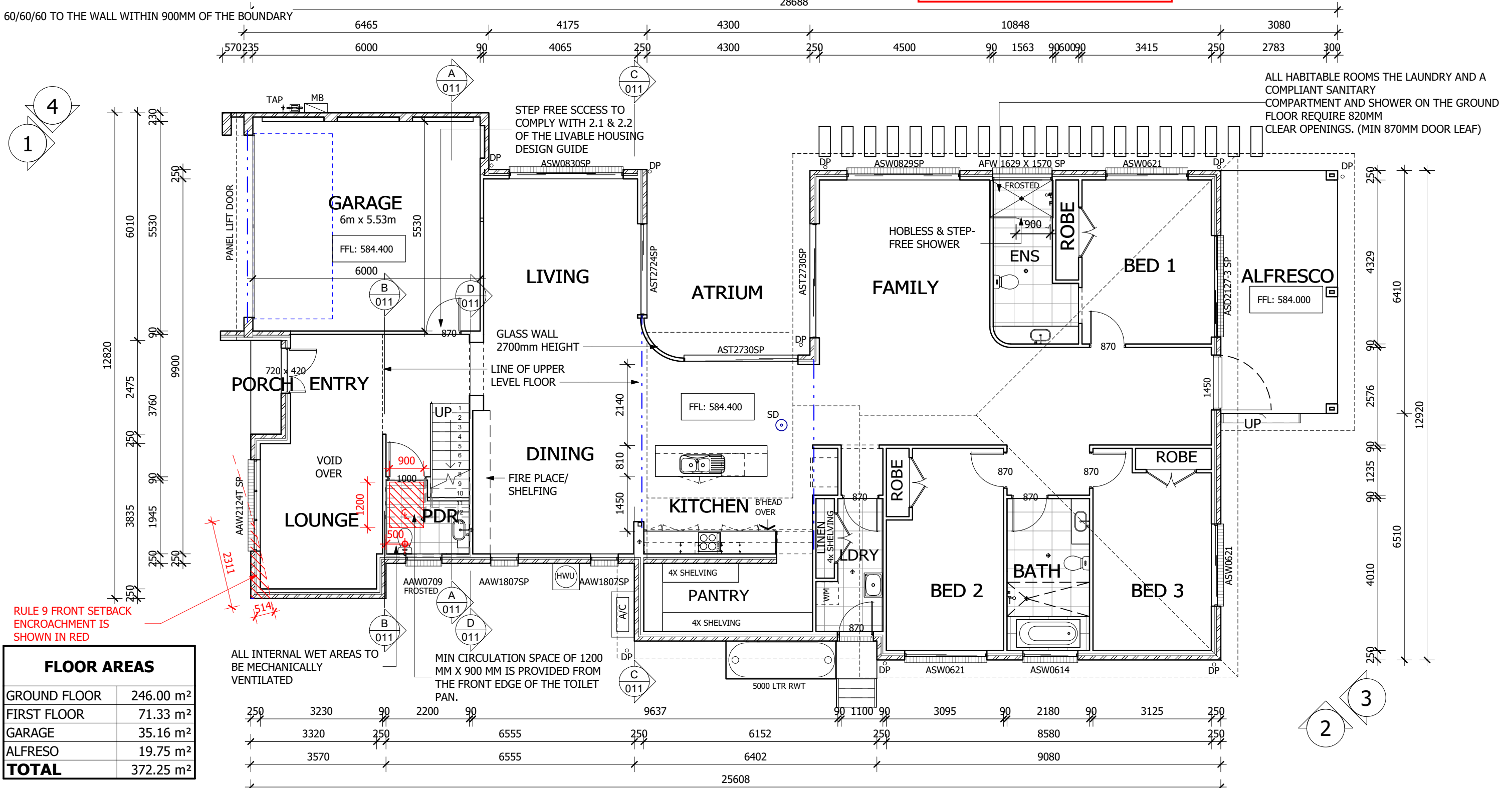
- SMOKE ALARM TO COMPLY WITH NCC PART 9.5 NCC AND AS 3786. & LOCATION TBC BY ELECTRICIAN
- CONDENSATION MANAGEMENT TO COMPLY WITH PART 10.8 OF THE BCA.
- MECHANICAL EXTRACTIONS TO BE EXHAUSTED TO OUTSIDE AIR IN ACCORDANCE WITH 10.8.2.
- ROOF SPACE TO BE VENTILATED IN ACCORDANCE WITH 10.8.3
- 60/60/60 TO THE WALL WITHIN 900MM OF THE BOUNDARY

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FLOOR AREAS	
GROUND FLOOR	246.00 m ²
FIRST FLOOR	71.33 m ²
GARAGE	35.16 m ²
ALFRESO	19.75 m ²
TOTAL	372.25 m²

ALL INTERNAL WET AREAS TO BE MECHANICALLY VENTILATED

MIN CIRCULATION SPACE OF 1200 MM X 900 MM IS PROVIDED FROM THE FRONT EDGE OF THE TOILET PAN.

<p>NOTES:</p> <p>PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS</p> <ul style="list-style-type: none"> * ALL DIMENSIONS ARE IN MILLIMETRES * DO NOT SCALE - USE WRITTEN DIMENSIONS * ALL DIMENSIONS ARE TO STRUCTURAL FRAMES ONLY EXCLUDING FINISHED SURFACES 		<p>CLIENT: HE LI</p> <p>SITE ADDRESS: Block 21 Section: 26 Suburb: CURTIN</p> <p style="text-align: right;">Page 51 of 82</p>	<p>DRAWING TITLE: GROUND FLOOR PLAN</p> <p>DRAWN BY: SG</p> <p>COUNCIL AREA: Curtin ACT</p> <p>JOB No: J008-2024</p>	<p>DATE DRAWN: 13.07.2025</p> <p>SCALE: 1 : 100</p> <p>DRWG No: 006</p> <p>ISSUE: D</p>
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NOTE

SMOKE ALARM TO COMPLY WITH NCC PART 9.5 NCC AND AS 3786. & LOCATION TBC BY ELECTRICIAN

CONDENSATION MANAGEMENT TO COMPLY WITH PART 10.8 OF THE BCA.

MECHANICAL EXTRACTATIONS TO BE EXHAUSTED TO OUTSIDE AIR IN ACCORDANCE WITH 10.8.2.

ROOF SPACE TO BE VENTILATED IN ACCORDANCE WITH 10.8.3

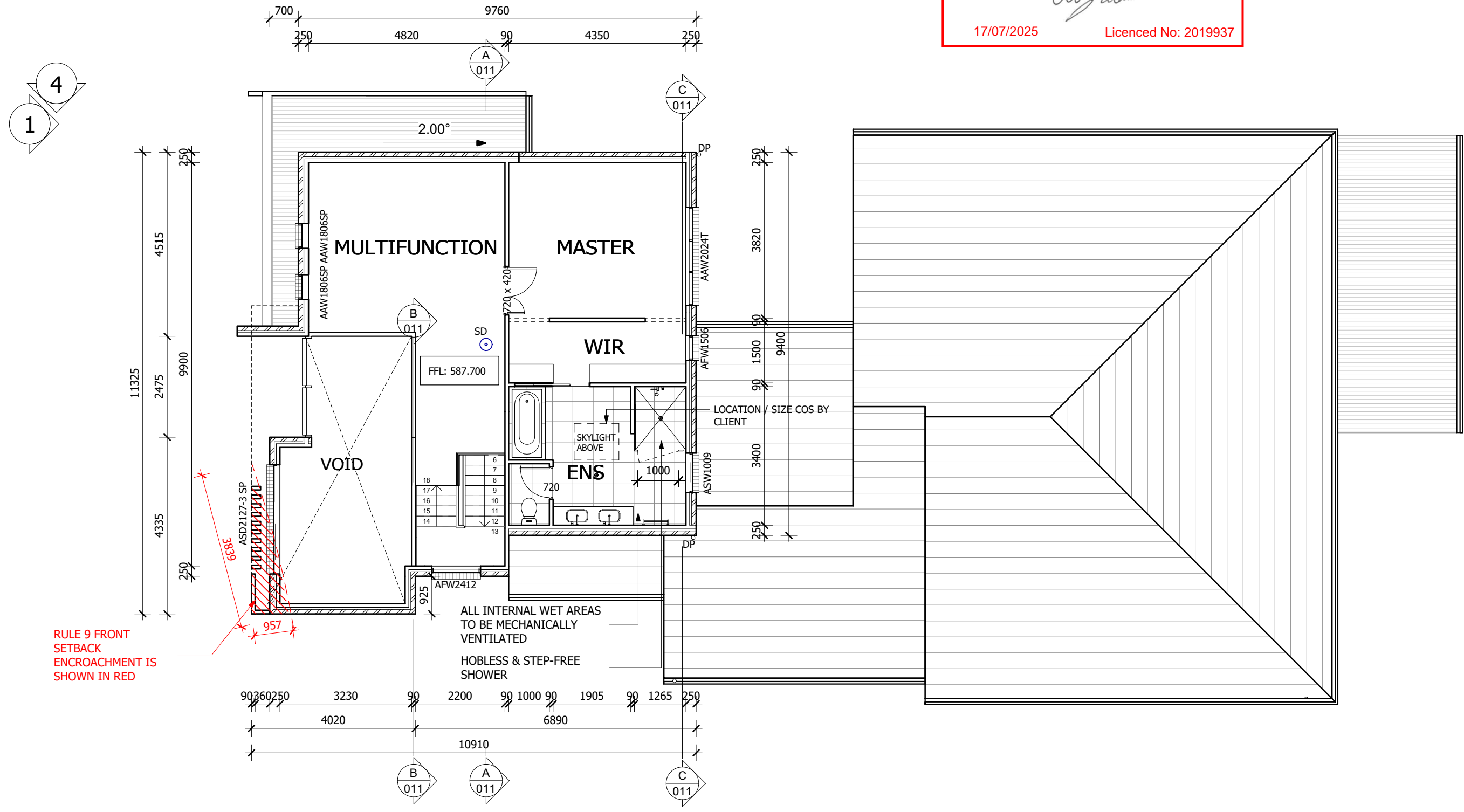
60/60/60 TO THE WALL WITHIN 900MM OF THE BOUNDARY


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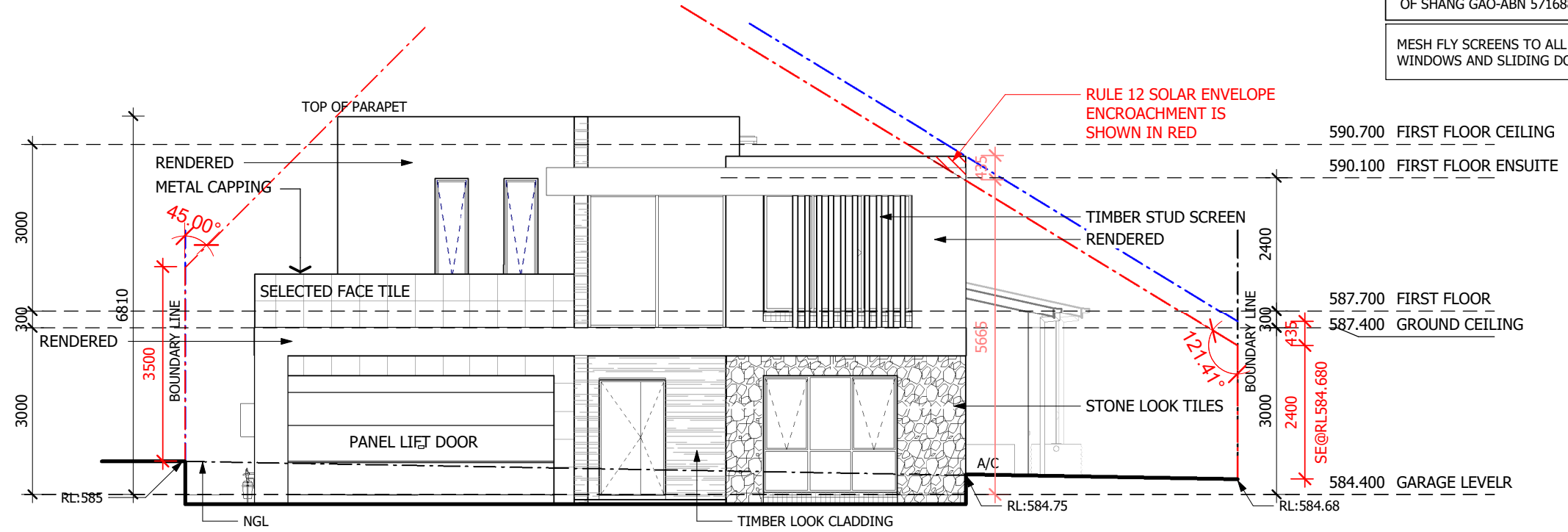
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MESH FLY SCREENS TO ALL OPENING WINDOWS AND SLIDING DOORS

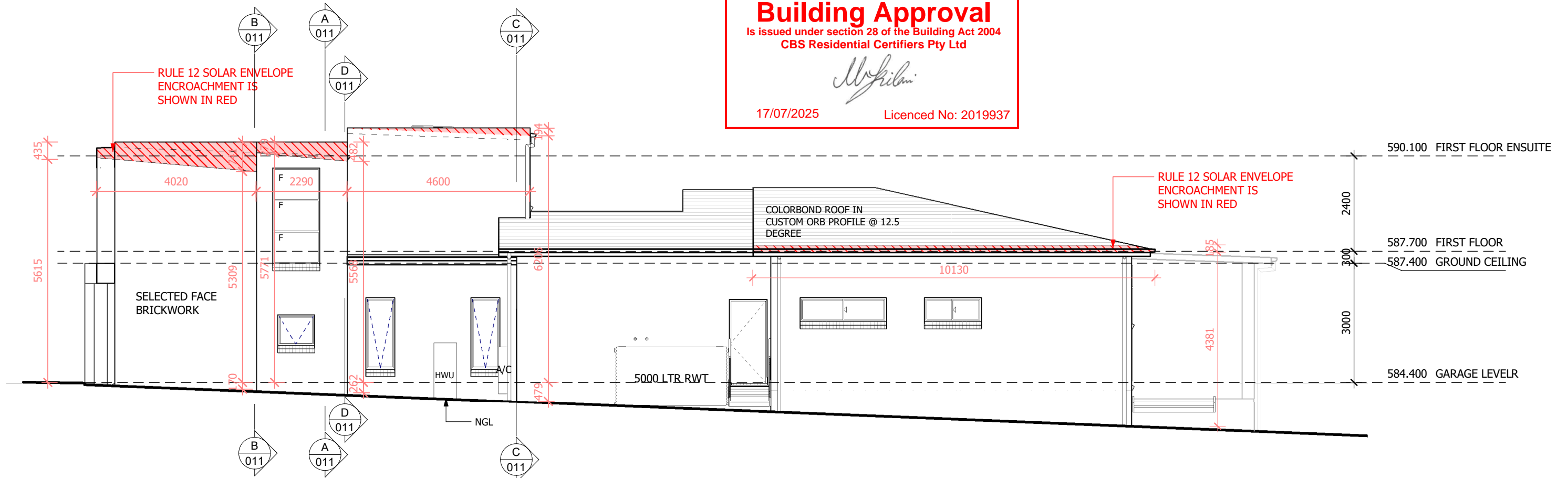


ELEVATION 1

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ELEVATION 2

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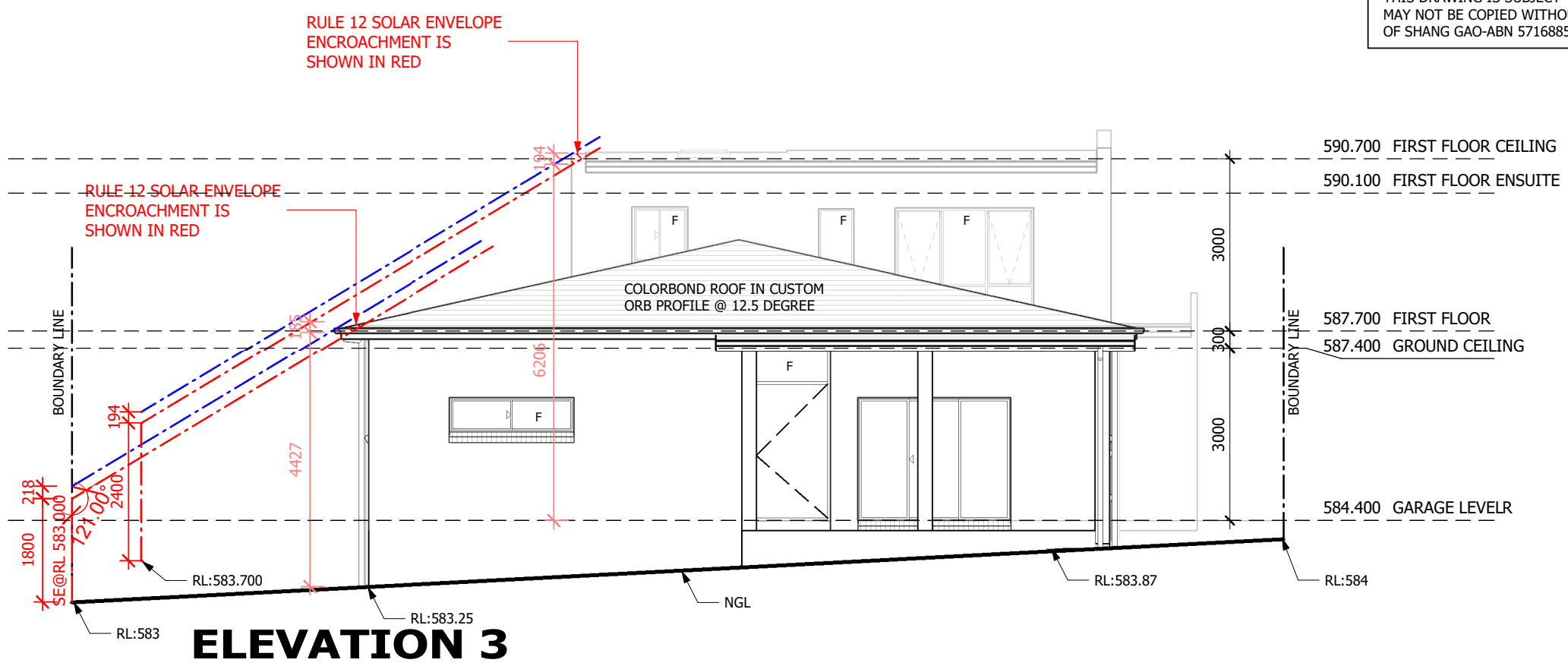
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 Block 21
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 Suburb: CURTIN

DRAWING TITLE:
ELEVATIONS 1-2

DRAWN BY: SG	DATE DRAWN: 05.06.2025
COUNCIL AREA: Curtin ACT	SCALE: 1 : 100
JOB No: J008-2024	DRWG No: 008
	ISSUE: D

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ELEVATION 4

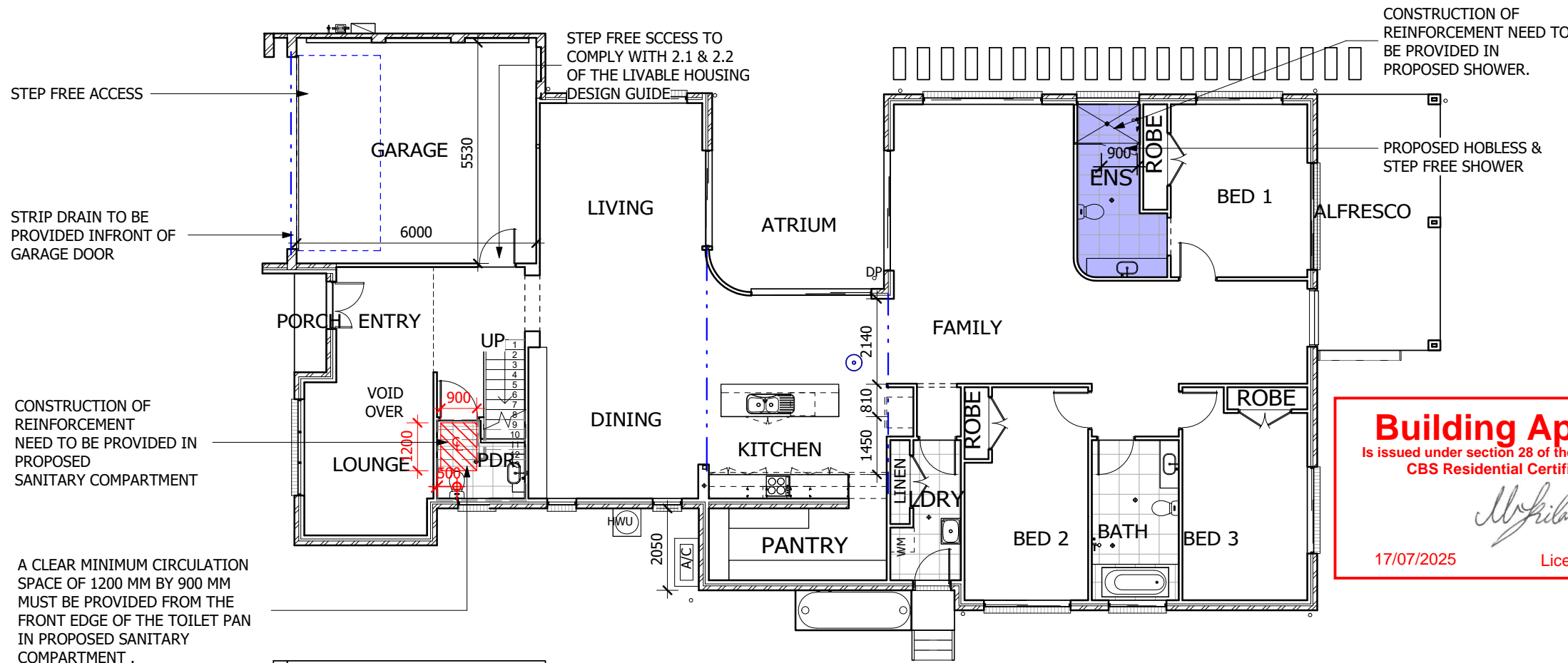
NOTES:
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DRAWING TITLE:
ELEVATIONS 3-4

DRAWN BY: SG	DATE DRAWN: 13.07.2025
COUNCIL AREA: Curtin ACT	SCALE: 1 : 100
JOB No: J008-2024	DRWG No: 009
	ISSUE: D

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NOTES
 CONDENSATION MANAGEMENT TO COMPLY WITH PART 10.8 PF THE BCA

STEP-FREE ACCESS PATH TO AND WITHIN THE RESIDENCE IS PROVIDED FROM GARAGE TO THE MAIN RESIDENCE.

WITHIN THE ACT ADDITIONS, ALTERATIONS OR NEW DWELLINGS MUST COMPLY WITH THE ABCB STANDARD FOR LIVABLE HOUSING DESIGN STANDARD

- A STEP FREE ACCESS PATH IS PROVIDED TO AND WITHIN THE RESIDENCE FROM THE BOUNDARY TO A MAIN PEDESTRIAN ENTRY OR FROM AN ASSOCIATED GARAGE/CARPARKING SPACE INTO THE RESIDENCE.

-PARKING SPACE INCORPORATED INTO STEPFREE ACCESS PATH MUST MEET MINIMUM DIMENSIONS (3.2M X 5.4M) AND HAVE A GRADIENT NO MORE THAN 1:33 FOR BITUMEN OR 1:40 FOR OTHER MATERIALS.

-CLEAR OPENING WIDTHS FOR DOORWAYS IS PROVIDED TO 820MM CLEAR FROM ANY OBSTRUCTIONS.

-THRESHOLDS TO DOORWAYS MUST BE LEVEL OR HAVE A MAXIMUM SILL HEIGHT OR RAMPING AS PERMITTED.

-LANDING AREA IS PROVIDED TO A MINIMUM OF 1200X1200MM CLEARANCE TO EXTERNAL ENTRANCE DOORWAY.

- WEATHERPROOFING FOR EXTERNAL STEPFREE ENTRANCES MUST BE PROVIDED WITH A CHANNEL DRAIN, A RAISED SURFACE OR A ROOF COVERING NO SMALLER THAN 1200X1200MM.

-CORRIDOR WIDTHS CONNECTING ACCESSIBLE AREAS TO THE ENTRANCE LEVEL HAVE AT LEAST 1.0M CLEAR.

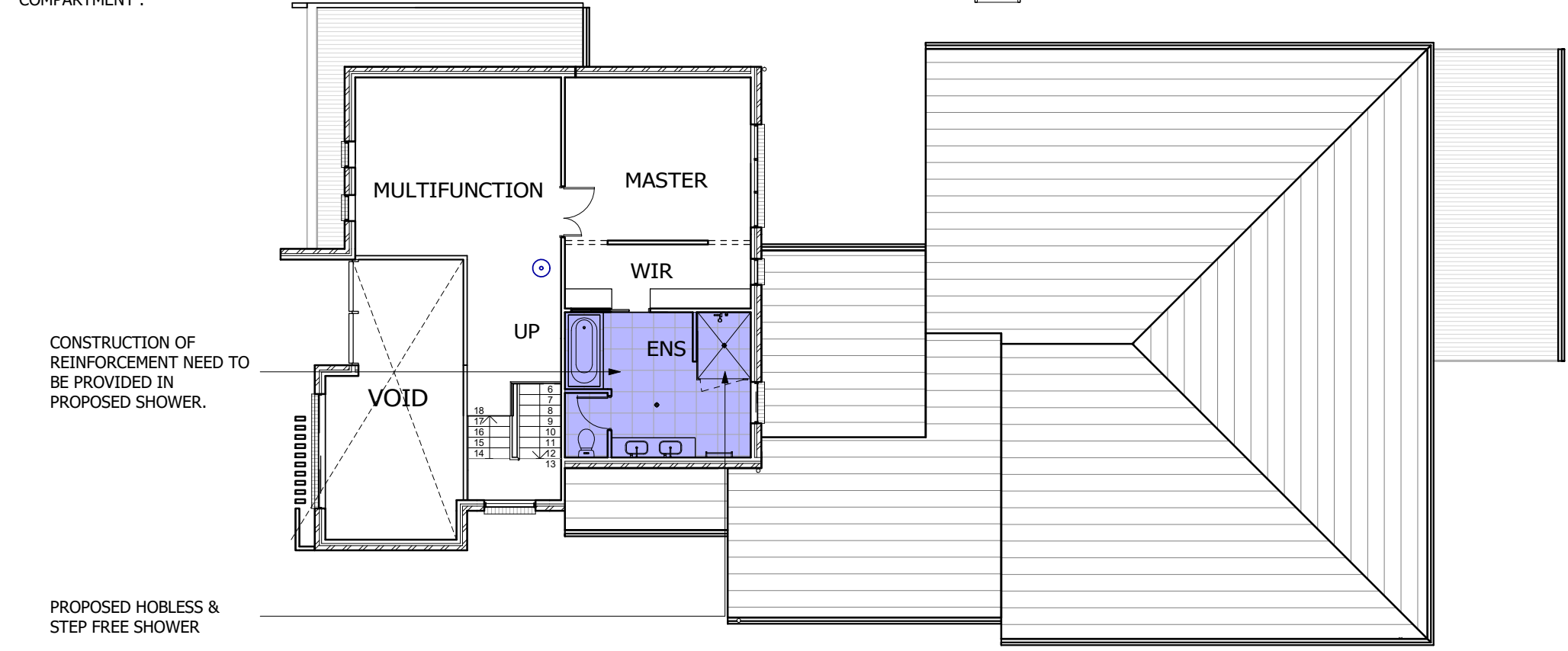
- AT LEAST ONE SANITARY COMPARTMENT INCLUDING A WC IS PROVIDED TO THE GROUND OR ENTRY LEVEL OF A DWELLING.

- CIRCULATION SPACE IS NOTED ON PLANS FOR A CLEAR SPACE OF 900MMX1200MM IN FRONT OF A WC AND A PAN IS PROVIDED 450MM CLEARANCE FROM CENTRE LINE.

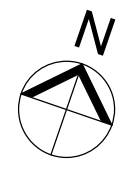
-AT LEAST ONE SHOWER IS PROVIDED WITH A HOBLESS AND STEP-FREE ENTRY.

-REINFORCEMENT AND BLOCKING IS TO BE PROVIDED TO ANY SANITARY COMPARTMENT OR BATHROOM.

-FOR ALTERATIONS TO EXISTING BUILDINGS THE PROPOSAL COMPLIES WITH ACT PART H8 LIVABLE HOUSING DESIGN BUILDING (ACT APPENDIX TO THE BUILDING CODE) DETERMINATION



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DRAWING TITLE:
LIVABLE HOUSING PLANS

DRAWN BY: SG	DATE DRAWN: 13.07.2025
COUNCIL AREA: Curtin ACT	SCALE: 1 : 135
JOB No: J008-2024	DRWG No: 010
	ISSUE: D

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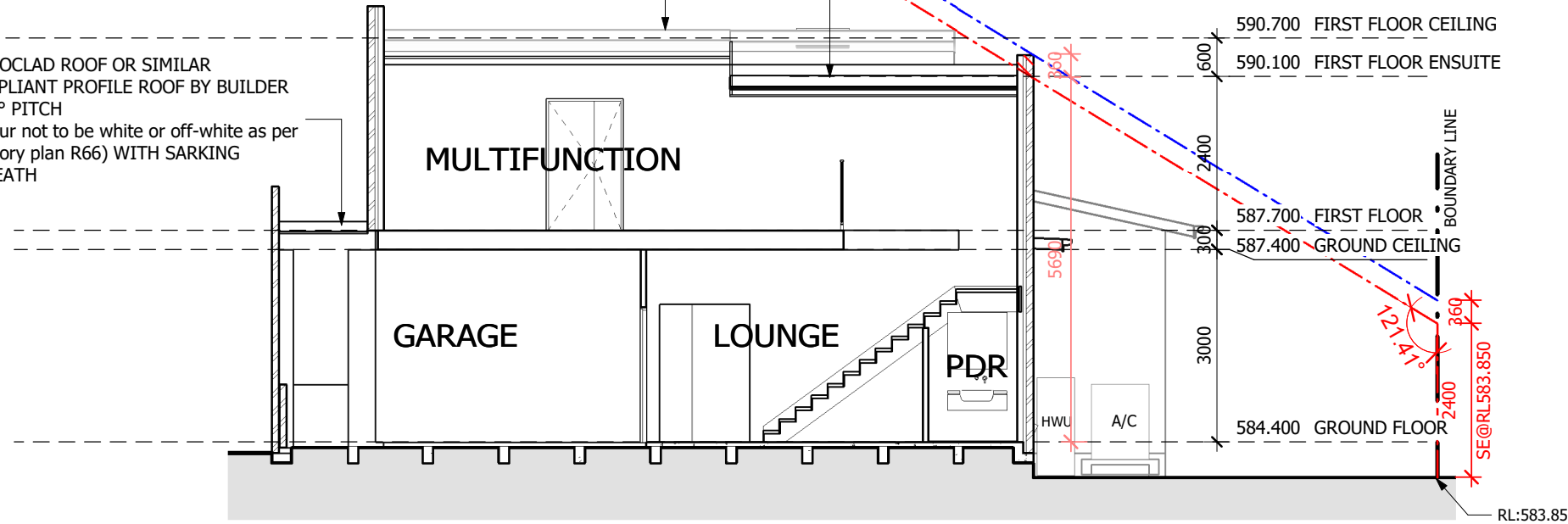
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PROVIDE 5000ltr WATER TANK - 50% OR 125m² OF ROOF PLAN AREA, WHICHEVER IS THE LESSER, IS CONNECTED TO THE TANK IS CONNECTED TO AT LEAST A TOILET, LAUNDRY COLD WATER & EXTERNAL TAPS THAT ARE ATTACHED TO THE HOUSE. THE CONNECTION WILL REQUIRE A PUMP WHERE IT CANNOT BE ELVATED SUFFICIENTLY TO GIVE ADEQUATE PRESSURE

INSULATION NOTE:
 * R3.5 BULK INSULATION BATTS TO LIVING AREA CEILINGS
 * SARKING & R2.0 INSULATION TO EXTERNAL WALLS

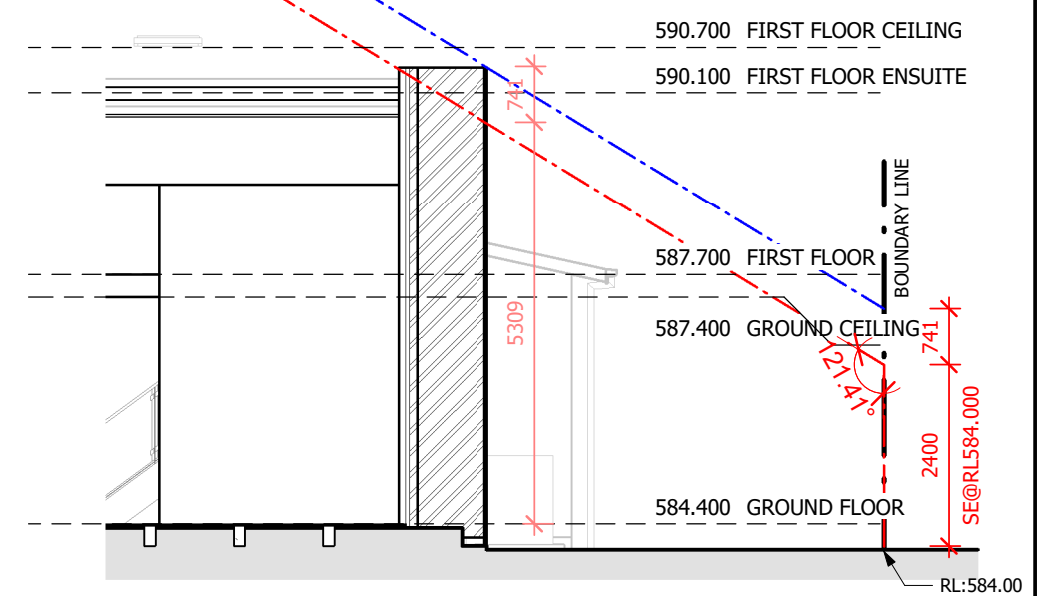
MONOCLAD ROOF OR SIMILAR COMPLIANT PROFILE ROOF BY BUILDER @ 2° PITCH (colour not to be white or off-white as per territory plan R66) WITH SARKING BENEATH

MONOCLAD ROOF OR SIMILAR COMPLIANT PROFILE ROOF BY BUILDER @ 2° PITCH (colour not to be white or off-white as per territory plan R66) WITH SARKING BENEATH



SECTION A-A

SCALE: 1 : 100

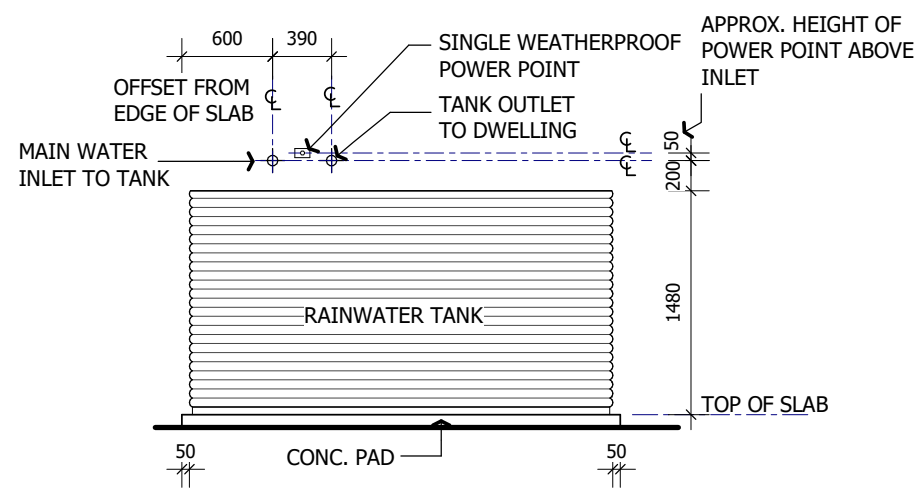


SECTION B-B

SCALE: 1 : 100

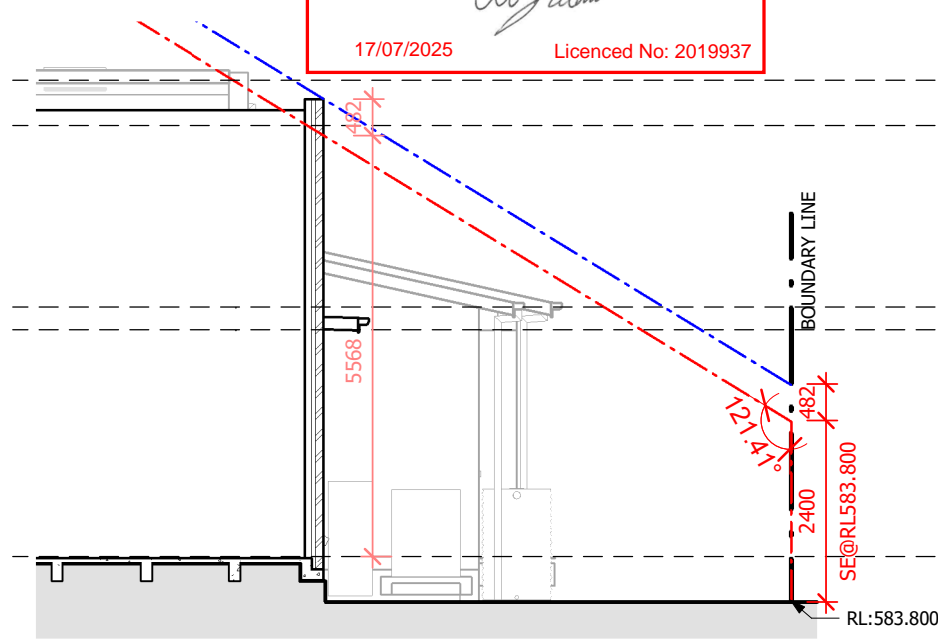
Building Approval
 Is issued under section 28 of the Building Act 2004
 CBS Residential Certifiers Pty Ltd

 17/07/2025 Licenced No: 2019937



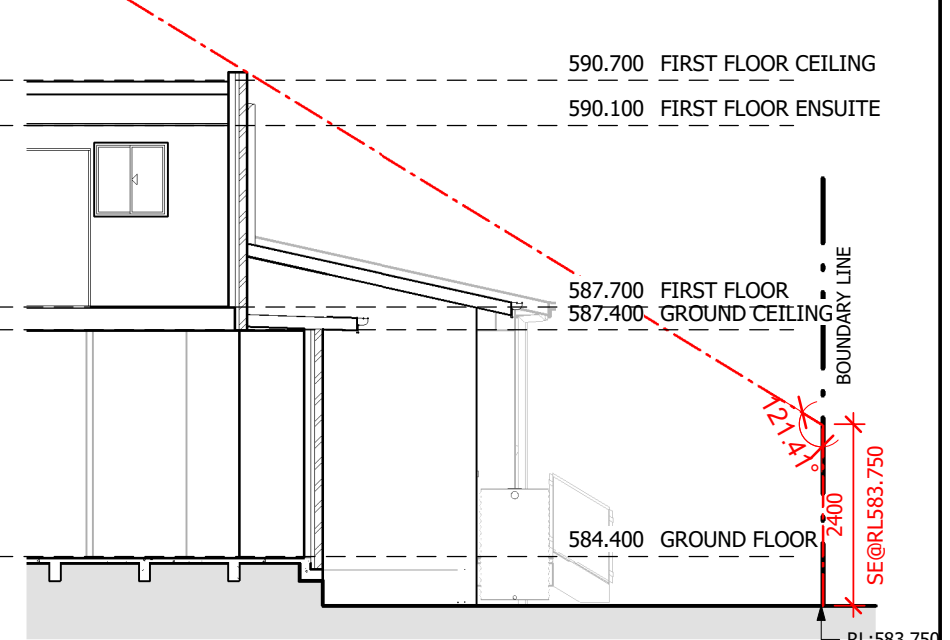
RAINWATER TANK DETAIL

SCALE: 1 : 50



SECTION D-D

SCALE: 1 : 100



SECTION C-C

SCALE: 1 : 100

NOTES:
 PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS
 * ALL DIMENSIONS ARE IN MILLIMETRES
 * DO NOT SCALE - USE WRITTEN DIMENSIONS
 * ALL DIMENSIONS ARE TO STRUCTURAL FRAMES ONLY EXCLUDING FINISHED SURFACES

CLIENT:
 HE LI
 SITE ADDRESS:
 Block 21
 Section: 26
 Suburb: CURTIN

DRAWING TITLE:
SECTIONS

DRAWN BY: SG	DATE DRAWN: 05.06.2025
COUNCIL AREA: Curtin ACT	SCALE: As indicated
JOB No: J008-2024	DRWG No: 011
	ISSUE: C

G:\Sasha\Works\Canberra Curtin\21-26 Curtin- Issue A 2ND.rvt

SHOWER AREAS ENCLOSED AND UNENCLOSED (INCLUDING SHOWER OVER BATH) MUST CONSIDER THE FOLLOWING:

- FLOOR OF THE SHOWER AREA MUST BE WATERPROOF - INCLUDING ANY HOB OR STEPDOWN.
 - WALLS TO BE WATER RESISTANT TO NOT LESS THAN 1800 MM ABOVE FINISHED FLOOR LEVEL AND WATERPROOF > NOT LESS THAN 150 MM ABOVE FLOOR SUBSTRATE; OR > NOT LESS THAN 25 MM ABOVE MAXIMUM RETAINED WATER LEVEL; AND
 - WALL JUNCTIONS AND JOINTS TO BE WATERPROOF NOT LESS THAN 40 MM EITHER SIDE OF THE JUNCTION.
 - WALL/FLOOR JUNCTIONS TO BE WATERPROOF.
 - PENETRATIONS TO BE WATERPROOF - PROTECTION CAPS MUST BE REMOVED PRIOR TO WATERPROOFING
- OUTSIDE SHOWER AREAS
- FLOOR CONCRETE AND COMPRESSED FIBRE-CEMENT SHEET FLOORING MUST BE WATER RESISTANT.
 - TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER-BASED FLOORING MATERIALS MUST BE WATERPROOF.
 - WALL/FLOOR JUNCTIONS MUST BE WATERPROOF.
 - BATHROOM ENTRY TO BE WATERPROOF MIN 25MM ABOVE FINISHED FLOOR SURFACE.
 - THE DOORWAY WATERSTOP REQUIRES THE BASE TO BE SEALED TO FLOOR AND UPSTAND FLUSH WITH FINISHED FLOOR SURFACE
- AREAS ADJACENT TO BATHS AND SPAS (VESSEL)
- FLOOR CONCRETE, COMPRESSED FIBRE-CEMENT AND FIBRE-CEMENT SHEET - MUST BE WATER RESISTANT.
 - TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER-BASED FLOORING MATERIALS - MUST BE WATERPROOF.
 - WALLS WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 150 MM ABOVE THE VESSEL, FOR THE EXTENT OF THE VESSEL, WHERE THE VESSEL IS WITHIN 75 MM OF A WALL. ALL EXPOSED SURFACES BELOW VESSEL LIP - MUST BE WATER RESISTANT.
 - WALL JUNCTIONS AND JOINTS TO BE WATER RESISTANT WHEN LOCATED WITHIN 150 MM ABOVE A VESSEL FOR THE EXTENT OF THE VESSEL.
 - WALL/FLOOR JUNCTIONS TO BE WATER RESISTANT FOR THE EXTENT OF THE VESSEL.
 - PENETRATIONS TAP AND SPOUT PENETRATIONS TO BE WATERPROOF WHERE THEY OCCUR IN HORIZONTAL SURFACES. PROTECTION CAPS MUST BE REMOVED PRIOR TO WATERPROOFING
 - FLOOR WATERPROOF SHELF AREA, INCORPORATING WATERSTOP UNDER THE BATH LIP.
 - WALL TO BE WATERPROOF TO NOT LESS THAN 150 MM ABOVE THE LIP OF THE BATH OR SPA; AND
 - NO REQUIREMENT UNDER BATH.
 - WALL JUNCTIONS AND JOINTS WITHIN 150 MM ABOVE BATH OR SPA; AND NO REQUIREMENT UNDER BATH.
 - PENETRATIONS TAP AND SPOUT PENETRATIONS TO BE WATERPROOF WHERE THEY OCCUR IN HORIZONTAL SURFACES. PROTECTION CAPS MUST BE REMOVED PRIOR TO WATERPROOFING
 - FLOOR REQUIRED TO BE WATER RESISTANT.
 - WALL/FLOOR JUNCTIONS REQUIRED TO BE WATER RESISTANT.
- WALLS ADJOINING SINK, BASIN OR LAUNDRY TUB (VESSEL)
- WALLS TO BE WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 150 MM ABOVE THE VESSEL, FOR THE EXTENT OF THE VESSEL, WHERE THE VESSEL IS WITHIN 75 MM OF A WALL.
 - WALL JUNCTIONS WATERPROOF WHERE A VESSEL IS FIXED TO A WALL.
 - PENETRATIONS WATERPROOF WHERE THEY OCCUR IN SURFACES REQUIRED TO BE WATERPROOF OR WATER RESISTANT.

MATERIALS — WATERPROOF THE FOLLOWING MATERIALS USED IN WATERPROOFING SYSTEMS ARE DEEMED TO BE WATERPROOF:

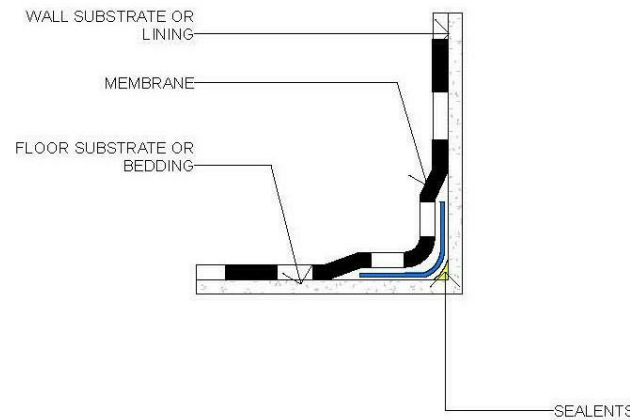
- STAINLESS STEEL.
 - FLEXIBLE WATERPROOF SHEET FLOORING MATERIAL WITH WATERPROOF JOINTS.
 - MEMBRANES COMPLYING WITH AS/NZS 4858.
 - WATERPROOF SEALANT.
- MATERIALS — WATER RESISTANT SUBSTRATES THE FOLLOWING MATERIALS ARE DEEMED TO BE WATER RESISTANT:
- FOR WALLS:**
- CONCRETE COMPLYING WITH AS 3600, TREATED TO RESIST MOISTURE MOVEMENT.
 - CEMENT RENDER, TREATED TO RESIST MOISTURE MOVEMENT.
 - COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS/NZS 2908.2.
 - WATER RESISTANT PLASTERBOARD SHEETING.
 - MASONRY IN ACCORDANCE WITH AS 3700, TREATED TO RESIST MOISTURE MOVEMENT.

FOR FLOORS:

- CONCRETE COMPLYING WITH AS 3600.
 - CONCRETE SLABS COMPLYING WITH AS 2870.
 - COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS/NZS 2908.2 AND SUPPORTED ON A STRUCTURAL FLOOR.
- MATERIALS — WATER RESISTANT SURFACE MATERIALS THE FOLLOWING SURFACE MATERIALS ARE DEEMED TO BE WATER RESISTANT:
- FOR WALLS:**
- THERMOSETTING LAMINATE.
 - PRE-DECORATED COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS 2908.2.
 - TILES WHEN USED IN CONJUNCTION WITH A COMPLIANT SUBSTRATE SYSTEMS.
 - WATER RESISTANT FLEXIBLE SHEET WALL MATERIAL WITH SEALED JOINTS WHEN USED IN CONJUNCTION WITH A COMPLIANT SUBSTRATE SYSTEM.
 - SANITARY GRADE ACRYLIC LININGS.
- RECOMMENDATIONS IT IS RECOMMENDED BUILDING CERTIFIERS ENSURE ADEQUATE DOCUMENTATION IS SUBMITTED WITH THE BUILDING APPROVAL AS REQUIRED UNDER BUILDING ACT 2004 SECTION 28A & SECTION 151 - MINIMUM DOCUMENTATION REQUIREMENTS FOR BUILDING LODGEMENT CLASS 1 & 10 - RESIDENTIAL CONSTRUCTION. BUILDERS SHOULD SUPERVISE AND INSPECT WATERPROOFING TO ENSURE COMPLIANCE PRIOR TO PROCEEDING TO TILING AND FITOUT. ENFORCEMENT ACTION WHERE IDENTIFIED, INSUFFICIENT OR INCORRECT WATERPROOFING OF WET AREAS AND LACK OF DOCUMENTATION MAY RESULT IN THE ISSUANCE OF A STOP WORK NOTICE IN ACCORDANCE WITH SECTION 53 OF THE BUILDING ACT 2004, AND FORMAL LICENCING ACTION INCLUDING ISSUING OF DEMERIT POINTS IN ACCORDANCE WITH SECTION 55 OF THE CONSTRUCTION OCCUPATIONS (LICENSING) ACT 2004

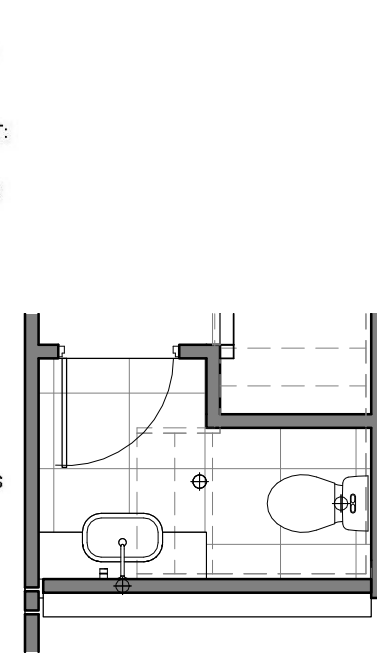
INSTALLATION:

INSTALLATION OF THE WATERPROOFING TO THE INTERNAL WET AREAS AND EXTERNAL AREAS TO BE CARRIED OUT IN ACCORDANCE WITH AUSTRALIAN STANDARD 3740-2021 AND THE BUILDING CODE OF AUSTRALIA VOLUME 2, CLAUSE H4D2 THE PRODUCT USED COMPLIES WITH AS/NZS 4654.1:2012; THE INSTALLATION IS IN ACCORDANCE WITH AS/NZS 4654.2:2012. WATER PROOF PRODUCT OR COMPOUND USED : FILLET AND BOND BREAKER USED : NUMBER OF COATS APPLIED :



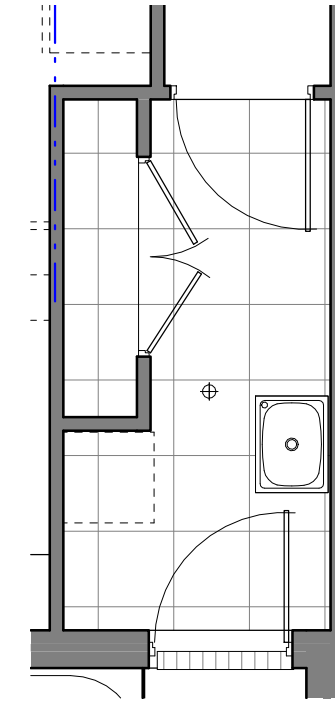
TYPICAL BOND BREAKER CLASS II

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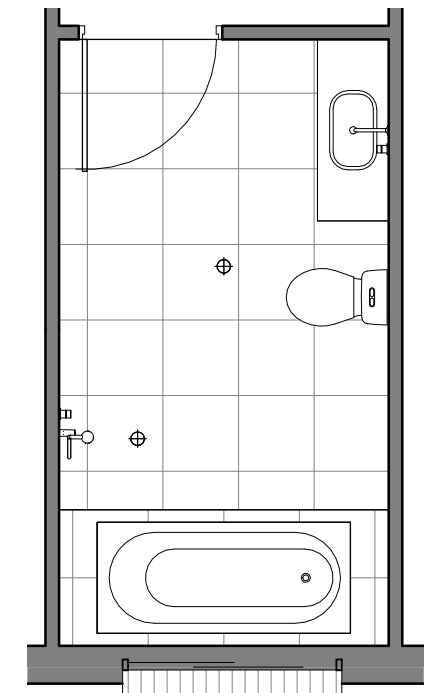
POWDER

SCALE: 1 : 50



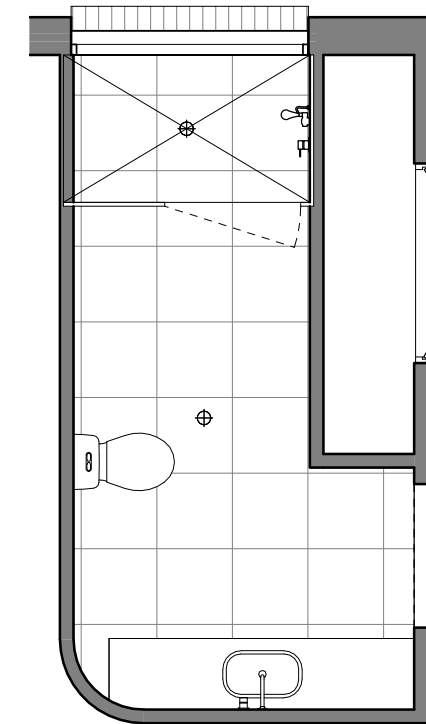
LDRY

SCALE: 1 : 50



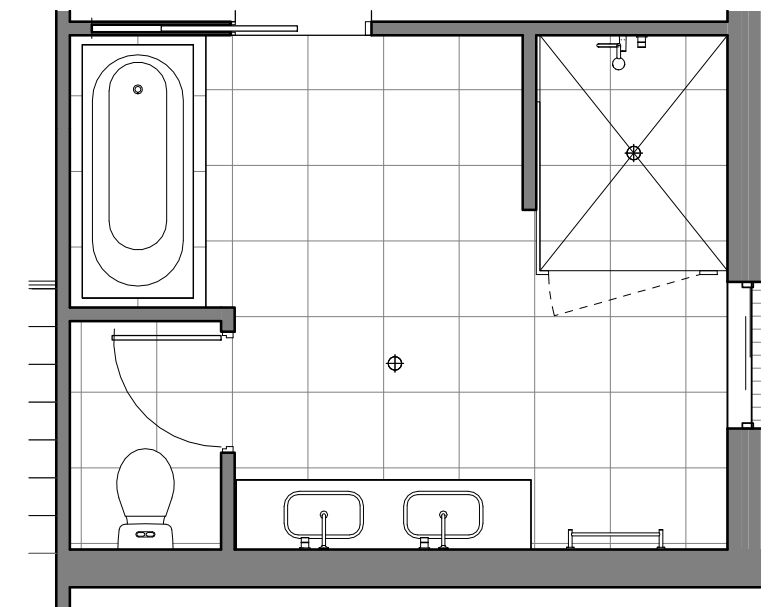
BATH

SCALE: 1 : 50



GROUND ENS

SCALE: 1 : 50



UPPER ENS

SCALE: 1 : 50

NOTES:

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Building Approval
Is issued under section 28 of the Building Act 2004
CBS Residential Certifiers Pty Ltd

17/07/2025 Licenced No: 2019937

CLIENT:
HE LI

SITE ADDRESS:
Block 21
Section: 26
Suburb: CURTIN

DRAWING TITLE:

WATERPROOF & WET AREA DET.

DRAWN BY:
SG

COUNCIL AREA:
Curtin ACT

JOB No:
J008-2024

DATE DRAWN:
13.07.2025

SCALE:
1 : 50

DRWG No: 012
ISSUE: B

Figure 6.2a: Location of noggings for walls surrounding a bath

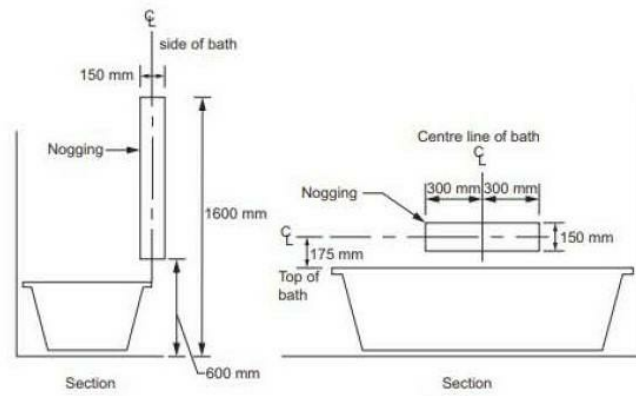


Figure 6.2d: Location of sheeting for shower walls

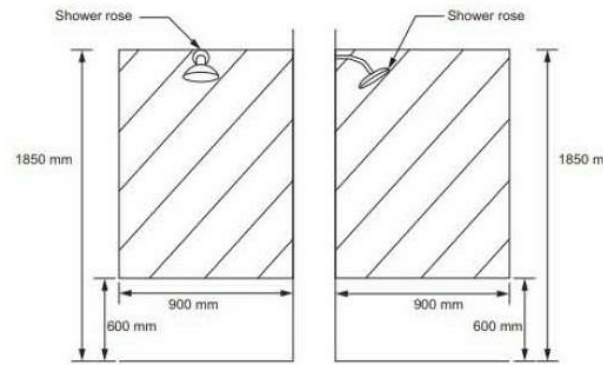


Figure 6.2f: Location of noggings for a wall behind a toilet pan

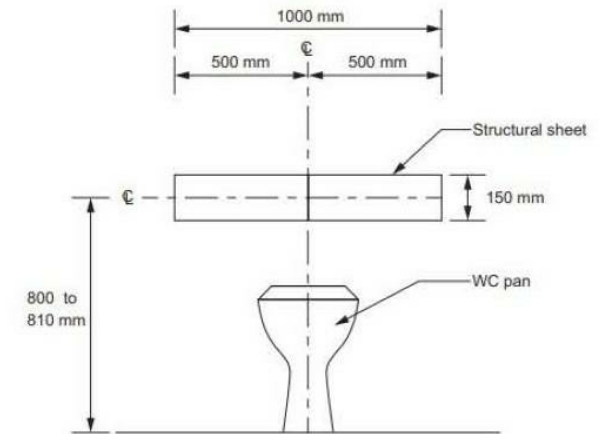


Figure Notes:

- (1) Taps, bath niches, soap holders and the like may be located within the positions designated for wall reinforcing.
- (2) Where the height of the bathtub is not yet known, an assumed height of 500 mm above finished floor level may be used to determine the location of wall reinforcing.

Figure Notes:

- Taps, bath niches, soap holders and the like may be located within the positions designated for wall reinforcing.

Figure 6.2b: Location of sheeting for walls surrounding a bath

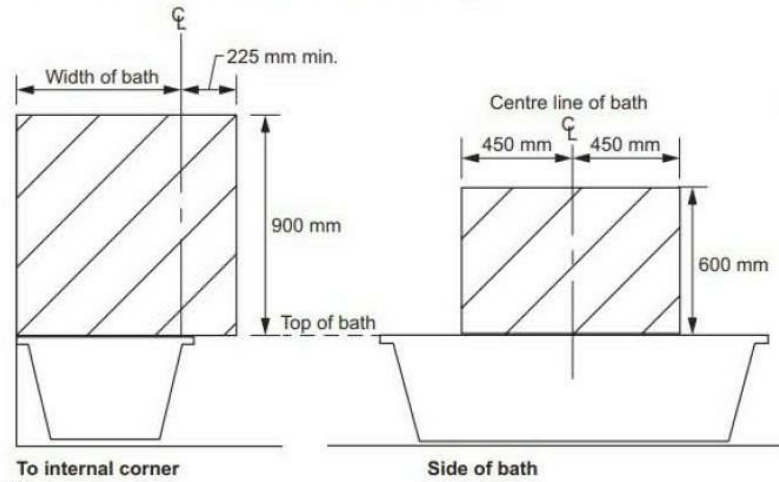


Figure 6.2e: Minimum extent of sheeting for wall adjacent to a toilet pan

Minimum extent of structural sheeting clear of any door frame, window frame or wall opening

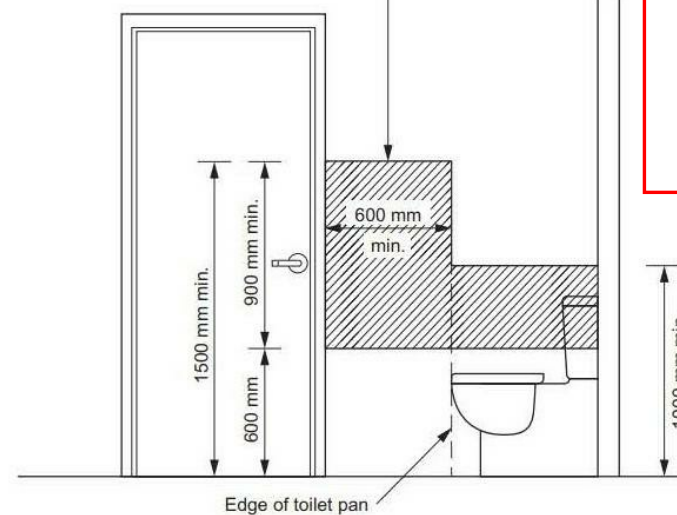


Figure 6.2g: Location of sheeting for a wall behind a toilet pan

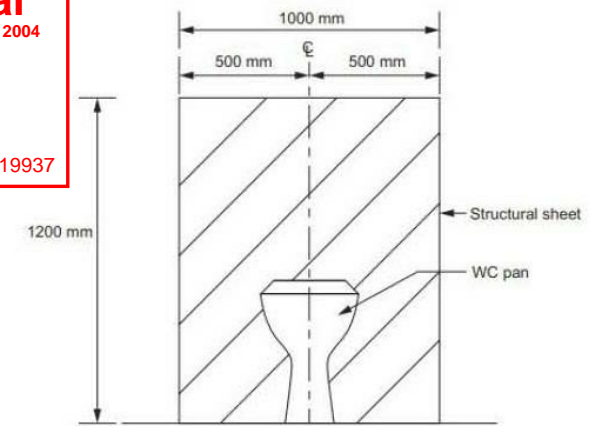


Figure Notes:

- (1) Taps, bath niches, soap holders and the like may be located within the positions designated for wall reinforcing.
- (2) Where the height of the bathtub is not yet known, an assumed height of 500 mm above finished floor level may be used to determine the location of wall reinforcing.

Figure Notes:

- Taps, bath niches, soap holders and the like may be located within the positions designated for wall reinforcing.

Part 6 Reinforcement of bathroom and sanitary compartment walls:

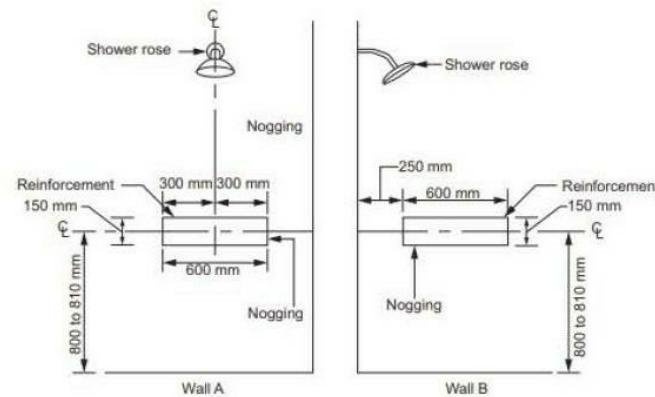
- 6.1 Location**
- (1) Reinforcing in accordance with Clause 6.2 must be provided to any—
 - (a) sanitary compartment that is subject to Part 4; and
 - (b) bathroom containing a—
 - (i) shower that is subject to Part 5; or
 - (ii) bath (if provided), other than a freestanding bath where the bath is located in a room that also contains a shower that is subject to Part 5.
 - (2) The requirements of (1) need not be complied with if the walls of the room are constructed of concrete, masonry or another material capable of supporting grabrails without additional reinforcement.
 - (3) Where the wall supporting the reinforcement includes a cavity slider, it must be designed and constructed in way to support loads imposed by reinforcement, linings and the future provision of handrails and provided for the extent required by Figures 6.2a, 6.2b, 6.2c, 6.2d, 6.2e, 6.2f and 6.2g.

6.2 Construction

- (1) Reinforcing constructed in accordance with the requirements of (3) must be provided in the locations depicted in—
 - (a) Figures 6.2a or 6.2b for walls surrounding a bath; and
 - (b) Figures 6.2c or 6.2d for shower walls; and
 - (c) Figure 6.2e for a wall adjacent to and within 460 mm of the centreline of a toilet pan; and
 - (d) Figures 6.2f or 6.2g for a wall behind a toilet pan where a wall described in (c) is not provided or a window sill or a door encroaches on the area required to be provided with reinforcing or where the toilet pan is not provided in a corner of the bathroom.
- (2) Reinforcing need only be provided across the available width of the wall where a wall referred to in (1)(a) or (b)—
 - (a) is narrower than the width of the area required to be provided with reinforcing; or
 - (b) terminates at a window sill lower than the height or the area required to be provided with reinforcing.
- (3) Reinforcing required by (1) must be constructed using one of the following materials:
 - (a) A minimum of 12 mm thick structural grade plywood, or similar.
 - (b) Timber noggings with a minimum thickness of 25 mm.



Figure 6.2c: Location of noggings for shower walls



NOTES:

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CLIENT:
HE LI

SITE ADDRESS:
Block 21
Section: 26
Suburb: CURTIN

DRAWING TITLE:
REINFORCEMENT OF BATHROOM & SANITARY COMPARTMENT WALLS

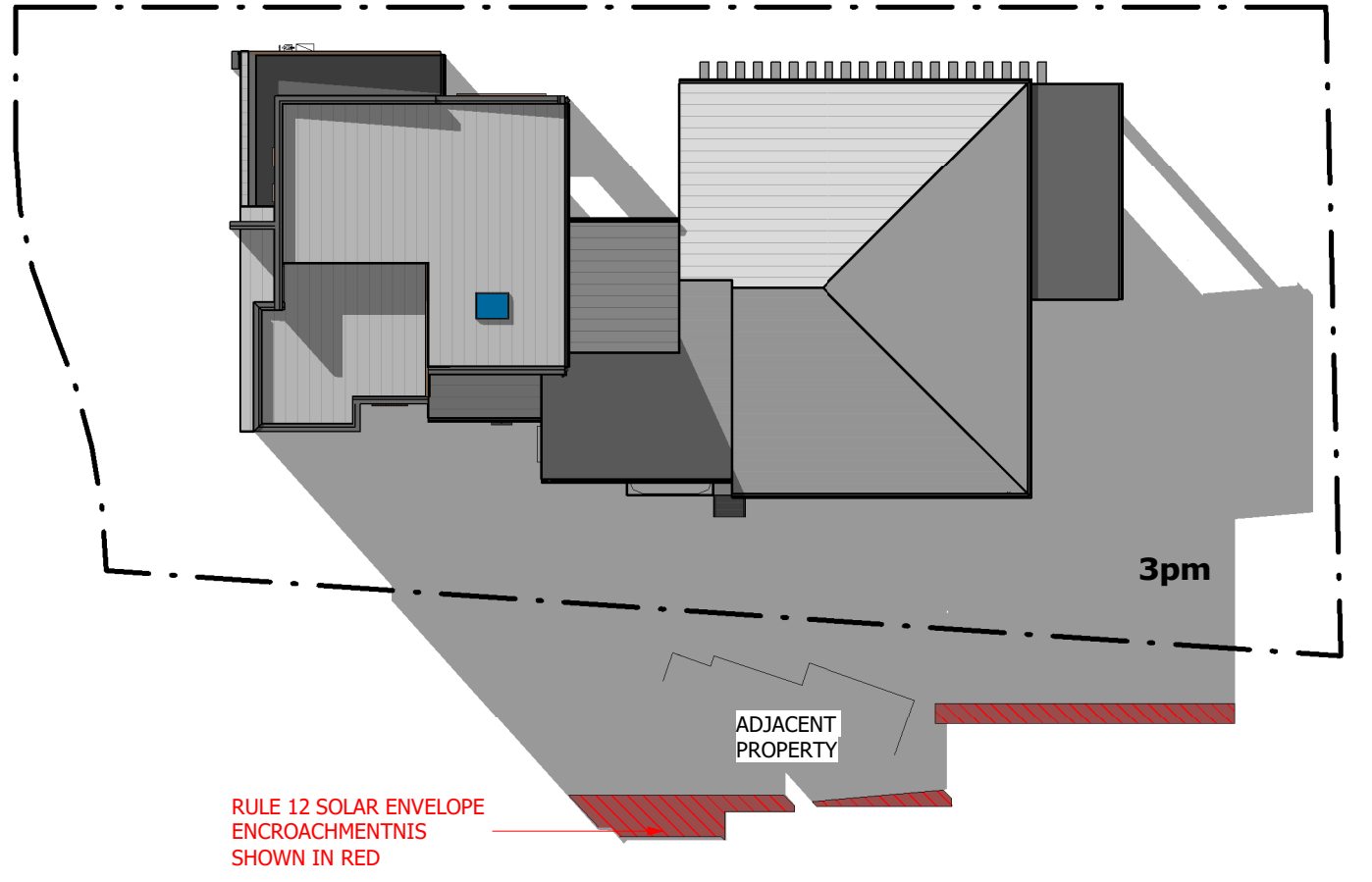
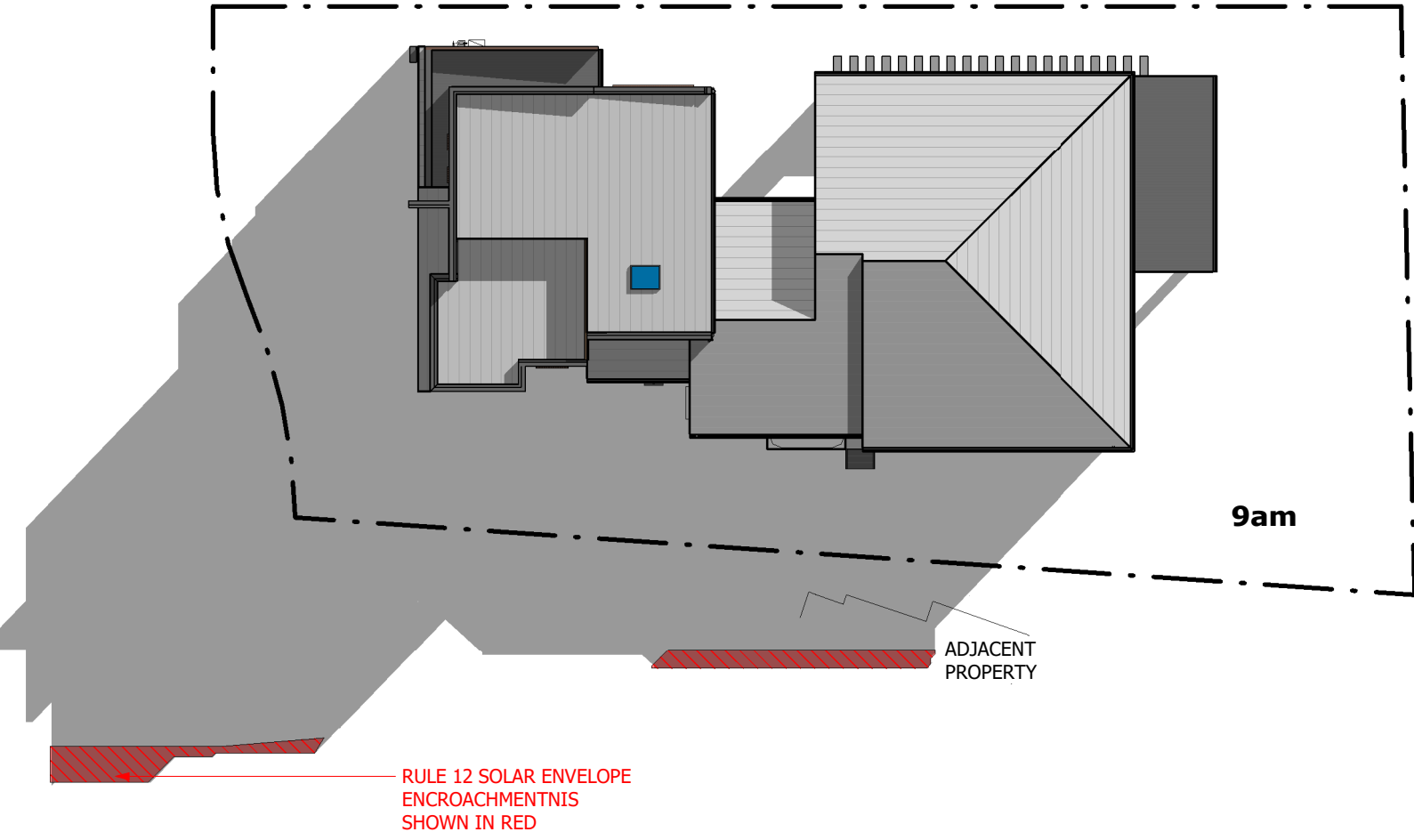
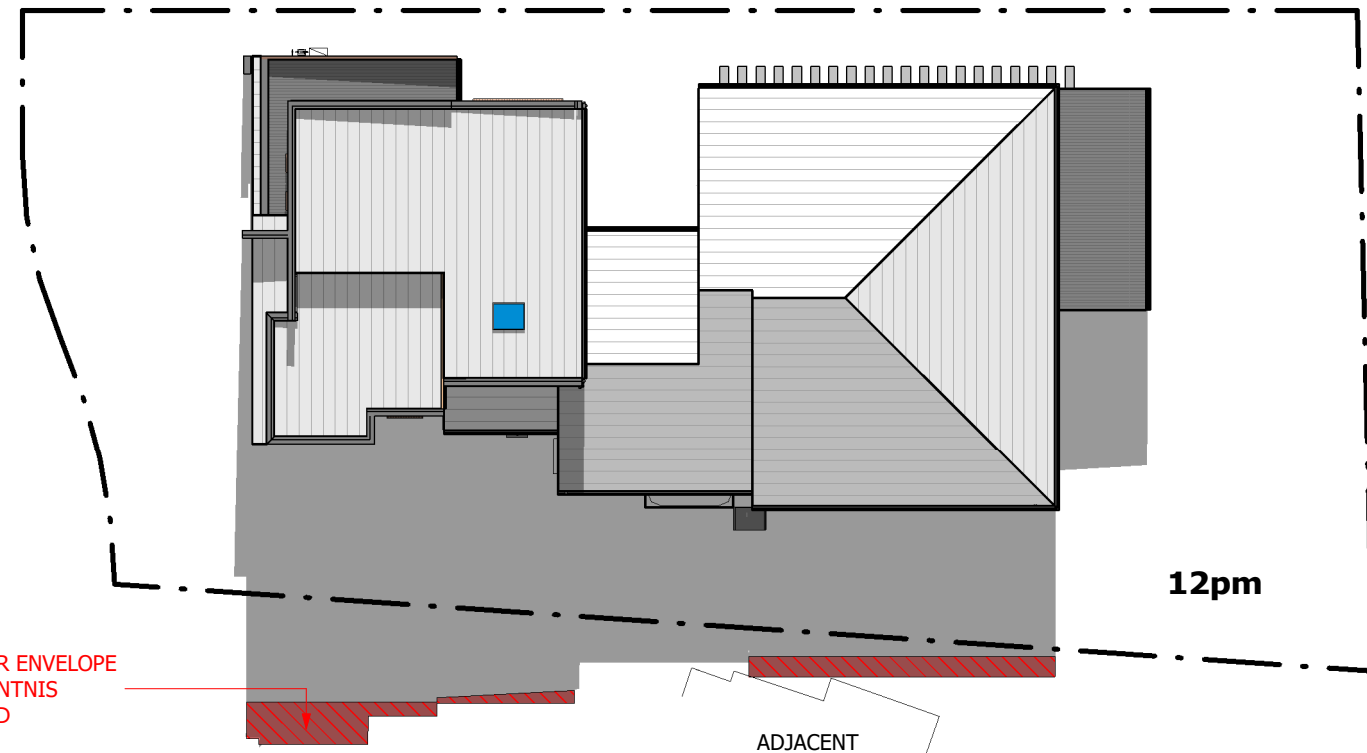
DRAWN BY:
SG
DATE DRAWN:
10.05.2025

COUNCIL AREA:
Curtin ACT
SCALE:

JOB No:
J008-2024
DRWG No:
013
ISSUE:
A

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OF SHANG GAO-ABN 57168852956

SUN AZIMUTH
LOCATION: CANBERRA
LATITUDE -35°33'20.8"
LONGITUDE 149°08'27.6"
AUSTRALIAN EASTERN STANDARD
TIME
21/06/2025



NOTES:
PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS
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CLIENT:
HE LI

SITE ADDRESS:
Block 21
Section: 26
Suburb: CURTIN

DRAWING TITLE:
SOLAR DIAGRAMS

DRAWN BY: SG	DATE DRAWN: 13.07.2025
COUNCIL AREA: Curtin ACT	SCALE: 1 : 250
JOB No: J008-2024	DRWG No: 014
	ISSUE: D

G:\Sasha\Works\Canberra Curtin\21-26 Curtin- Issue A 2ND.rvt

PDC EDGE

CONSULTING ENGINEERS

OFFICE

ADDRESS: unit 5A, Level 2, 101 Northbourne Avenue Turner, ACT, 2612
TEL : (02) 909 34888
EMAIL : pdragh@edgece.com
WEBSITE : www.edgece.com.

SITE ADDRESS

**BLOCK 21 SECTION 26
CURTIN**

JOB DESCRIPTION

PROPOSED NEW RESIDENCE

CLIENT:

YANSONG ZHANG & YEPENG WANG

DRAWING LIST

- S1 - GENERAL NOTES**
- S2 - FOOTING & SLAB LAYOUT**
- S3 - FOOTING & SLAB DETAILS**
- S4 - JOISTS & BEAM LAYOUT**
- S5 - ROOF BEAM LAYOUT**

NOTE

IT IS THE RESPONSIBILITY OF THE CLIENT IN CONSULTATION WITH THEIR BUILDER TO CHECK AND VERIFY THE BUILDABILITY OF THE DESIGN AS PRESENTED AND REFER ANY CONCERNS BACK TO THE ENGINEER PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS.

APPROVED BY:

ACT Registration

Name: Blake Allan - Structural Engineer
Registration number: 00300002939
Registration start date: 03/04/2025
Registration expiry date: 03/04/2028
Job Role: Managing Director-EDGE Consulting Engineers Australia



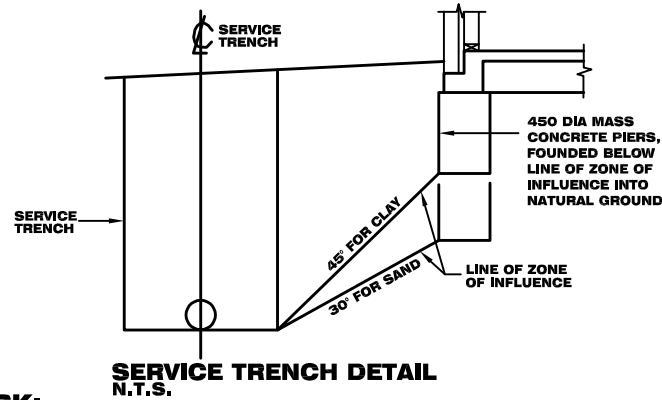
Dwg No.
SO

GENERAL NOTES:

- G.1 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO THE ARCHITECT/ENGINEER FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- G.2 DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE STRUCTURAL DRAWINGS.
- G.3 SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE BUILDER.
- G.4 DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.
- G.5 ALL WORKMANSHIP AND MATERIAL SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT EDITIONS OF THE A.S. CODES AND THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITY.
- G.6 THE STRUCTURAL ELEMENTS SHOWN ON THE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE FOLLOWING CODES:
 CONCRETE - A.S 3600
 FOOTING - A.S 2870
 STEEL - A.S 4100 & A.S. 4600

FOUNDATIONS AND FOOTINGS:

- F.1 FOOTINGS HAVE BEEN DESIGNED FOR A UNIFORM BEARING PRESSURE (refer to sheet 2). FOUNDATION MATERIAL SHALL BE APPROVED FOR THIS PRESSURE BEFORE PLACING CONCRETE FOOTING.
- F.2 THE SITE IS CLASSIFIED IN ACCORDANCE WITH GEOTECHNICAL REPORT (refer to sheet 2). WE DISCLOSE THAT WE HAVE NOT VERIFIED THIS REPORT AND THAT WE RELY ON ITS FINDINGS.
- F.3 FOOTING SHALL BE PLACED CENTRALLY UNDER WALLS AND COLUMNS UNLESS OTHERWISE NOTED.
- F.4 ALL WORKMANSHIP & MATERIALS SHALL BE IN ACCORDANCE WITH A.S. 2870
- F.5 THE FOOTING DETAILS SHOWN ARE FOR THE SITE CLASSIFICATION STIPULATED, PDCE CONSULTING ENGINEERS TAKES NO RESPONSIBILITY FOR VARIATIONS WHICH MAY OCCUR DUE TO VARIATIONS IN SITE CONDITIONS.
- F.6 FILL USED IN THE CONSTRUCTION OF A SLAB EXCEPT WHERE THE SLAB IS SUSPENDED SHALL CONSIST OF A CONTROLLED FILL OR ROLLED FILL IN ACCORDANCE WITH A.S. 2870
 A) ROLLED FILL CONSISTS OF MATERIAL COMPACTED IN LAYERS BY REPEATED ROLLING WITH AN EXCAVATOR. ROLLED FILL SHALL NOT EXCEED 600mm COMPACTED IN LAYERS NOT MORE THAN 300mm, FOR SAND MATERIAL OR 400mm COMPACTED IN LAYERS NOT MORE THAN 150mm FOR OTHERS MATERIAL.
 B) CONTROLLED FILL SHALL CONSIST OF WELL GRADED SAND FILL UP TO 800mm DEEP, WELL COMPACTED IN NOT MORE THAN 300mm LAYERS BY VIBRATING PLATE OR VIBRATING ROLLER NON SAND FILL UP TO 400mm DEEP, WELL COMPACTED IN NOT MORE THAN 150 LAYERS BY A MECHANICAL ROLLER, CLAY FILL SHOULD BE MOIST DURING COMPACTION. THE DEPTHS OF FILL GIVEN ABOVE ARE DEPTHS MEASURED AFTER COMPACTION.FOR DEPTHS GREATER THAN THAT GIVEN ABOVE THE FILL SHALL BE SUBJECT TO CONTROL AND TESTING. IF TEST FAILS THEN PIERS ARE REQUIRED. CONTACT THIS OFFICE PRIOR TO FURTHER CONSTRUCTION.
 EDGE BEAMS MAY BE FOUNDED ON CONTROLLED FILL EDGE BEAMS SHALL NOT BE FOUNDED ON ROLLED FILL
- F.7 TOP SOIL CONTAINING GRASS ROOTS OR OTHER ORGANIC MATERIAL SHALL BE REMOVED FROM THE AREA ON WHICH THE SLAB IS TO REST.
- F.8 IF ANY FOOTING IS LOCATED SUCH THAT A LINE DRAWN AT 45 DEGREES FOR CLAY AND 30 DEGREES FOR SAND FROM ITS BASE INTERSECTS A SERVICE TRENCH THEN PIERS ARE REQUIRED AS PER DETAIL BELOW.



CONCRETE WORK:

- C.1 ALL WORKMANSHIP AND MATERIAL SHALL BE IN ACCORDANCE WITH A.S. 3600. & A.S. 2870
- C.2 CONCRETE QUALITY SHALL BE AS TABULATED BELOW U.N.O. AND SHALL BE VERIFIED BY TESTS.

ELEMENT	SLUMP mm	MAX. SIZE AGG. mm	CEMENT TYPE	EXPOSURE CLASSIFIC.	CONCRETE GRADE	COVER mm
SLABS ON GROUND	100	20	A	A1	25N	20 TOP 30 BTM 40 EXTERNAL
FOOTINGS	100	20	A	A1	25N	40
SUSPENDED SLAB	80	20	A	A1	32N	30 TOP 20 BTM 40 EXTERNAL

- C.3 ALL CONCRETE SHALL BE PLACED AND CURED IN ACCORDANCE WITH A.S. 3600. WHERE CURING COMPOUNDS ARE USED IT MUST BE APPLIED AS FOLLOWS:
 A) ONTO SLAB WITHIN 2HRS OF FINISHING OPERATION
 B) ONTO WALLS AND COLUMNS IMMEDIATELY AFTER REMOVAL OF FORMWORK.
- C.4 SIZES OF CONCRETE ELEMENTS DO NOT INCLUDE THICKNESS OF APPLIED FINISHES.
- C.5 CONSTRUCTION JOINTS WHERE NOT SHOWN SHALL BE TO THE APPROVAL OF THE ENGINEER.
- C.6 BEAM DEPTHS ARE WRITTEN FIRST AND INCLUDE SLAB THICKNESS, IF ANY.
- C.7 HORIZONTAL FORMWORK SHALL BE STRIPPED WHEN APPROVED BY THE ENGINEER.
- C.8 UNLESS NOTED OTHERWISE NO ALLOWANCE HAS BEEN MADE FOR STACKED MATERIALS OR MACHINERY ON THE CONCRETE STRUCTURE.
- C.9 NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE ELEMENTS WITHOUT THE PRIOR APPROVAL OF THE ENGINEER.
- C.10 REINFORCEMENT IS REPRESENTED DIAGRAMMATICALLY, IT IS NOT NECESSARILY SHOWN IN TRUE PROJECTION.
- C.11 SPLICES IN REINFORCEMENT MADE IN POSITIONS OTHER THAN SHOWN SHALL BE TO THE APPROVAL OF THE ENGINEER. WHERE THE LAP LENGTH IS NOT SHOWN IT SHALL BE SUFFICIENT TO DEVELOP THE FULL STRENGTH OF THE REINFORCEMENT.
- C.12 WELDING OF REINFORCEMENT SHALL NOT BE PERMITTED UNLESS SHOWN ON THE STRUCTURAL DRAWINGS.
- C.13 PIPES OR CONDUITS SHALL NOT BE PLACED WITHIN THE CONCRETE COVER TO REINFORCEMENT WITHOUT THE APPROVAL OF THE ENGINEER.
- C.14 ALL REINFORCING BARS SHALL COMPLY WITH A.S. 4671. ALL FABRIC SHALL COMPLY WITH A.S. 4671 AND SHALL BE SUPPLIED IN FLAT SHEETS.
- C.15 REINFORCING SYMBOLS:
 N - DENOTES GRADE D500 HIGH STRENGTH DEFORMED BARS TO A.S. 4671.
 R - DENOTES GRADE R250 HOT ROLLED PLAIN BARS TO A.S. 4671.
 SL - DENOTES HARD-DRAWN WIRE SQUARE REINFORCING FABRIC TO A.S. 4671.
 RL - DENOTES HARD-DRAWN WIRE RECTANGULAR REINFORCING FABRIC TO A.S. 4671.
 THE NUMBER IMMEDIATELY FOLLOWING THESE SYMBOLS IS THE BAR DIAMETER IN MILLIMETRES.
- C.16 FABRIC REINFORCEMENT TO BE LAPPED ONE MESH PLUS 30mm. LAPS IN POSITIONS OF MAXIMUM MOMENT ARE NOT PERMITTED.

ACT Registration

Name: Blake Allan - Structural Engineer
 Registration number: 0030002939
 Registration start date: 03/04/2025
 Registration expiry date: 03/04/2028
 Job Role: Managing Director-EDGE Consulting Engineers Australia

- C.17 ALL REINFORCEMENT SHALL BE FIRMLY SUPPORTED ON INSULATED STEEL, PLASTIC OR CONCRETE CHAIRS GENERALLY AT NOT GREATER THAN 800 CENTERS BOTH WAYS. RODS SHALL BE TIED AT ALTERNATE INTERSECTIONS.
- C.18 ALL TENSILE REINFORCEMENT TO BE LAPPED AS SHOWN (u.n.o.):-

REINF. BAR	N12	N16	N20	N24
LAP LENGTH mm	500	600	700	800

DRAINAGE NOTES:

- D.1 ALL WORKMANSHIP & MATERIALS SHALL BE IN ACCORDANCE WITH A.S. 2870
- D.2 DRAINAGE SHALL BE CONSTRUCTED TO AVOID WATER PONDING AGAINST OR NEAR THE FOOTING. THE GROUND IN THE IMMEDIATE VICINITY OF THE PERIMETER FOOTING, INCLUDING THE GROUND UPHILL FROM THE SLAB ON CUT-AND-FILL SITES, SHALL BE GRADED TO FALL 50mm MINIMUM AWAY FROM THE FOOTING OVER A DISTANCE OF 1m. SURFACE OR SUBSURFACE DRAINS SHALL BE USED TO CHANNEL WATER AWAY AND CONNECTED TO STORM WATER SYSTEM. ANY PAVING SHALL ALSO BE SUITABLY SLOPED
- D.3 PLUMBING TRENCHES SHALL BE SLOPED AWAY FROM THE HOUSE AND SHALL BE BACKFILLED WITH CLAY IN THE TOP 300mm WITHIN 1.5m OF THE HOUSE. THE CLAY USED FOR BACKFILLING SHALL BE COMPACTED. WHERE PIPES PASS UNDER THE FOOTING. SYSTEM, THE TRENCH SHALL BE BACKFILLED WITH CLAY OR CONCRETE TO RESTRICT THE INGRESS OF WATER BENEATH THE FOOTING SYSTEM.
- D.4 EXCAVATIONS NEAR THE EDGE OF THE FOOTING SYSTEM SHALL BE BACKFILLED IN SUCH A WAY AS TO PREVENT ACCESS OF WATER TO THE FOUNDATION. FOR EXAMPLE, EXCAVATIONS SHOULD BE BACKFILLED ABOVE OR ADJACENT TO THE FOOTING. WITH MOIST CLAY COMPACTED BY HAND-RODDING OR -TAMPING. POROUS MATERIAL SUCH AS SAND, GRAVEL OR BUILDING RUBBLE SHOULD NOT BE USED.
- D.5 WATER RUN-OFF SHALL BE COLLECTED AND CHANNELLED AWAY FROM THE HOUSE DURING CONSTRUCTION.
- D.6 PENETRATIONS OF THE EDGE BEAMS AND FOOTING BEAMS ARE TO BE AVOIDED, BUT WHERE NECESSARY SHALL BE SLEEVED TO ALLOW FOR MOVEMENT.
- D.7 CONNECTION OF STORMWATER DRAINS AND WASTE DRAINS SHALL INCLUDE FLEXIBLE CONNECTION.

STRUCTURAL STEEL:

- S.1 ALL WORKMANSHIP & MATERIALS SHALL BE IN ACCORDANCE WITH A.S. 4100 EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- S.2 UNLESS OTHERWISE NOTED, ALL STEEL SHALL BE IN ACCORDANCE WITH:
 A.S. 3679.1 GRADE 300 FOR ROLLED SECTIONS.
 A.S. 1163 GRADE 350 FOR RHS SECTIONS.
 A.S. 1163 GRADE 350 FOR CHS SECTIONS.
 A.S. 3378 GRADE 350 FOR ALL PLATE.
 A.S. 3679.1 GRADE 350 FOR ALL FLAT
 A.S. 1397 GRADE 450 FOR 1.5, 1.9, 2.4 AND 3.0 BMT OF COLD-FORMED STEEL SECTIONS.
- S.3 UNLESS NOTED OTHERWISE ALL WELDS SHALL BE 6mm CONTINUOUS FILLET WELDS AND ALL GUSSET PLATES SHALL BE 10mm THICK.
- S.4 BUTT WELDS WHERE INDICATED IN THE DRAWINGS ARE TO BE COMPLETE PENETRATION BUTT WELDS AS DEFINED IN A.S. 1554.
- S.5 UNLESS OTHERWISE SHOWN ALL BOLTS SHALL BE 16mm DIA HIGH STRENGTH (H.S.) BOLTS SHALL CONFORM TO A.S. 1252 AND SHALL BE INSTALLED IN ACCORDANCE WITH A.S. 4100 AS DIRECTED BY THE ENGINEER.
- S.6 UNLESS NOTED OTHERWISE ALL BEAMS TO BE SUPPORTED ON BRICKWORK/ENGAGED BRICK PIERS (110mm BRICK BEARING REQUIRED) PLACE INCOMPRESSIBLE PACKING AS REQUIRED UNDER THE ENDS OF THE BEAM TO ENSURE EVEN BEARING ON BRICKWORK.
- S.7 UNLESS NOTED OTHERWISE PROTECTIVE COATINGS FOR STEELWORK SHALL BE AS TABULATED BELOW AND IN ACCORDANCE WITH THE CURRENT EDITION OF THE BSA.

ENVIRONMENT (EXPOSURE CLASSIFICATION AS PER BCA)	GENERAL STRUCTURAL MEMBERS (NOT BUILT INTO MASONRY OR CONCRETE)		LINTELS (BUILT INTO MASONRY OR CONCRETE)
	INTERNAL	EXTERNAL	
VERY LOW	RO		
LOW	RO	R1	R2
MEDIUM	RO	R2	R3
HIGH	R1	R3	R4
VERY HIGH	R1	R4	R5

PROTECTIVE COATING SPECIFICATION TO A.S. 2699.3

REVISION DETAILS			
NO.	DESCRIPTION	DATE	NAME

PDC EDGE
 CONSULTING ENGINEERS

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 101 Northbourne Avenue
 Turner, ACT, 2612

PH : (02) 909 34888 Web: www.edgece.com.
 email : pdragh@edgece.com

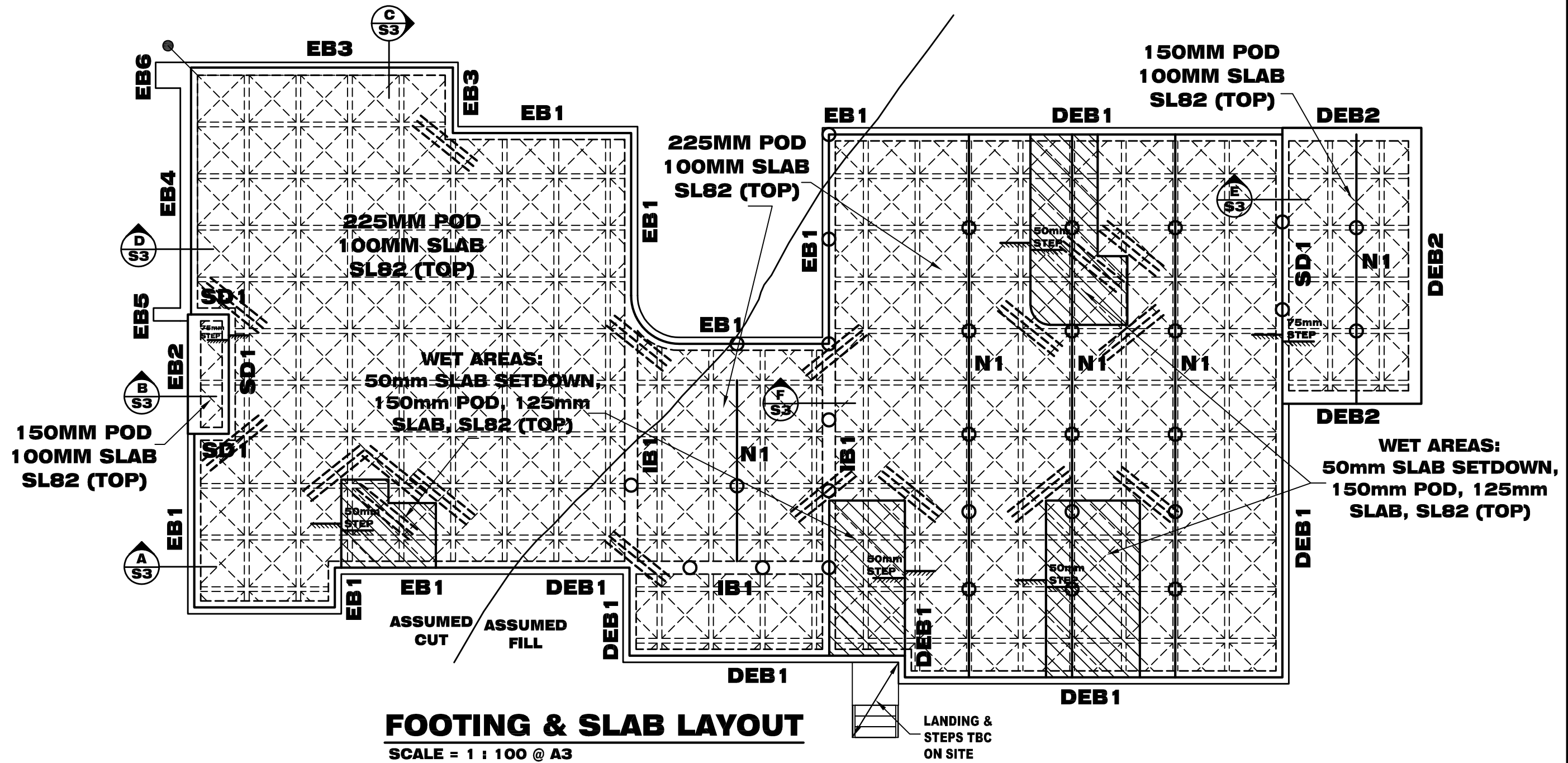
PROJECT
 BLOCK 21 SECTION 26
 CURTIN

CLIENT
 YANSONG ZHANG & YEPENG WANG

Page 61 of 82

DRAWING
 GENERAL NOTES

Job No.	Rev.
SCALE: 1:100 @ A3	DATE: 23/06/25
DESIGNED:	Dwg No. S1
DRAWN: GULFAM	
CHECKED: PD	



WAFFLE SLAB PLAN

"P" CLASS

LEGEND

- 1 STANDARD 1090X1090 POD
- 3N12 OR 3L11TM, 2000mm LONG, TIED TO TOP OF SLAB MESH
- DENOTES STARTING POINT FOR POD LAYOUT.
- Ø 300mm DIA CONCRETE PIER TO MIN 1000mm INTO NATURAL GROUND.
- N1 : 1N12 (TOP) OVER PIERS, TIED TO TOP OF SLAB MESH.

SLAB DESIGN SUMMARY

BOX HEIGHT (mm)	225 / 150
SLAB THICKNESS (mm)	100 / 125
OVERALL DEPTH (mm)	325 / 250 / 275
BOX SIZE (mm)	1090 X 1090
SLAB REINFORCEMENT	SL82
110mm INTERNAL RIB REINFORCEMENT	1N12 BTM OR EQUIVALENT
300 INTERNAL BEAM REINFORCEMENT	3N12 BTM OR EQUIVALENT
300mm EXTERNAL EDGE BEAM REINFORCEMENT	3N12 BTM OR EQUIVALENT

ACT Registration

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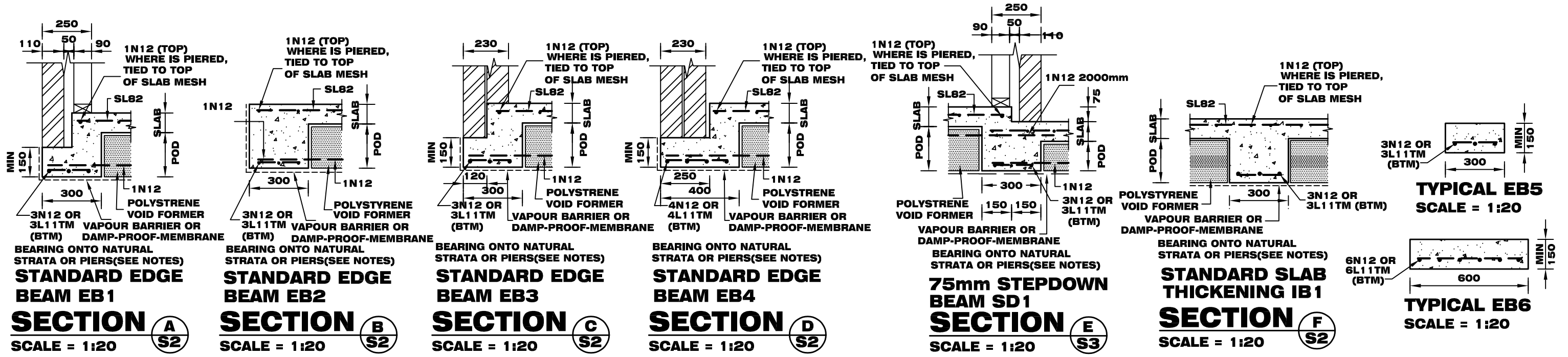
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101 Northbourne Avenue
Turner, ACT, 2612

PROJECT
BLOCK 21 SECTION 26
CURTIN

CLIENT
YANSONG ZHANG & YEPENG WANG

DRAWING
FOOTING & SLAB LAYOUT

Job No.	Rev.
SCALE: 1:100 @ A3	DATE: 23/06/25
DESIGNED:	Dwg No.
DRAWN: GULFAM	S2
CHECKED: PD	



STANDARD EDGE BEAM EB1 SECTION A
SCALE = 1:20

STANDARD EDGE BEAM EB2 SECTION B
SCALE = 1:20

STANDARD EDGE BEAM EB3 SECTION C
SCALE = 1:20

STANDARD EDGE BEAM EB4 SECTION D
SCALE = 1:20

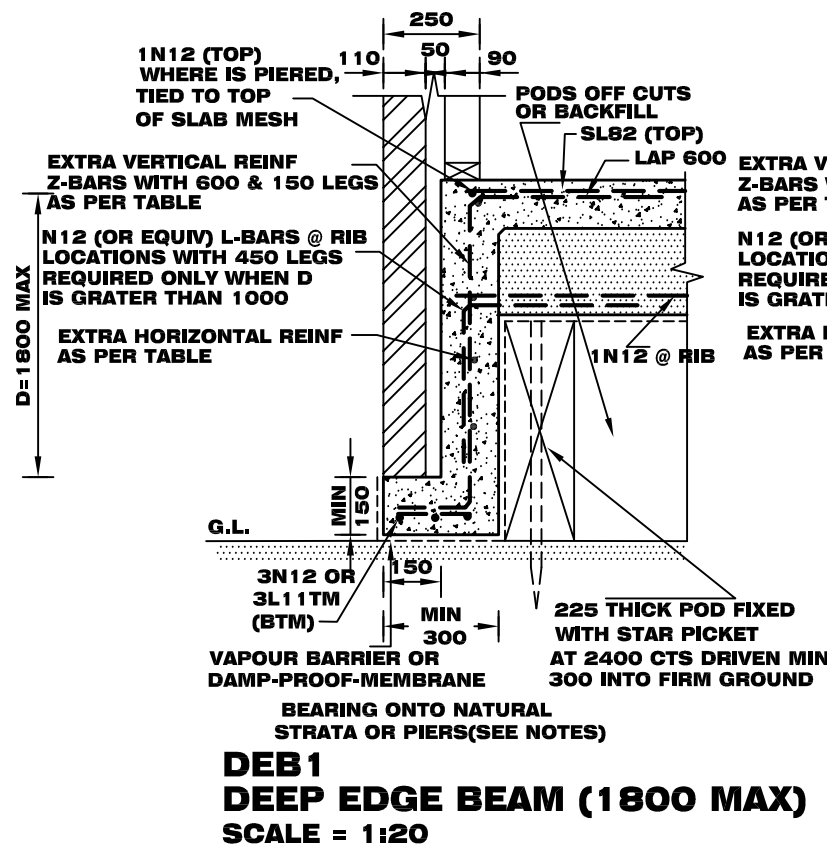
75mm STEPDOWN BEAM SD1 SECTION E
SCALE = 1:20

STANDARD SLAB THICKENING IB1 SECTION F
SCALE = 1:20

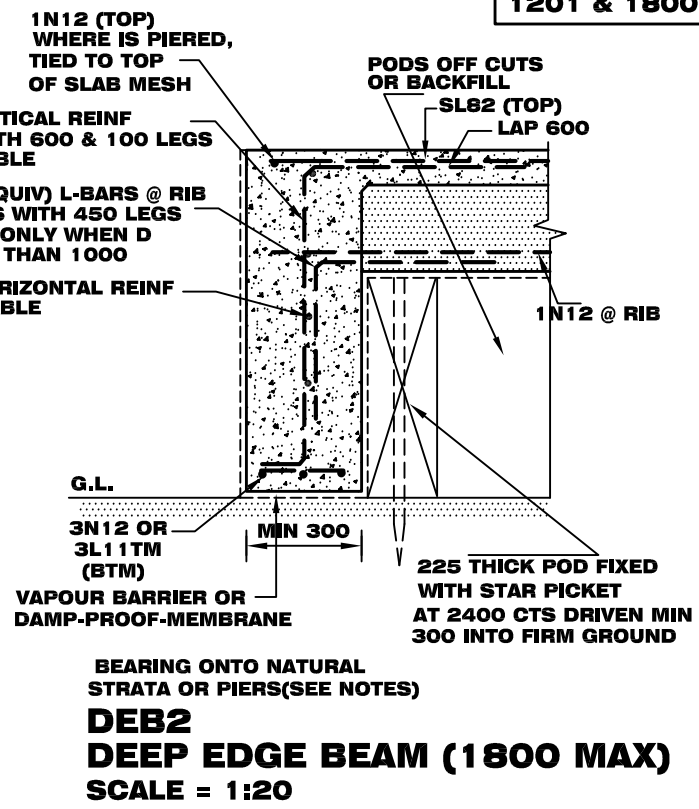
TYPICAL EB5 SCALE = 1:20
TYPICAL EB6 SCALE = 1:20

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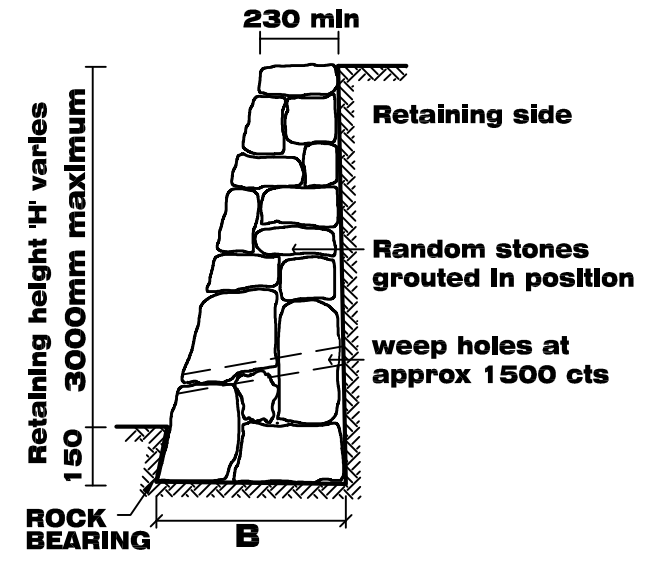
EXTRA REINFORCEMENT TO DEEP EDGE & DEEP STEP BEAM		
DEPTH 'D'	EXTRA VERTICAL REINFORCEMENT	EXTRA HORIZONTAL REINFORCEMENT
'D' IS LESS THAN 400	NONE	NONE
'D' IS BETWEEN 401 & 900	N12 @400CTS	N12 @400CTS
'D' IS BETWEEN 901 & 1200	N12 @300CTS	N12 @400CTS
'D' IS BETWEEN 1201 & 1800	N12 @200CTS	N12 @300CTS



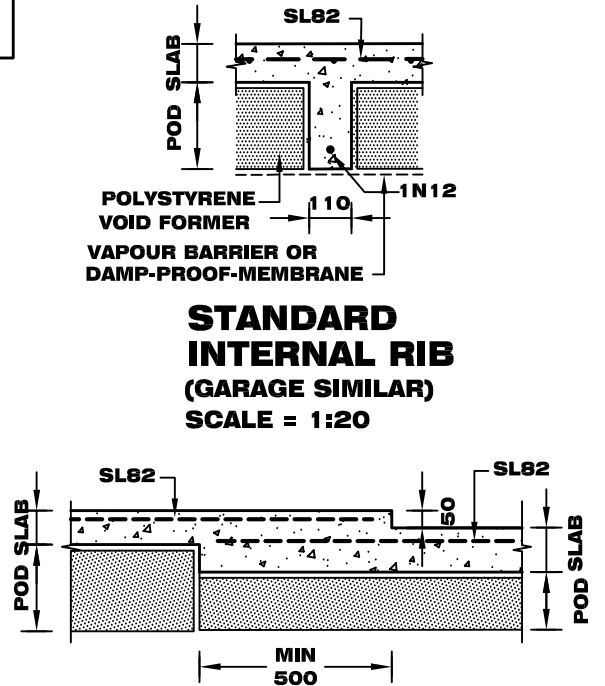
DEB1 DEEP EDGE BEAM (1800 MAX) SCALE = 1:20



DEB2 DEEP EDGE BEAM (1800 MAX) SCALE = 1:20



B: For wall retaining fill = 'H' x 0.45
SRW TYPICAL STONE RETAINING WALL SCALE = 1:20



STANDARD INTERNAL RIB (GARAGE SIMILAR) SCALE = 1:20
WET AREAS 50mm SLAB SETDOWN DETAIL SCALE = 1:20

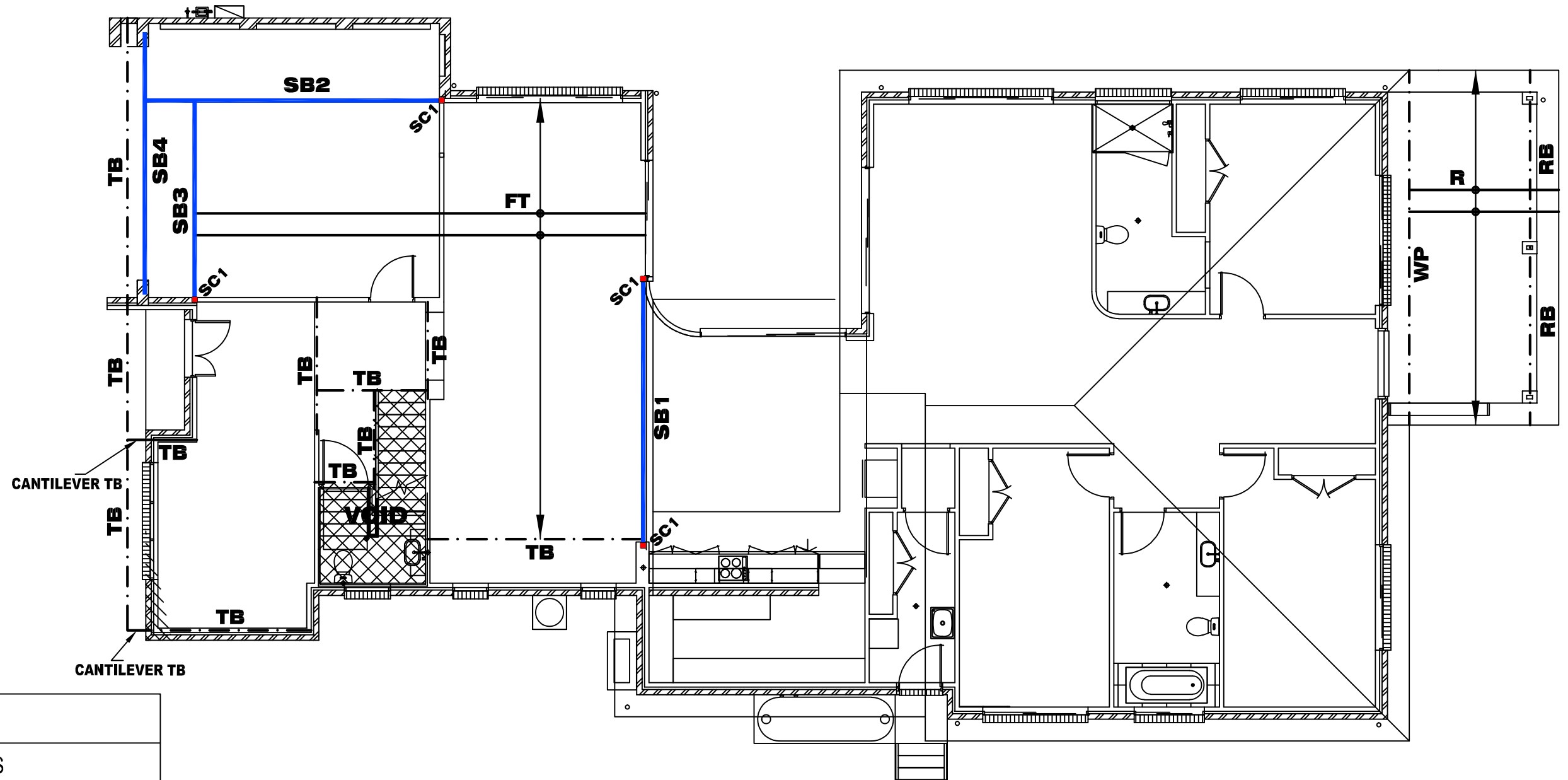
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PDC EDGE CONSULTING ENGINEERS
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PH: (02) 909 34888 Web: www.edgece.com email: pdragh@edgece.com

PROJECT: BLOCK 21 SECTION 26 CURTIN
CLIENT: YANSONG ZHANG & YEPENG WANG

DRAWING: FOOTING & SLAB DETAILS
Job No. _____ Rev. _____
SCALE: 1:100 @ A3 DATE: 23/06/25
DESIGNED: _____
DRAWN: GULFAM
CHECKED: PD

S3

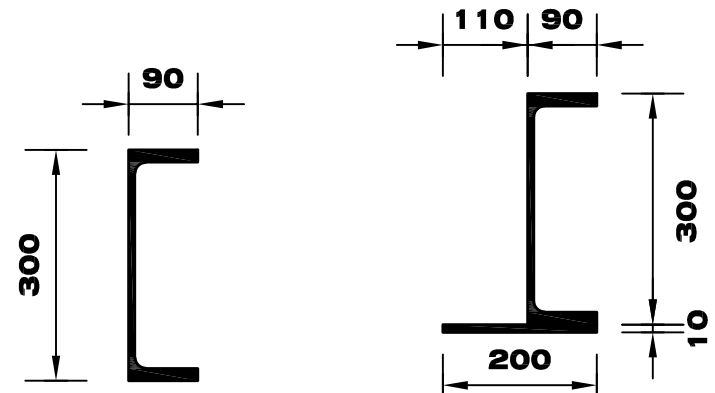


MEMBER SCHEDULE

MARK	SIZE	REMARKS
SB1	300 PFC FLOOR BEAM	
SB2	300 PFC FLOOR BEAM	
SB3	300 PFC FLOOR BEAM	
SB4	300 PFC+ 200X10 BASE PLATE GARAGE LINTEL, MIN 300mm END BEARING EACH END	
TB	TRUSS BEAM TO MANU. SPEC.	
SC1	89X89X5 SHS	-
FT	FLOOR TRUSS TO MANU. SPEC.	
RB	ROOF BEAM 140X45 MGP12 OR 150X45 LVL	
WP	WALING PLATE 120X35 MGP10	
R	RAFTER 120X35 MGP10 @ 900mm CTS.	

JOISTS & BEAM LAYOUT

SCALE = 1 : 100 @ A3



BEAM SB1, SB2 & SB3
300 PFC
SCALE 1:10

BEAM SB4
300 PFC+
200X10 BASE PLATE
SCALE 1:10

ACT Registration
 Name: Blake Allan - Structural Engineer
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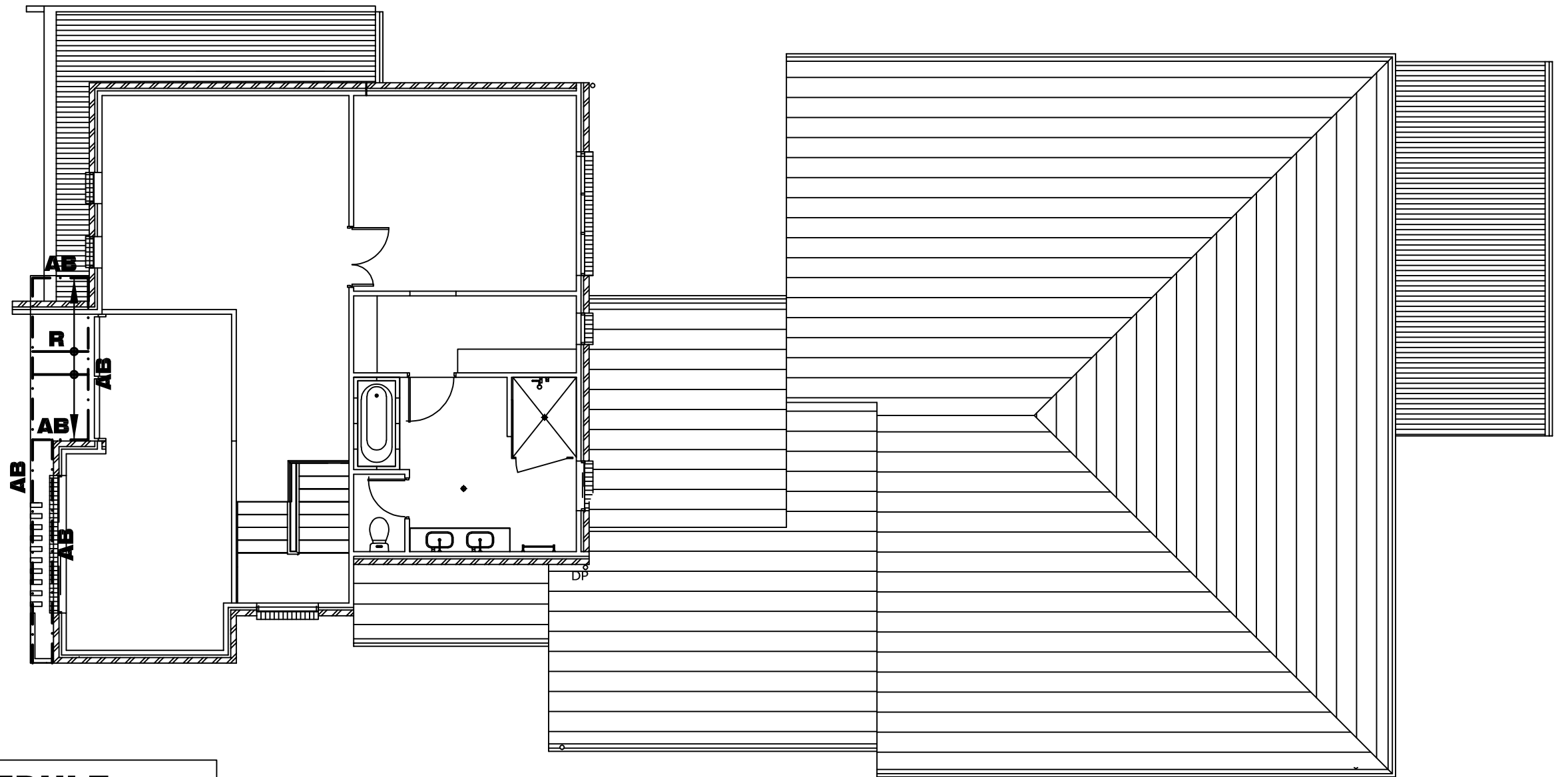
PROJECT
BLOCK 21 SECTION 26
CURTIN

CLIENT
YANSONG ZHANG & YEPENG WANG

Page 64 of 82

DRAWING
JOISTS & BEAM LAYOUT

Job No.	Rev.
SCALE: 1:100 @ A3	DATE: 23/06/25
DESIGNED:	Dwg No.
DRAWN: GULFAM	S4
CHECKED: PD	



MEMBER SCHEDULE

MARK	SIZE	REMARKS
AB	AWNING BEAM 290X45 MGP10 H3	
R	RAFTER MIN 90X35 MGP10 H3 @ 600mm CTS.	

ROOF BEAM LAYOUT

SCALE = 1 : 100 @ A3

ACT Registration

Name: Blake Allan - Structural Engineer
 Registration number: 00300002939
 Registration start date: 03/04/2025
 Registration expiry date: 03/04/2028
 Job Role: Managing Director-EDGE Consulting Engineers Australia

REVISION DETAILS			
NO.	DESCRIPTION	DATE	NAME

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PROJECT
 BLOCK 21 SECTION 26
 CURTIN

CLIENT
 YANSONG ZHANG & YEPENG WANG

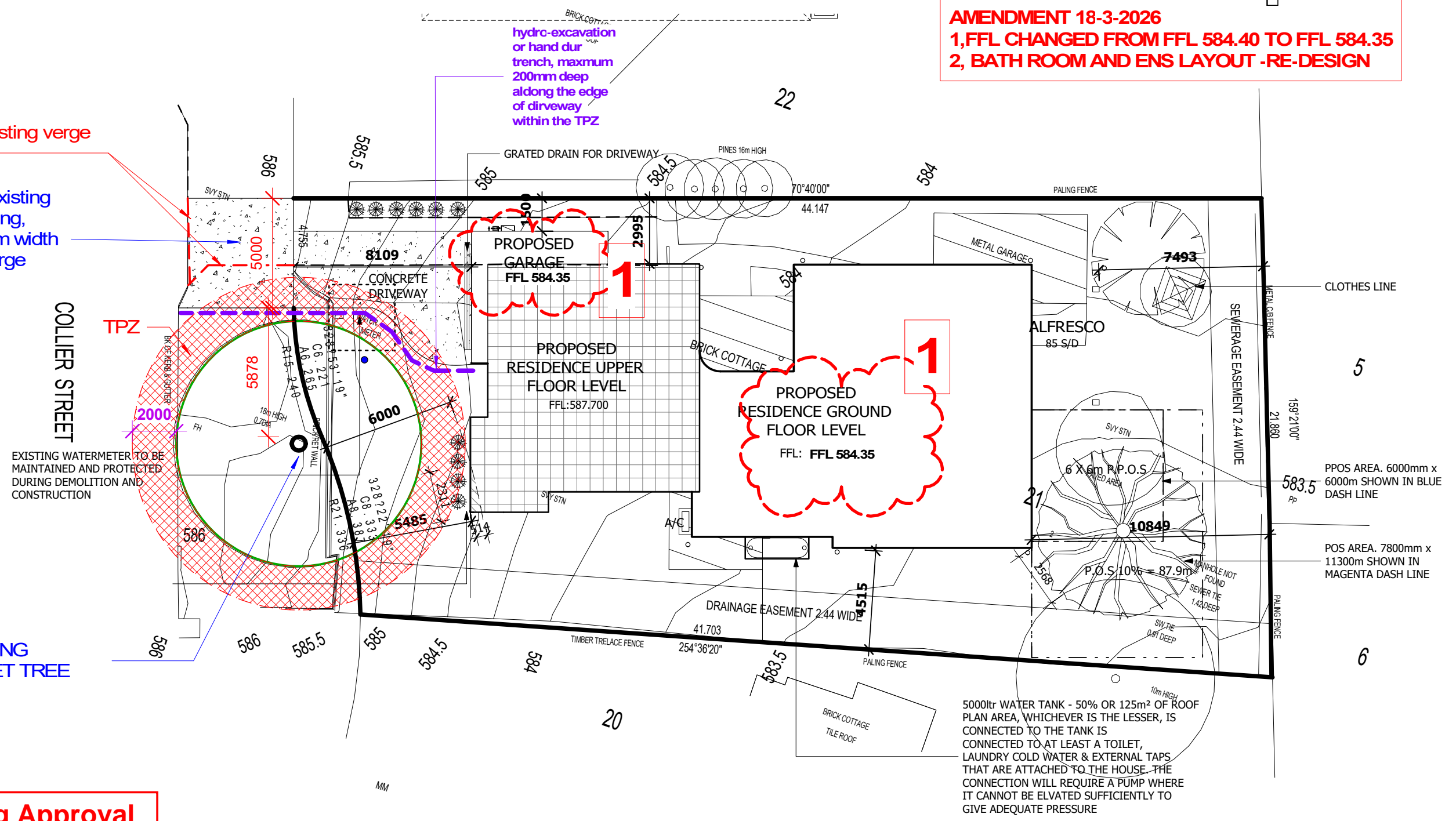
Page 65 of 82

DRAWING
 ROOF BEAM LAYOUT

Job No.	Rev.
SCALE: 1:100 @ A3	DATE: 23/06/25
DESIGNED:	Dwg No.
DRAWN: GULFAM	S5
CHECKED: PD	

AMENDMENT 18-3-2026
1, FFL CHANGED FROM FFL 584.40 TO FFL 584.35
2, BATH ROOM AND ENS LAYOUT -RE-DESIGN

demolished existing verge crossing
 removed existing verge crossing, proposed 5m width driveway verge crossing.



Building Approval
 Is amended under section 32 of the Building Act 2004
 CBS Residential Certifiers Pty Ltd

 19/03/2026 Licenced No: 2019937

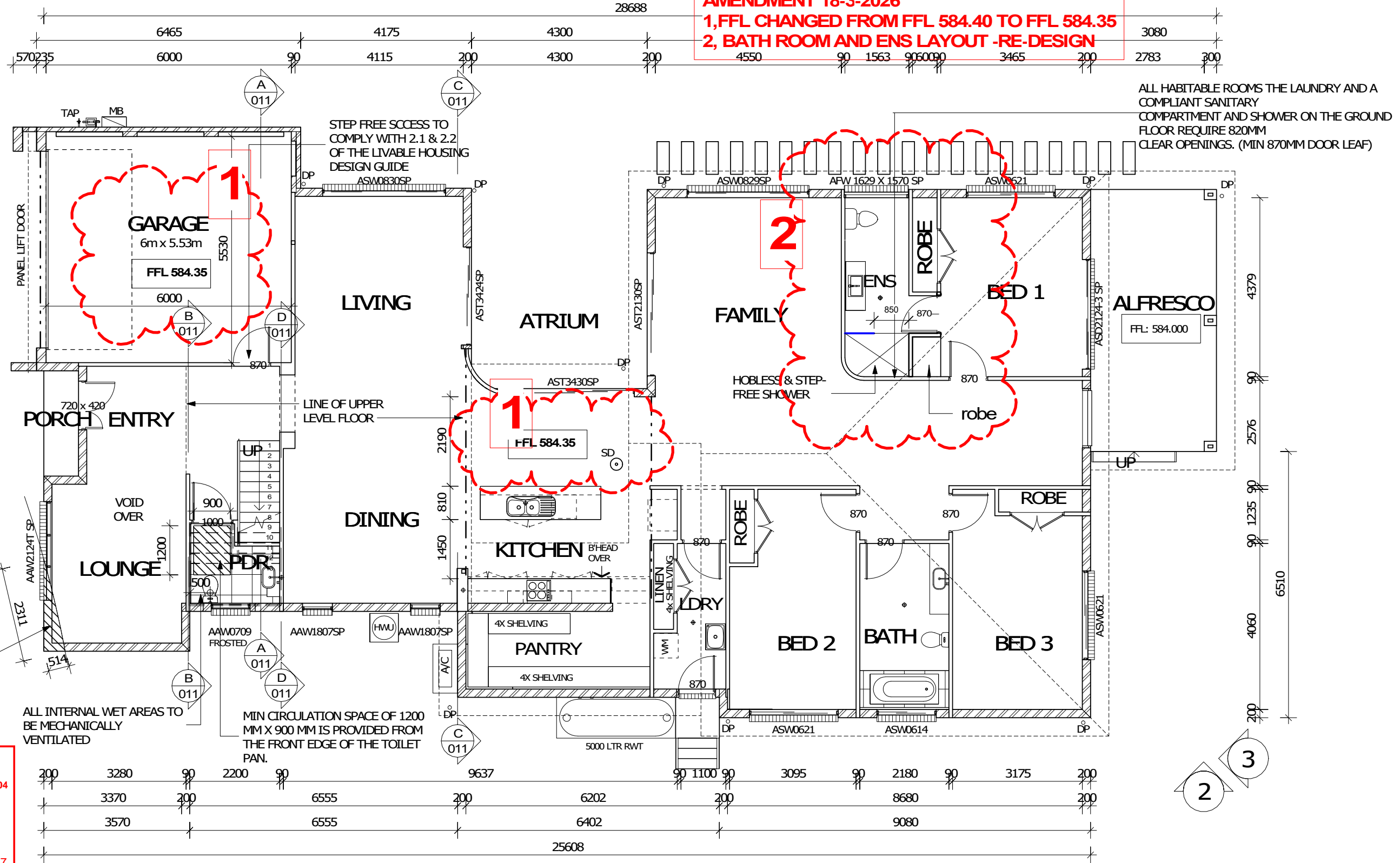
5000ltr WATER TANK - 50% OR 125m² OF ROOF PLAN AREA, WHICHEVER IS THE LESSER, IS CONNECTED TO THE TANK IS CONNECTED TO AT LEAST A TOILET, LAUNDRY COLD WATER & EXTERNAL TAPS THAT ARE ATTACHED TO THE HOUSE. THE CONNECTION WILL REQUIRE A PUMP WHERE IT CANNOT BE ELVATED SUFFICIENTLY TO GIVE ADEQUATE PRESSURE

THIS DRAWINGS IS PROTECTED BY COPYRIGHT

PROJECT NAME: PROPOSED NEW RESIDENCE	BLOCK: 21 SECTION: 26 SUBURB: curtin	TITLE: SITE PLAN	CLIENT: Ingenuity Building Solutions Pty Ltd	SCALE: 1 : 200@A3	DATE: 18-3-26	DRAWN BY: LEO.H	JAST DESIGN TEL: 0451 163 306 EMAIL: Info@jastdesign.com.au www.jastdesign.com.au
				SHEET No: A 01	JOB NO:	CHECK BY:	



AMENDMENT 18-3-2026
1, FFL CHANGED FROM FFL 584.40 TO FFL 584.35
2, BATH ROOM AND ENS LAYOUT -RE-DESIGN



ALL HABITABLE ROOMS THE LAUNDRY AND A COMPLIANT SANITARY COMPARTMENT AND SHOWER ON THE GROUND FLOOR REQUIRE 820MM CLEAR OPENINGS. (MIN 870MM DOOR LEAF)

1
4

2
3

Building Approval
 Is amended under section 32 of the Building Act 2004
 CBS Residential Certifiers Pty Ltd

 19/03/2026 Licenced No: 2019937

PROJECT NAME: PROPOSED NEW RESIDENCE		BLOCK: 21 SECTION: 26 SUBURB: curtin	TITLE: GROUND FLOOR PLAN	CLIENT: Ingenuity Building Solutions Pty Ltd	SCALE: As indicated @A3 A 101	DATE: 18-3-26	DRAWN BY: LEO.H	THIS DRAWINGS IS PROTECTED BY COPYRIGHT JAST DESIGN TEL: 0451 163 306 EMAIL: Info@jastdesign.com.au www.jastdesign.com.au
						JOB NO:	CHECK BY:	

Building Approval

Is amended under section 32 of the Building Act 2004
CBS Residential Certifiers Pty Ltd

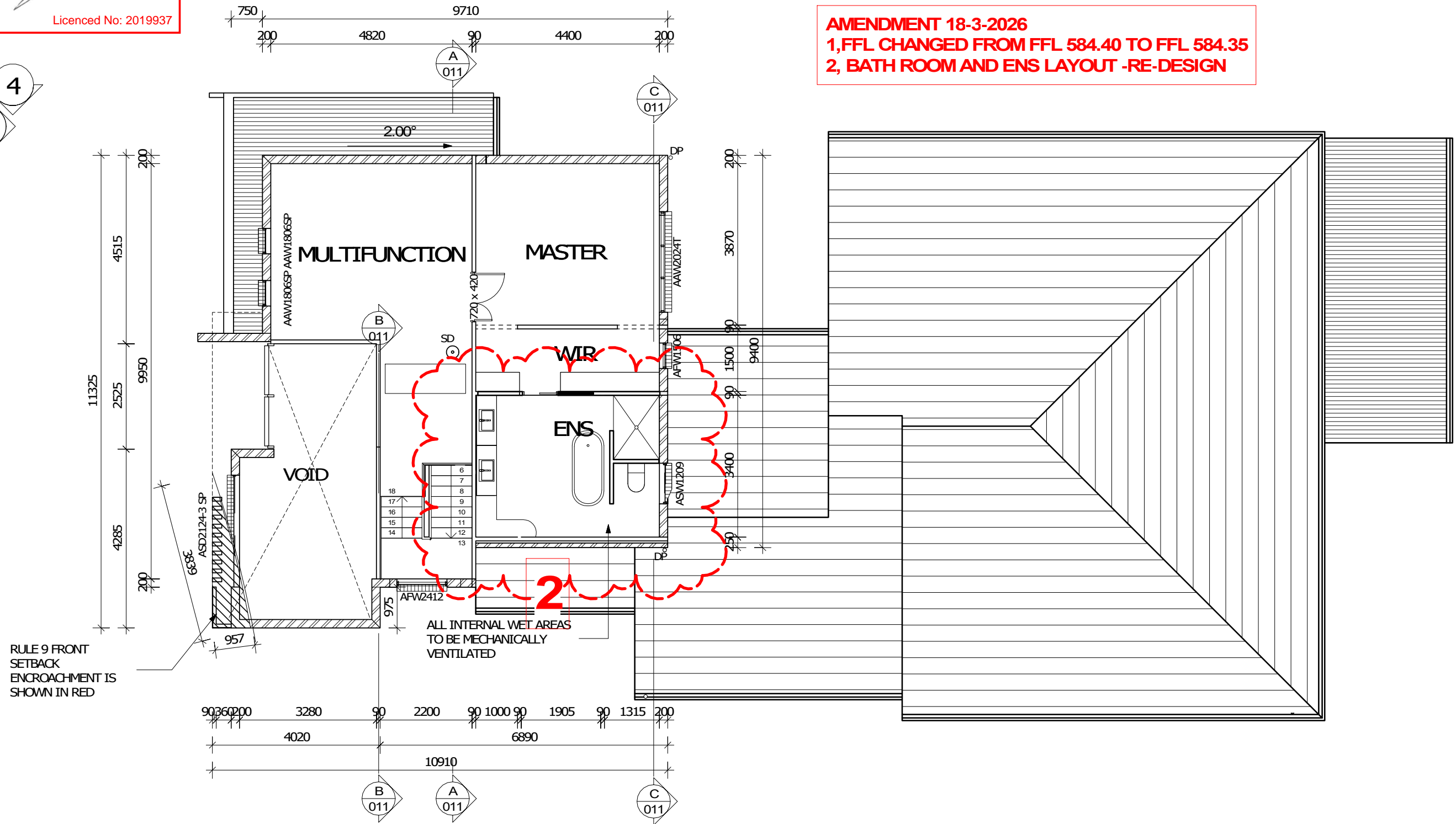
19/03/2026

Licenced No: 2019937

AMENDMENT 18-3-2026

- 1, FFL CHANGED FROM FFL 584.40 TO FFL 584.35
- 2, BATH ROOM AND ENS LAYOUT -RE-DESIGN

1
4



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PROJECT NAME:
PROPOSED NEW RESIDENCE

BLOCK: **21** SECTION: **26**
SUBURB: **curtin**

TITLE:
UPPER FLOOR

CLIENT:
Ingenuity Building Solutions Pty Ltd

SCALE:
As **@A3**
indicated
A 102

DATE:
18-3-26

JOB NO:

DRAWN BY:
LEO.H

CHECK BY:
Checker

JAST DESIGN
TEL: 0451 163 306
EMAIL: Info@jastdesign.com.au
www.jastdesign.com.au

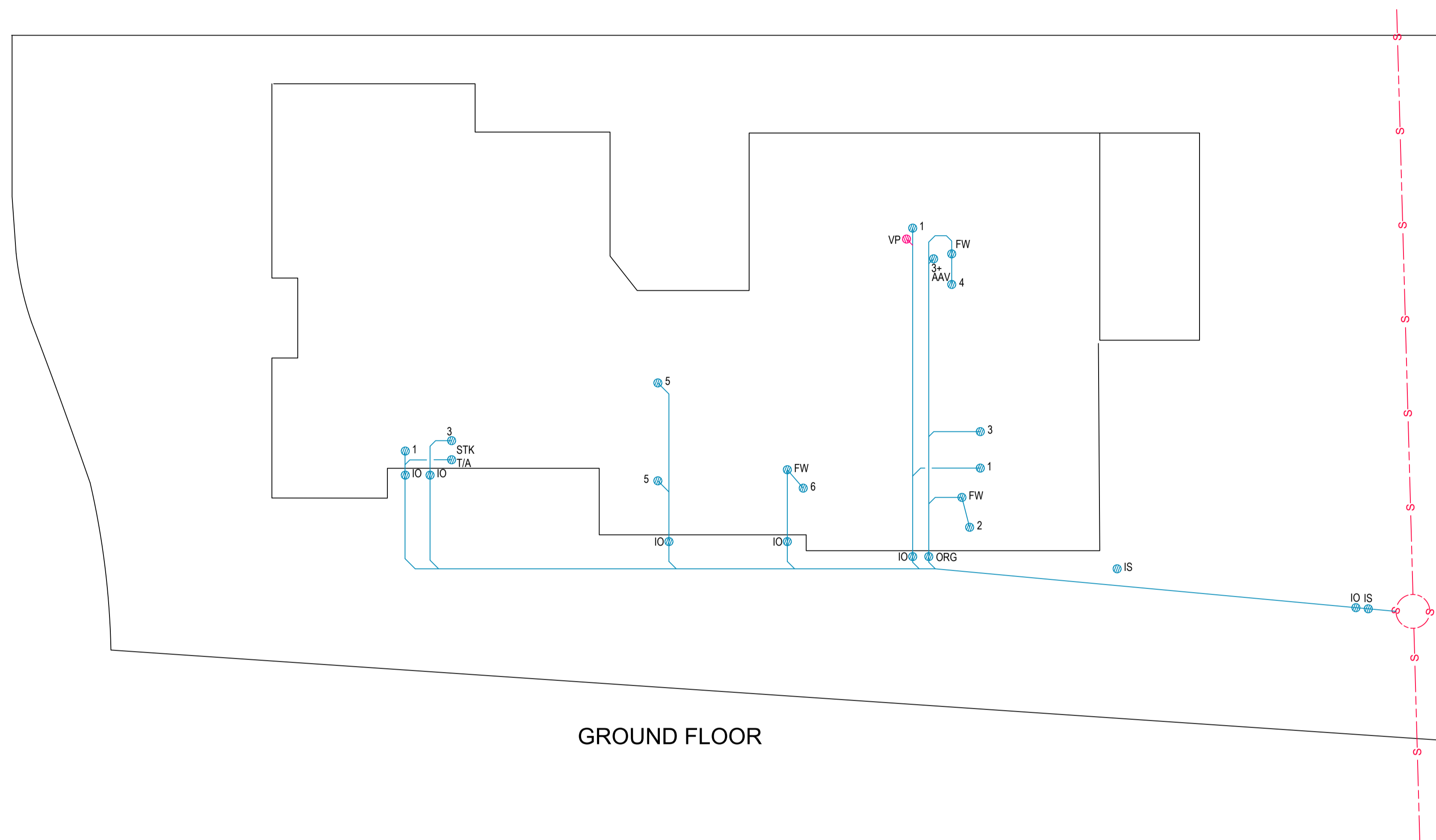


DRAINAGE PLAN NO.....

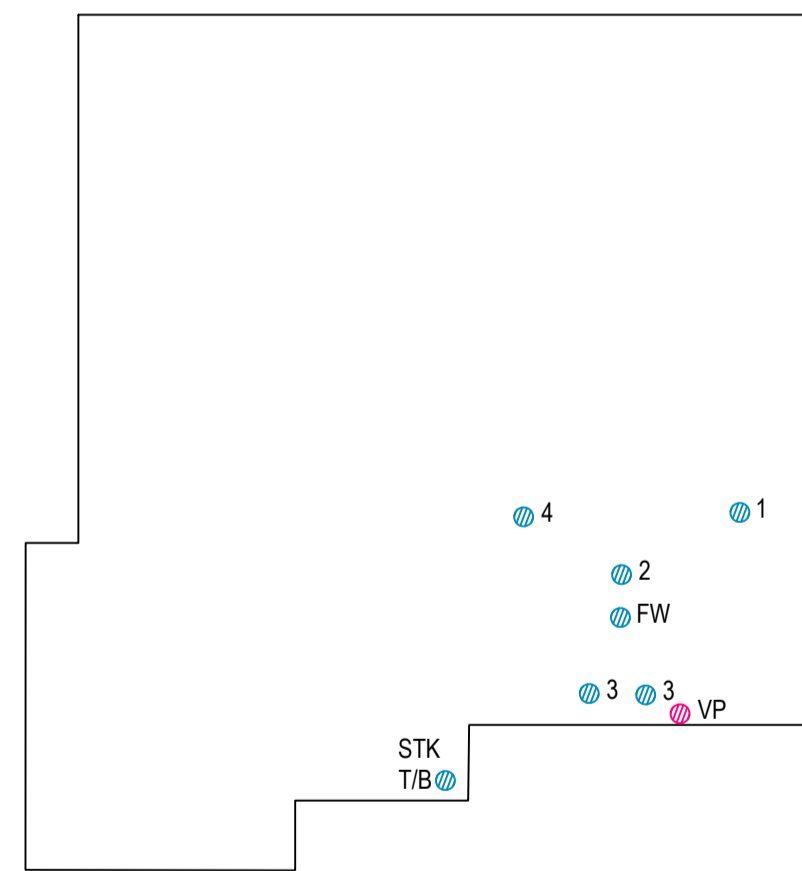
BLOCK...21.....SECTION...26.....

SUBURB.....CURTIN.....

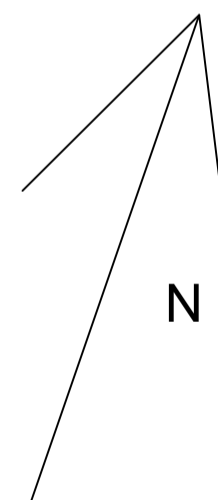
COLLIER STREET



GROUND FLOOR



UPPER FLOOR



REFERENCE:

AVV	AIR ADMITTANCE VALVE
BT	BUCKET TRAP
CO	CLEAR OUT
DT	DISCONNECTOR TRAP
EJ	EXPANSION JOINT
ET	EDUCT TRAP
FH	FIRE HYDRANT
FW	FLOOR WASTE
GT	GULLY TRAP
IC	INSPECTION CHAMBER
IO	INSPECTION OPENING
IS	INSPECTION SHAFT
JU	JUMP UP
MH	MANHOLE
ORG	OVERFLOW RELIEF GULLY
SC	STOP COCK
SVP	SOIL VENT PIPE
TD	TUNDISH
TTD	TRAPPED TUNDISH
UPVC	UNPLASTICISED POLYVINYL CHLORIDE
VP	VENT PIPE
WM	WATER METER

FIXTURES:

1.	WATER CLOSET	(4)
2.	BATH	(2)
3.	BASIN	(5)
4.	SHOWER	(2)
5.	SINK	(2)
6.	TROUGH	(1)
7.	URINAL	(-)
8.	CLEANERS SINK	(-)
9.	BIDET	(-)
11.	DISH WASHER	(-)
12.	WASHING MACHINE	(-)
13.	GLASS WASHER	(-)

SEWER
CH:
T: 0Mh
D: 1.42m
STORMWATER
CH:
T: 3.4m
D: .89m

NOTES:

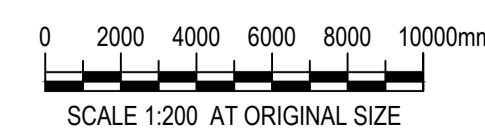
1. DRAINS TO BE LAID SHOWN IN BLUE LINES.
2. EXISTING DRAINS SHOWN IN GREEN LINES.
3. EXISTING DRAINS 'X'S IN RED TO BE ABOLISHED TO APPROVAL.
4. DRAINS TO BE SUPPORTED ON OR FROM SOLID GROUND.
5. COPPER PIPES TO BE IN ACCORDANCE WITH AS1432-1973, TABLE 2 TYPE B TUBES.
6. UNPLASTICISED POLYVINYL CHLORIDE PIPES DRAINS (UPVC) INCLUDING STACKS, TO BE CONSTRUCTED IN ACCORDANCE WITH AS.2032-1977, AS3500 AND CANBERRA CODES OF PRACTICE.
7. DRAINS UNDER BUILDING MUST BE RETESTED, IF TEST FAILED THEN OLD DRAINS MUST BE REPLACES USING EITHER RRJVC/P OR UPVC PIPE MATERIAL.
8. SEWER BRANCH TO BE LOCATED ON SITE BEFORE WORK COMMENCES.
9. THIS PLAN IS TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL PLANS AND SPECIFICATIONS.
10. ORG LEVELS TO BE READ IN CONJUNCTION WITH AS3500.2, CLAUSE 4.6.6.6 AND 4.6.6.7.
11. INSPECTION SHAFT AT TIE TO BE RAISED TO GROUND LEVEL IN ACCORDANCE WITH PLUMBING NOTE NO.3.

ALL WORK MUST BE CARRIED OUT IN CONFORMITY WITH THE WATER AND SEWERAGE ACT 2000, WATER AND SEWERAGE REGULATIONS 2001 AND SA 3500.

CHECKED BY:  24/02/2026

WORK AS EXECUTED

No	Revision	Drawn	Job Manager	Project Director	Date
A	FOR ISSUE	JC	SW	SW	18.02.26



DO NOT SCALE

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Drawn	Design Check
JC	SW
This Drawing may have been prepared using colour and may not be correct if printed in black and white. THIS NOTE IS RED.	
Scale	1:200@A3

Client	PARAMOUNT PLUMBING
Project	COLLIER STREET
Title	CURTIN
Original Size	A1
Drawing No:	150084
Rev:	A

Energy Efficiency Rating



UNDERSTANDING YOUR ENERGY EFFICIENCY RATING (EER)

An energy efficiency rating (EER) is a rating used to identify the energy efficiency of homes in the ACT.

The Civil Law (Sale of Residential Property) Act 2003 requires all homes being sold in the ACT to carry an energy efficiency rating (EER). This enables owners and buyers to compare a home's passive energy performance characteristics with others for sale in the Territory.

In the ACT, established homes are assessed using 1st generation software, and can achieve **0 to 6 stars** in the rating scheme.

Houses with a higher EER are more cost and energy efficient, use less energy for heating and cooling, generate lower greenhouse gas emissions, and are more comfortable.

What information is taken into account when assessing my homes energy efficiency?

- Layout of the home
- Construction of its roof, walls, windows, and floor
- Wall, floor, and ceiling insulations
- Orientation of windows and shading of the sun's path and local breezes
- Influence of the local climate
- Air leakages

What information is not applicable when assessing my homes energy efficiency?

- Heating and cooling
- Hot water systems
- Lighting systems and appliances
- Solar panels

How can I improve my energy efficiency rating?

Your energy efficiency report will include a list of design options (unless it's already achieved the maximum rating of 6 stars). This will outline the improvements that can be made to gain additional points and increase the overall star rating of your home.

When I built my home, I was provided with a 10-star energy rating. Why has this decreased?

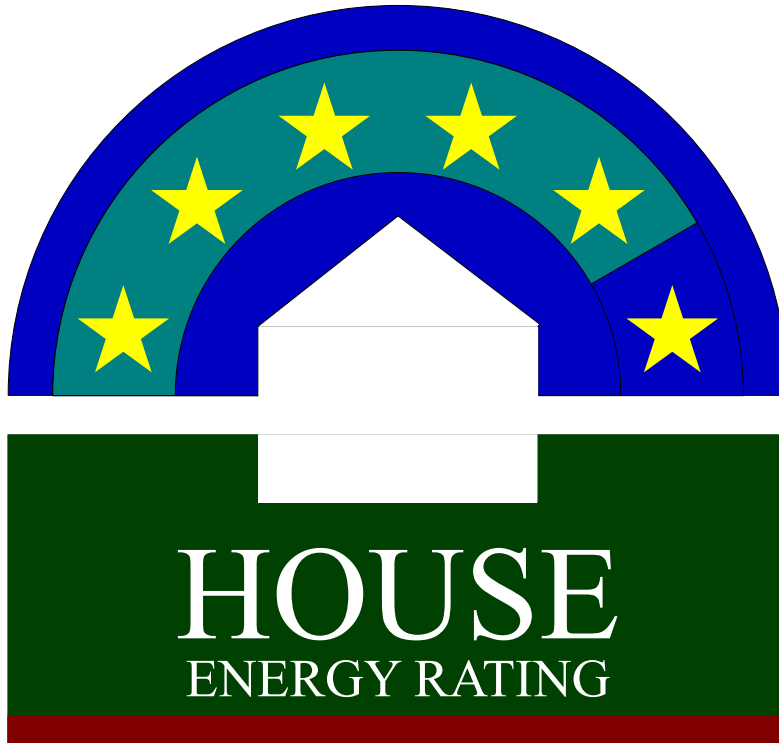
The ACT Government has two software systems in place to generate energy efficiency ratings:

1. Established homes: An on site assessment using 1st generation software. A maximum of 6 stars can be achieved.
2. Brand new homes: A computer based assessment using 2nd generation software. A maximum of 10 stars can be achieved.

If you hold an energy efficiency rating that exceeds 6 stars, it is a 2nd generation EER and would have been provided when your home was brand new.

When assessing a home's energy efficiency for the purpose of sale, property inspection companies are required to use 1st generation software, which will achieve a maximum of 6 stars.

FirstRate Report



YOUR HOUSE ENERGY RATING IS: ★★★★★ **5 STARS**
in Climate: 24 **SCORE: 5 POINTS**

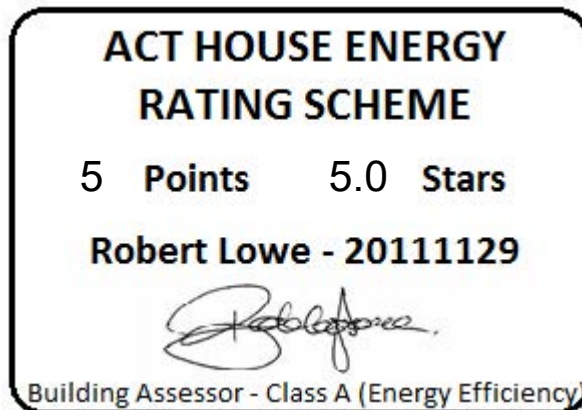
Name: Zhang & Wang

Ref No: 67832

House Title: Block 21 Section 26 CURTIN

Date: 17-03-2026

Address: 34 Collier Street, Curtin ACT 2605



This rating only applies to the floor plan, construction details, orientation and climate as submitted and included in the attached Rating Summary. Changes to any of these could affect the rating.

IMPROVING YOUR RATING

The table below shows the current rating of your house and its potential for improvement.

Star Rating	POOR			AVERAGE				GOOD			V. GOOD	
	0 Star	★	★★	★★★	★★★★	★★★★★	★★★★★★	★★★★★★★	★★★★★★★★	★★★★★★★★★		
Point Score	-71	-70	-46	-45	-26	-25	-11	-10	4	5	16	17
Current	5											
Potential	19											

Incorporating these design options will add the additional points required to achieve the potential rating shown in the table. Each point represents about a 1% change in energy efficiency. This list is only a guide to the range of options that could be used.

Design options	Additional points
Change curtain to	Heavy Drapes & Pelmets 13

ORIENTATION

Orientation is one of the key factors which influences energy efficiency. This dwelling will achieve different scores and star ratings for different orientations.

Current Rating	5	★★★★★
-----------------------	----------	--------------

Largest windows in the dwelling;

Direction : WSW

Area : 28 m²

The table below shows the total score for the dwelling when these windows face the direction indicated.

Note that obstructions overshadowing windows have been removed from all windows in these ratings to allow better comparisons to be made between orientations.

ORIENTATION	POINT SCORE	STAR RATING
1. South West	7	★★★★★
2. West	8	★★★★★
3. North West	8	★★★★★
4. North	10	★★★★★
5. North East	8	★★★★★
6. East	5	★★★★★
7. South East	3	★★★★☆
8. South	5	★★★★★

FirstRate Mode
Climate: 24

RATING SUMMARY for: Block 21 Section 26 CURTIN, 34 Collier Street, Curtin ACT 2605,

Assessor's Name:

Net Conditioned Floor Area: 277.5 m²

				Points		
Feature				Winter	Summer	Total
CEILING				10	0	10
Surface Area:	2	Insulation:	8			
WALL				2	0	2
Surface Area:	-4	Insulation:	7	Mass:	-1	
FLOOR				13	-2	11
Surface Area:	1	Insulation:	4	Mass:	6	
AIR LEAKAGE (Percentage of score shown for each element)				6	0	6
Fire Place	0 %	Vented Skylights	0 %			
Fixed Vents	0 %	Windows	44 %			
Exhaust Fans	8 %	Doors	30 %			
Down Lights	0 %	Gaps (around frames)	17 %			
DESIGN FEATURES				0	1	1
Cross Ventilation	1					
ROOF GLAZING				0	-1	-1
Winter Gain	1	Winter Loss	-1			
WINDOWS				-3	-16	-19
Window Direction	Area		Point Scores			
	m2	%NCFA	Winter* Loss	Winter Gain	Summer Gain	Total
NNE	3	1%	-1	3	0	1
ENE	25	9%	-11	12	-4	-3
SSE	12	4%	-4	2	-1	-3
WSW	28	10%	-13	7	-8	-14
NNW	17	6%	-8	11	-3	0
Total	84	30%	-38	35	-16	-19

* Air movement over glazing can significantly increase winter heat losses. SEAV recommends heating/cooling duct outlets be positioned to avoid air movement across glass or use deflectors to direct air away from glass.

The contribution of heavyweight materials to the window score is 3 points

				Winter	Summer	Total
RATING	★★★★★			29	-19	5*
SCORE						

* includes -5 points from Area Adjustment

Detailed House Data

House Details

ClientName Zhang & Wang
HouseTitle Block 21 Section 26 CURTIN
StreetAddress 34 Collier Street, Curtin ACT 2605
FileCreated 17-03-2026

Climate Details

State
Town Canberra
Postcode 2600
Zone 24

Floor Details

ID	Construction	Sub Floor	Upper	Shared	Foil	Carpet	Ins RValue	Area
1	Concrete Slab on ground	No Subfloor	No	No	No	Carp	R1.0	54.5m ²
2	Concrete Slab on ground	No Subfloor	No	No	No	Float Timb	R1.0	162.9m ²
3	Concrete Slab on ground	No Subfloor	No	No	No	Tiles	R1.0	7.5m ²
4	Timber	NA	Yes	No	No	Tiles	R0.0	15.1m ²
5	Timber	NA	Yes	No	No	Carp	R0.0	42.7m ²
6	Timber	Enclosed	No	No	No	Carp	R2.0	20.0m ²

Wall Details

ID	Construction	Shared	Ins RValue	Length	Height
1	Brick Veneer	No	R2.9	58.9m	3.0m
2	Weatherboard	No	R2.5	9.5m	3.0m
3	Framed: Metal Clad	No	R2.9	3.0m	6.4m
4	Brick Veneer	No	R2.9	9.1m	5.8m
5	Brick Veneer	No	R2.9	21.0m	3.0m
6	Brick Veneer	No	R2.9	1.2m	3.0m
7	Weatherboard	No	R4.9	9.0m	3.0m

Ceiling Details

ID	Construction	Shared	Foil	Ins RValue	Area
1	Attic - Low Ventilation	No	Yes	R5.0	244.9m ²

Window Details

ID	Dir	Height	Width	Utility	Glass	Frame	Curtain	Blind	Fixed & Adj Eave	Fixed Eave	Head to Eave
1	WSW	2.1m	2.7m	No	DG2	ALIMPR	NC	No	0.6m	0.6m	0.3m
2	WSW	2.1m	2.7m	No	DG2	ALIMPR	NC	No	0.6m	0.6m	0.0m
3	WSW	2.4m	2.5m	No	DG2	ALIMPR	NC	No	1.8m	1.8m	0.0m
4	NNW	0.8m	3.0m	No	DG2	ALIMPR	NC	No	0.0m	0.0m	0.0m
5	ENE	2.7m	2.4m	No	DG2	ALIMPR	NC	No	0.0m	0.0m	0.0m
6	NNE	2.7m	1.2m	No	DG2	ALIMPR	NC	No	0.8m	0.8m	0.4m
7	NNW	2.7m	3.0m	No	DG2	ALIMPR	NC	No	0.8m	0.8m	0.4m
8	WSW	2.7m	3.0m	No	DG2	ALIMPR	NC	No	0.6m	0.6m	1.0m
9	NNW	0.8m	2.9m	No	DG2	ALIMPR	NC	No	0.6m	0.6m	0.5m
10	NNW	1.6m	1.6m	No	DGT2	ALIMPR	NC	No	0.6m	0.6m	0.5m
11	NNW	0.6m	2.1m	No	DG2	ALIMPR	NC	No	0.6m	0.6m	0.5m
12	ENE	2.4m	2.7m	No	DG2	ALIMPR	NC	No	3.4m	3.4m	0.4m
13	ENE	2.8m	1.4m	No	DG2	ALIMPR	NC	No	3.4m	3.4m	0.4m
14	ENE	0.6m	2.1m	No	DG2	ALIMPR	NC	No	0.6m	0.6m	0.5m
15	SSE	0.6m	1.4m	Yes	DGT2	ALIMPR	NC	No	0.6m	0.6m	0.5m
16	SSE	0.6m	2.1m	No	DG2	ALIMPR	NC	No	0.6m	0.6m	0.5m
17	SSE	2.4m	0.9m	Yes	DG2	ALIMPR	NC	No	0.6m	0.6m	0.5m
18	SSE	2.4m	0.9m	Yes	DG2	ALIMPR	NC	No	0.6m	0.6m	0.5m
19	SSE	1.8m	0.7m	No	DG2	ALIMPR	NC	No	0.6m	0.6m	0.5m
20	SSE	1.8m	0.7m	No	DG2	ALIMPR	NC	No	0.6m	0.6m	0.5m

Insurance Certificates & Tax Invoice



If a home was built before 1990 it may contain dangerous asbestos material

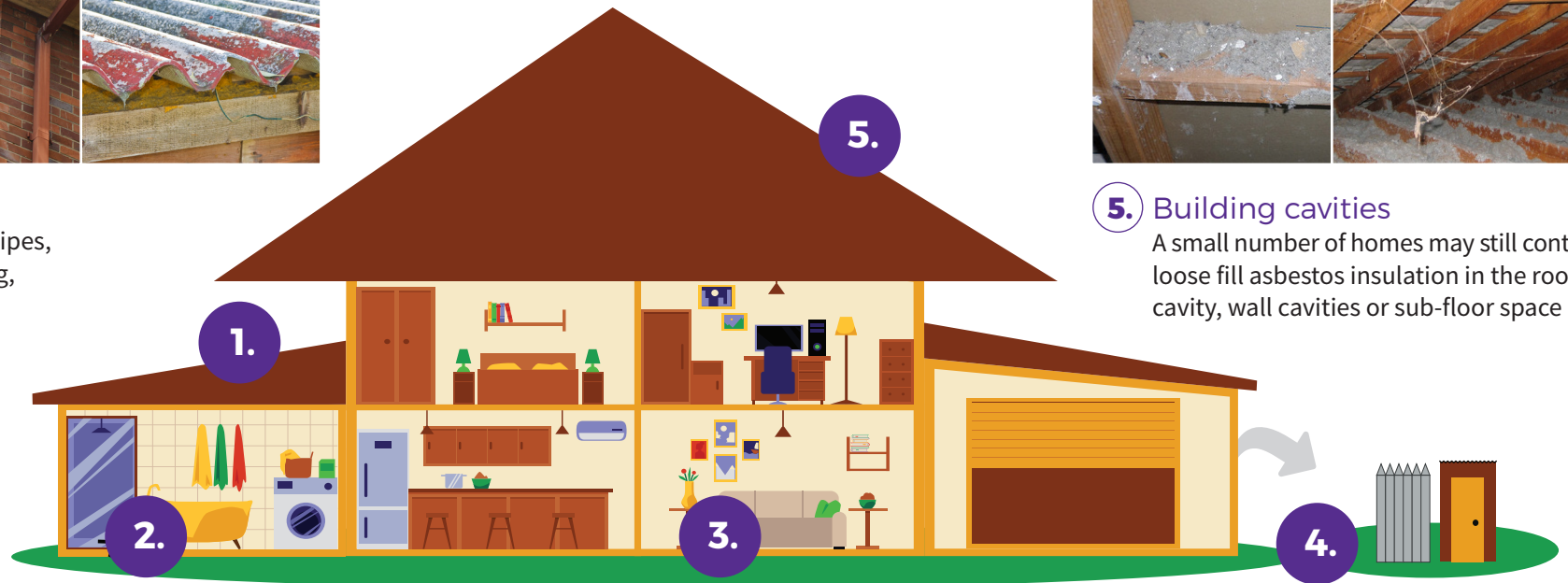
Identify where asbestos materials might be. Five common places are:



- 1.** Exterior
roof sheeting, gutters, downpipes,
ridge capping, eaves, cladding,
electrical switchboards



- 5.** Building cavities
A small number of homes may still contain
loose fill asbestos insulation in the roof
cavity, wall cavities or sub-floor space



- 2.** Wet areas - bathroom, laundry and kitchen
wall and ceiling panels, vinyl floor tiles, backing for wall tiles
and splashbacks, hot water pipe insulation



- 3.** Internal areas
wall and ceiling panels, carpet underlay,
textured panels, insulation in domestic
heaters



- 4.** Backyard
fences, sheds, garages, carports, dog kennels, buried or
dumped waste, letterboxes, swimming pools

If a home was built before 1990 it may contain dangerous asbestos material

Assess the risk

A licensed asbestos assessor can help identify asbestos in your home and its condition.

Asbestos materials become dangerous when:



Broken or in poor condition



Damaged accidentally



Disturbed during renovation or repairs



Loose fill asbestos insulation



Manage asbestos safely

- Monitor the condition of asbestos in your home
- Inform tradespeople of locations of asbestos in your home
- Avoid disturbing or damaging asbestos if working on your home
- Engage a licensed asbestos removalist to remove asbestos

If you suspect your home contains loose fill asbestos insulation, contact Access Canberra

Pest Controllers Combined Liability Certificate of Currency

The Policy below is current until 4.00pm on the expiry date shown below

INSURED: ACT Property Inspections Pty Ltd

BUSINESS DESCRIPTION: General Pest & Weed Control
Timber Pest Inspections
Termite Barrier Installations
Pre-Purchase House Pest Inspections
Building Inspections (Non Pest Related)
Energy Efficiency Ratings
Compliance Reports

POLICY REFERENCE: 09A349653PLB

PERIOD OF INSURANCE: From: 4.00pm on 30/03/2025
To: 4.00pm on 30/03/2026

POLICY CLASS: Pest Controllers Combined Liability

SUMS INSURED: **Section 1: General Public & Products Liability**

\$20,000,000 Our maximum liability in respect of any claim or series of claims for Personal Injury, Property Damage or Advertising Liability caused by or arising out of any one occurrence; and

\$20,000,000 Our total aggregate liability during any one period of insurance for all claims arising out of Your Product

Section 2: Professional Indemnity

\$5,000,000 Our maximum liability in respect of any Claim or any series of Claims inclusive of costs and expenses.

\$10,000,000 Our total aggregate liability for all Claims inclusive of costs and expenses.

This Certificate of Currency is subject to the Policy Documentation to be read in conjunction with the Definitions, Conditions and Exclusions in the Pest Controllers Combined Liability Insurance Policy.

Date Issued: 28 March 2025



**ACT
PROPERTY
INSPECTIONS**

TAX INVOICE

Yansong Zhang & Yepeng Wang
34 Collier St
CURTIN ACT 2605
AUSTRALIA

Invoice Date
28 Jan 2026

Invoice Number
INV-67832

ACT Property Inspections
(02) 6232 4540
Unit 1, 33 Altree Ct
PHILLIP ACT 2606
ABN: 33 600 397 466

Description	Quantity	Unit Price	GST	Amount AUD
ACTPLA Fees - No GST	1.00	186.70	GST Free	186.70
Property Report	1.00	1,475.73	10%	1,475.73
Energy Efficiency Report (Complimentary)	1.00	0.00		0.00
Deferred Payment (Complimentary)	1.00	0.00		0.00
			Subtotal	1,662.43
			TOTAL GST 10%	147.57
			TOTAL AUD	1,810.00

Due Date: 27 Jul 2026

Payment terms – Deferred payment account. This account should be paid in full within 14 days on the earlier of:

- (a) Settlement of the property
- (b) If the Property has not been listed for sale within 3 months of the Property Inspection Date
- (c) If the property is no longer listed for sale
- (d) 180 days after the Property Inspection Date

Please pay within the payment terms to avoid the Deferred Payment Fee. Note: all bank/legal fees incurred in obtaining payment will be the customer's responsibility

Payment Options

Pexa : please quote the invoice number as the reference

Direct Deposit : BSB: 012084 Account Number: 194679655

Account Name: ACT Property Inspections Pty Ltd

Please reference your name and invoice number

Cheques : please make payable to ACT Property Inspections Pty Ltd

[View and pay online now](#)